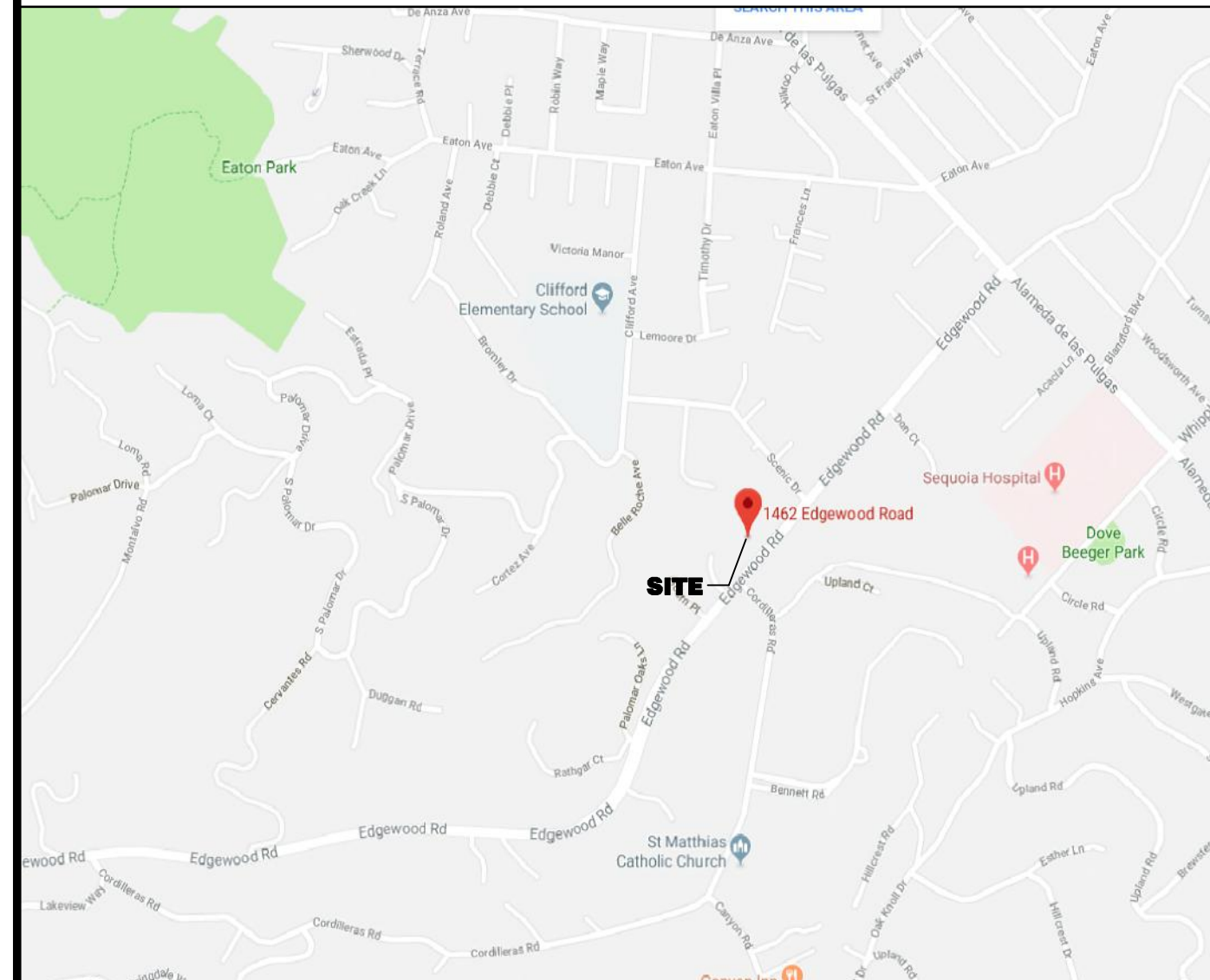
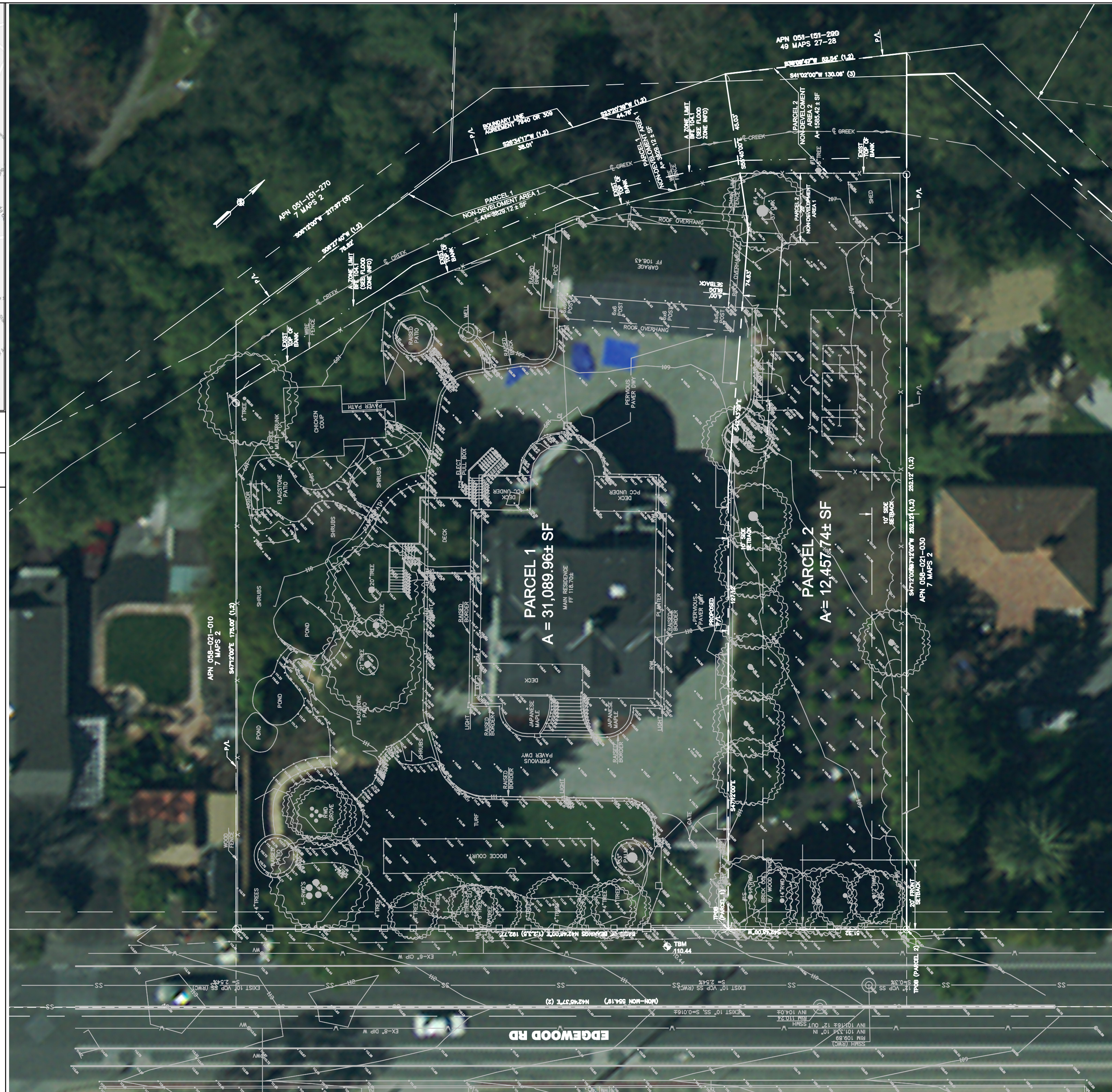


BUILDING AND SITE IMPROVEMENTS 1450 EDGEWOOD RD (PARCEL 2)

APN 058-021-050



VICINITY MAP
NOT TO SCALE



EXISTING SITE PLAN

LEGEND

DESCRIPTION	PROPOSED	EXISTING
PROPERTY LINE	---	---
CENTERLINE	---	---
SETBACK LINE	---	---
FENCE	---	---
FIRE HYDRANT		○
MANHOLE		○
VALVE		○
AREA SPOT ELEVATION		x 101.50
VALLEY GUTTER	---	---
SANITARY SEWER	SS	SS
CLEANOUT	●	○
STORM DRAIN	SD	SD
WATER	---	---
GAS	---	---
INFILTRATION TRENCH	INF	INF
UNDERGROUND ELECTRIC	---	---
TELEPHONE	---	---
PAVED INVERT	---	---
OVERHEAD WIRE	---	---
SWALE	---	---
REMOVE TREE	⊗	⊗
TREE PROTECTION FENCING	⊗	⊗

ABBREVIATIONS

AB = AGGREGATE BASE	FF = FINISH FLOOR	TC = TOP OF CURB
ABD = ABANDON	FG = FINISH GRADE	TW = TOP OF WALL
AC = ASPHALT CONCRETE	FOC = FACE OF CURB	TYP = TYPICAL
AD = AREA DRAIN	H = HEIGHT	VC = VERTICAL CURVE
BM = BENCHMARK	GM = GAS METER	W = WATER
BOW = BACK OF WALK	INF TR = INFILTRATION TRENCH	WM = WATER METER
BLDG = BUILDING	INT = INTERCEPTOR	
BVC = BEGIN VERTICAL CURVE	INV = INVERT	
BW = BOTTOM OF WALL	JT = JOINT TRENCH	
CB = CATCH BASIN	OC = ON CENTER	
CMU = CONCRETE MASONRY UNIT	PCC = PORTLAND CEMENT CONCRETE	
CONC = CONCRETE	PG = PROFILE GRADE	
CONN = CONNECT	PKNG = PARKING	
DI = DRAINAGE INLET	P/L = PROPERTY LINE	
DRN = DRAIN	PPUD = PERFORATED PIPE UNDER DRAIN	
DTL = DETAIL	PTDF = PRESSURE TREATED DOUGLAS FIR	
EM = ELECTRIC METER	PT = POINT	
EG = EXISTING GRADE	PVC = POLYVINYL CHLORIDE	
ELEV = ELEVATION	RWL = RAINWATER LEADER	
EP = EDGE OF PAVEMENT	SD = STORM DRAIN	
EVC = END VERTICAL CURVE	SHT = SHEET	
EXIST = EXISTING	SS = SANITARY SEWER	
EW = EACH WAY	TBM = TEMPORARY BENCHMARK	

SHEET INDEX

SHEET	TITLE
C1.0	COVER SHEET - EXISTING SITE PLAN
C2.0	GENERAL CONSTRUCTION NOTES
C3.0	TOPOGRAPHIC SURVEY AND DEMOLITION AND REMOVAL PLAN
C4.0	SITE AND GRADING PLAN
C5.0	DRAINAGE AND UTILITY PLAN
C6.0	DRIVEWAY SECTION AND DETAILS
C6.1	UTILITY PROFILES AND ELEVATIONS
C7.0	SITE DRAINAGE DETAILS
C8.0	SANITARY SEWER DETAILS
C9.0	WATER AND SERVICE TRENCH DETAILS
C10.0	ARBORIST REPORT
L1	LANDSCAPE PLAN AND DETAIL
EC.0	STORMWATER POLLUTION PREVENTION PLAN BEST MANAGEMENT PRACTICES
EC.1	EROSION CONTROL PLAN
EC.2	EROSION CONTROL DETAILS



SCOPE OF WORK

THE PROJECT SCOPE OF WORK INCLUDES THE REMOVAL THE EXISTING SITE IMPROVEMENTS AND CLEARING AS SHOWN HERIN AND CONSTRUCTION OF NEW SITE IMPROVEMENTS FOR A NEW RESIDENCE AND AN ACCESSORY DWELLING UNIT.

OWNER INFORMATION:

NAME: CHARLES AND ANNE CAMILLERI
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PHONE: (650) 464-0980

CONSULTANT INFORMATION:

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GEOTECHNICAL ENGINEER
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LANDS OF CAMILLERI
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REDWOOD CITY, CA 94062

COVER SHEET

REVISIONS				JOB NO. R1462-E-18	SHEET NO.
NO.	DATE	DESCRIPTION	BY	DATE: 03/10/21	C1.0
				DRAWN: DC	
				CHECKED: JET	
				SCALE: 1" = 30'	

1 OF 15 SHEETS

SCOPE WORK

1. THE PROJECT SCOPE OF WORK INCLUDES THE REMOVAL THE EXISTING SITE IMPROVEMENT S AND CLEARING AS SHOWN HERIN AND CONSTRUCTION OF NEW SITE IMPROVEMENT S FOR A NEW RESIDENCE AND AN ACCESSORY DWELLING UNIT.
2. ONLY WORK DETAILED ON THESE PLANS IS APPROVED FOR CONSTRUCTION. ANY ADDITIONAL WORK REQUIRED NOT DETAILED ON THESE PLANS MUST BE SUBMITTED SEPARATELY AS A REVISION TO THE PROJECT. REVISIONS MAY REQUIRE NEW PLANS, PERMITS AND ADDITIONAL FEES.
3. THE ENGINEER SHALL NOT BE RESPONSIBLE NOR LIABLE FOR ANY UNAUTHORIZED CHANGES TO THESE PLANS. ALL PROPOSED CHANGES TO PLANS SHALL BE IN WRITING AND MUST BE APPROVED BY ENGINEER PRIOR TO PROCEEDING.
4. APPLICABLE CODES FOR THIS PROJECT:
 - COUNTY OF SAN MATEO MUNICIPAL CODE.
 - 2019 CALIFORNIA BUILDING CODE (2018 INTERNATIONAL BUILDING CODE)
 - 2019 CALIFORNIA ADMINISTRATIVE CODE T24 - PART 1
 - 2019 CALIFORNIA BUILDING CODE T24, PART 2.1
 - 2019 CALIFORNIA BUILDING CODE T24, PART 2.2
 - 2019 CALIFORNIA RESIDENTIAL CODE T24, PART 2.5
 - 2019 CALIFORNIA ELECTICAL CODE T24, PART 3
 - 2019 CALIFORNIA MECHANICAL CODE T24, PART 4
 - 2019 CALIFORNIA PLUMBING CODE T24, PART 5
 - 2019 CALIFORNIA ENERGY CODE T24, PART 6
 - 2019 CALIFORNIA HISTORICAL BUILDING CODE T24, PART 8
 - 2019 CALIFORNIA FIRE CODE T24, PART 9
 - 2019 CALIFORNIA EXISTING BUILDING CODE T24, PART 10
 - 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE T24, PART 11
 - 2019 CALIFORNIA REFERENCED STANDARDS CODE T24, PART 12
 - ALL OTHER STATE AND LOCAL LAWS, ORDINANCES AND REGULATIONS
5. INSPECTIONS MUST BE SCHEDULED AT LEAST 24 HOURS IN ADVANCE.
 - INSPECTION REQUEST LINE , PRIOR TO 3 P.M.
6. PERMIT EXPIRATION & RENEWAL
ONCE A PERMIT IS ISSUED, AN INSPECTION IS REQUIRED WITHIN 180 DAYS AND EVERY 180 DAYS THEREAFTER OR THE PERMIT WILL EXPIRE. ADDITIONAL FEES ARE REQUIRED TO REINSTATE AN EXPIRED PERMIT. ALL EXPIRED PLANS MUST BE REVISED TO COMPLY WITH CURRENT CODE REQUIREMENTS.
7. WORK IN THE PUBLIC RIGHT OF WAY.
A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FROM THE PUBLIC WORKS DEPARTMENT FOR ANY WORK IN THE CITY RIGHT OF WAY.

GENERAL NOTES

1. THE BOUNDARY INFORMATION IS BASED UPON THE FOLLOWING RECORD INFORMATION PORTION LOT 5, AS SHOWN ON THAT CERTAIN MAP ENTITLED 'RECORD OF SURVEY OF THE LANDS OF CAMILLERI A PORTION OF LOT 5, 'JOHSON SUBDIVISION, 7 MAPS 2 DESCRIBED IN 96151629 OR 'FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA, ON FEBRUARY 23, 1999 IN BOOK 19 OF MAPS AT PAGE 38.
2. PROJECT BENCHMARK, CITY OF REDWOOD CITY BM70, ELEVATION 117.139' (NAVD 1988) DESCRIBED AS FOLLOWS: WHIPPLE AVE AT UPLAND RD - TOP OF DISC ON CURB, AT INTERSECTION, SOUTH CURB RETURN, MID-POC.
3. TEMPORARY BENCHMARK (TBM) MAG NAIL SET IN EDGEWOOD RD, IN FRONT OF THE PROJECT SITE, ELEVATION 110.44'
4. PROJECT BENCHMARK HEREON ARE BASED UPON AN ASSUMED DATUM (NAVD) MAG NAIL SET IN EDGEWOOD RD, IN FRONT OF THE PROJECT SITE, ELEVATION 110.44'
5. TOPOGRAPHIC SURVEYS AND BOUNDARY SURVEYS PREPARED BY JET ENGINEERING DATED APRIL 20, 2018
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT CALIFORNIA BUILDING CODE AND ALL APPLICABLE TOWN OF HILLSBOROUGH CODES AND ORDINANCES.
7. CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT (800) 227-2600 AT LEAST 48 HOURS PRIOR TO STARTING WORK.
8. ANY AND ALL CONSTRUCTION STAGING, PARKING, STORAGE OF MATERIALS OR EQUIPMENT, ETC. SHALL OCCUR ON SITE.
9. IF A CONFLICT OCCURS DURING CONSTRUCTION THAT REQUIRES A CHANGE IN DESIGN, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR SOLUTION PRIOR TO PROCEEDING.
10. THE ENGINEER SHALL NOT BE RESPONSIBLE NOR LIABLE FOR ANY UNAUTHORIZED CHANGES TO THESE PLANS. ALL PROPOSED CHANGES TO PLANS SHALL BE IN WRITING AND MUST BE APPROVED BY ENGINEER PRIOR TO PROCEEDING.
11. THE CONTRACTOR SHALL VISIT PROJECT SITE PRIOR TO BIDDING AND VERIFY ALL EXISTING CONDITIONS. FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OR ORDERING OF ANY ITEMS. VERIFY ALL WORK TO BE DONE WITH THE OWNER PRIOR TO CONSTRUCTION. VERIFY WHICH ITEMS, FIXTURES, OR APPLIANCES SHALL BE SUPPLIED OR REUSED BY THE OWNER AND THE EXACT LOCATION OF SAID ITEMS.
12. NOISE SOURCES ASSOCIATED WITH DEMOLITION, CONSTRUCTION, REPAIR, REMODELING, OR GRADING OF ANY REAL PROPERTY SHALL BE LIMITED TO THE HOURS FROM 7:00 A.M. TO 6:00 P.M., WEEKDAYS AND 9:00 A.M. TO 5:00 P.M., SATURDAYS. SAID ACTIVITIES ARE PROHIBITED ON SUNDAYS, THANKSGIVING, AND CHRISTMAS (SAN MATEO ORDINANCE CODE SECTION 4.88.360).
13. THE CONTRACTOR SHALL TAKE CARE DURING DEMOLITION AND CONSTRUCTION NOT TO DAMAGE ANY EXISTING CONSTRUCTION AND PLANTING WHICH IS TO REMAIN. ANY DAMAGE OF EXISTING CONDITIONS SHALL BE REPLACED AT NO COST TO OWNER. THE CONTRACTOR SHALL RESTORE ALL DAMAGED, REMOVED OR OTHERWISE DISTURBED WALLS, FENCES, SERVICES, UTILITIES, IMPROVEMENTS OR FEATURES OF WHATEVER NATURE, DUE TO CONTRACTOR'S WORK.
14. ALL MATERIALS TO BE REMOVED SHALL BE DISPOSED OF AT AN APPROPRIATE LOCATION AWAY FROM THE SITE.
15. ALL WORK SHALL BE PERFORMED SO THAT THERE SHALL BE MINIMUM INTERFERENCE WITH NEIGHBORS.
16. CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SUPPORTS, SHORING AND BRACING REQUIRED DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING STRUCTURAL INTEGRITY AND SAFETY.
17. CONTRACTOR SHALL CLEAN UP AND REMOVE FROM SITE ALL DEBRIS AND WASTE MATERIALS CREATED BY DEMOLITION AND CONSTRUCTION.
18. THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT EXHAUSTIVELY DETAILED NOR FULLY SPECIFIED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SELECT, VERIFY, RESOLVE, AND INSTALL ALL MATERIALS AND EQUIPMENT.

19. FINISHED GROUND SURFACES SHALL BE GRADED TO DRAIN THE FINISHED SITE PROPERLY. UNPAVED FINISHED GROUND SLOPE WITHIN FIVE FEET OF THE BUILDING OR STRUCTURE SHALL SLOPE AWAY AT 5%. ALL EXTERIOR HARD SURFACES (INCLUDING TERRACES) SHALL BE INSTALLED WITH A 1% MINIMUM SLOPE AND SHALL DRAIN AWAY FROM THE BUILDING AT 2% CROSS SLOPE. DRAINAGE SWALES SHALL HAVE A MINIMUM SLOPE OF 1.0%. MAXIMUM ALLOWABLE GRADED SLOPE IS 3 HORIZONTAL TO 1 VERTICAL (33%).
20. LOT GRADING SHALL CONFORM AT THE PROPERTY LINES AND SHALL NOT SLOPE TOWARD PROPERTY LINES IN A MANNER WHICH WOULD CAUSE STORM WATER TO FLOW ONTO NEIGHBORING PROPERTY.
21. NEW RAINWATER DOWNSPOUTS SHALL BE DISCHARGED TO A LANDSCAPED AREA THAT DIRECTS WATER AWAY FROM THE BUILDING (UNO).
22. ALL CONSTRUCTION STAKING SHALL BE DONE BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR.

STANDARD GRADING NOTES

1. ALL CLEARING, GRUBBING, EXCAVATIONS AND EARTHWORK SHALL BE IN ACCORDANCE WITH SECTION 16 'CLEARING AND GRUBBING' AND SECTION 19 'EARTHWORK' OF THE STATE STANDARD SPECIFICATIONS.
2. APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS AND CONSTRUCTION OF EROSION CONTROL DEVICES SHOWN IN THIS PLAN SET. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES. CALL U.S.A. (UNDERGROUND SERVICE ALERT) 48 HOURS BEFORE DIGGING AT (800) 227-2600. LOCATIONS SHOWN ON THE PLANS WERE TAKEN FROM AVAILABLE RECORDS AND ARE APPROXIMATE AND SHOWN FOR GENERAL INFORMATION ONLY, AND MAY BE INCOMPLETE. RELOCATION OR REPAIR OF ANY DAMAGE TO UTILITIES OR PIPELINES AND PLUGGING OR REMOVAL OF ABANDONED LINES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
4. IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES.
5. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PRESERVE AND PROTECT ANY FENCES WHICH MAY BE REQUIRED TO REMAIN BY THE OWNER.
6. THE PERMITTEE SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
7. THIS PLAN DOES NOT AUTHORIZE REMOVAL OF TREES. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PRESERVE AND PROTECT THOSE TREES WHICH ARE TO REMAIN.
8. ALL TEMPORARY EXCAVATION SHALL BE ADEQUATELY SHORED AS NECESSARY AND SHALL COMPLY WITH ALL APPLICABLE CAL/OSHA REQUIREMENTS.
9. ALL EXISTING CESSPOOLS, FOUNDATIONS, BASEMENTS, TANKS OR OTHER UNDERGROUND STRUCTURES SHALL BE REMOVED AND THE RESULTING DEPRESSIONS BACKFILLED AND COMPACTED UNDER THE OBSERVATION OF THE ENGINEER. ALL COSTS INVOLVED IN THIS WORK SHALL BE CONSIDERED AS INCLUDED IN THE CONTRACT PRICE FOR THE GRADING ITEMS UNLESS COVERED IN SEPARATE PAY ITEMS.
10. ALL GRADING SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREIN OR ATTACHED HERETO. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE ENGINEER. THE ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNOBSERVED AND UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.
11. THE SITE AREA SHOULD BE STRIPPED OF ALL SURFACE VEGETATION AND SURFACE AND SUBSURFACE IMPROVEMENTS WITHIN THE PROPOSED PROJECT AREA. SURFACE VEGETATION AND TOPSOIL SHOULD BE STRIPPED TO A SUFFICIENT DEPTH TO REMOVE ALL MATERIAL GREATER THAN 3 PERCENT ORGANIC CONTENT BY WEIGHT. SURFACE STRIPPING SHOULD EXTEND ABOUT 2 TO 4 INCHES BELOW EXISTING GRADE IN VEGETATED AREAS. DEEPER EXCAVATIONS TO REMOVE SHRUB ROOTS MAY REQUIRE FURTHER EXCAVATION. TREES AND SHRUBS DESIGNATED FOR REMOVAL SHOULD HAVE THE ROOT BALLS AND ANY ROOTS GREATER THAN 1/2-INCH DIAMETER REMOVED COMPLETELY. MATURE TREES ARE ESTIMATED TO HAVE ROOT BALLS EXTENDING TO DEPTHS OF 2 TO 6 FEET, DEPENDING ON THE TREE SIZE.
12. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL TEMPORARY SLOPES AND PROVIDING TEMPORARY SHORING WHERE REQUIRED. TEMPORARY SHORING, BRACING, AND CUTFILLS SHOULD BE PERFORMED IN ACCORDANCE WITH THE STRICTEST GOVERNMENT SAFETY STANDARDS.
13. ON-SITE SOILS WITH AN ORGANIC CONTENT LESS THAN 3 PERCENT BY WEIGHT MAY BE REUSED AS GENERAL FILL. GENERAL FILL SHOULD NOT HAVE LUMPS, CLODS OR COBBLE PIECES LARGER THAN 6 INCHES IN DIAMETER; 85 PERCENT OF THE FILL SHOULD BE SMALLER THAN 2-1/2 INCHES IN DIAMETER. MINOR AMOUNTS OF OVERSIZE MATERIAL (SMALLER THAN 12 INCHES IN DIAMETER) MAY BE ALLOWED PROVIDED THE OVERSIZED PIECES ARE NOT ALLOWED TO NEST TOGETHER AND THE COMPACTION METHOD WILL ALLOW FOR LOOSELY PLACED LIFTS NOT EXCEEDING 12 INCHES.
14. ALL FILLS, AND SUBGRADE AREAS WHERE FILL AND SLABS-ON-GRADE ARE PLANNED, SHOULD BE PLACED IN LOOSE LIFTS 8 INCHES THICK OR LESS AND COMPACTED IN ACCORDANCE WITH ASTM D1557 (LATEST VERSION) REQUIREMENTS. EACH LIFT OF FILL AND ALL SUBGRADE SHOULD BE FIRM AND UNYIELDING UNDER CONSTRUCTION EQUIPMENT LOADING IN ADDITION TO MEETING THE COMPACTION REQUIREMENTS TO BE APPROVED.
15. IF CONSTRUCTION, INCLUDING ANY VEGETATION REMOVAL, IS INITIATED DURING THE BIRD BREEDING SEASON (WHICH IS FROM FEBRUARY 1 THROUGH AUGUST 30), A SURVEY SHOULD BE CONDUCTED TO DETERMINE PRESENCE OR ABSENCE OF BIRD NESTS. IF ACTIVE NESTS ARE FOUND, A NO-WORK ZONE WITH A DISTANCE APPROPRIATE TO PROTECT THE NEST SHOULD BE ESTABLISHED UNTIL THE NEST IS NO LONGER ACTIVE (E.G. THE YOUNG FLEDGED), AND THEN CONSTRUCTION COULD CONTINUE WITHOUT RESTRICTION. IF NO ACTIVE NESTS ARE FOUND DURING THE SURVEY, THEN CONSTRUCTION MAY BEGIN AND CONTINUE UNTIL COMPLETED. IF CONSTRUCTION CEASES FOR MORE THAN A TWO-WEEK PERIOD, THEN ANOTHER SURVEY IS RECOMMENDED IN CASE A NEST IS ESTABLISHED DURING THAT PERIOD. IF CONSTRUCTION IS INITIATED BETWEEN SEPTEMBER 1 AND JANUARY 30, THE NON-BREEDING SEASON, NO SURVEYS FOR ACTIVE NESTS ARE RECOMMENDED AND WORK MAY PROGRESS WITHOUT RESTRICTION. NO ADVERSE EFFECTS WILL RESULT TO NESTING BIRDS IF THESE RECOMMENDATIONS ARE IMPLEMENTED.
16. THE APPLICANT SHALL ENSURE THAT IF DURING DEMOLITION OR CONSTRUCTION, ANY EVIDENCE OF ARCHAEOLOGICAL TRACES (HUMAN REMAINS, ARTIFACTS, CONCENTRATION OF SHALE, BONE, ROCK, ASH) IS UNCOVERED THEN ALL CONSTRUCTION AND GRADING WITHIN A 30-FOOT RADIUS SHALL BE HALTED. THE PLANNING DEPARTMENT SHALL BE NOTIFIED, AND THE APPLICANT SHALL HIRE A QUALIFIED ARCHAEOLOGIST TO ASSESS THE SITUATION AND RECOMMEND APPROPRIATE MEASURES. UPON REVIEW OF THE ARCHAEOLOGIST'S REPORT, THE COMMUNITY DEVELOPMENT DIRECTOR, IN CONSULTATION WITH THE APPLICANT AND ARCHAEOLOGIST, WILL DETERMINE STEPS TO BE TAKEN BEFORE DEMOLITION OR CONSTRUCTION MAY CONTINUE.

STORM DRAIN NOTES

1. ALL STORM DRAINAGE PIPES 12" IN DIAMETER OR LARGER SHALL BE ADS N-12 HDPE DOUBLE WALL PIPE OR APPROVED EQUAL.
2. ALL STORM DRAINAGE PIPES LESS THAN 12" DIA SHALL BE PVC SDR35 OR APPROVED EQUAL.
3. ALL PVC STORM DRAIN PIPES SHALL HAVE A MINIMUM SLOPE 1% UNLESS OTHERWISE NOTED.
4. ALL INFILTRATION TRENCHES (PERFORATED PIPE UNDERDRAINS SHALL HAVE MINIMUM SLOPE OF 0.5% UNLESS OTHERWISE NOTED).
5. CONNECT ALL NEW RAIN WATER LEADERS TO PVC SD PIPE OR INFILTRATION TRENCH WITH 4" STANDARD FITTINGS.
6. ALL AREA DRAINS SHALL BE NDS 12x12 CATCH BASINS WITH 3/4" GRATE OPENINGS (UON).
7. ALL FLOW WELLS SHALL HAVE A LOW PROFILE ADAPTER WITH A 12x12 SQUARE GRATE WITH 3/4" GRATE OPENINGS.

UTILITY NOTES

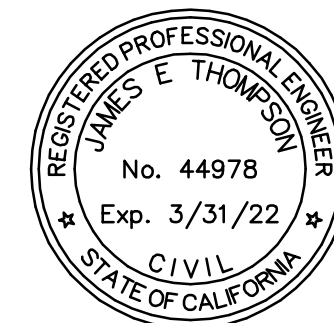
1. CONTRACTOR TO COORDINATE WITH PG&E TO OBTAIN NEW ELECTRICAL SERVICE DROP.
2. PROVIDE GAS SHUT-OFF VALVE PER LOCAL COUNTY ORDINANCE. THE VALVE SHALL BE LOCATED TO PROTECT THE ENTIRE BUILDING.
3. CONTRACTOR TO COORDINATE WITH PG&E TO PROVIDE GAS METER AND TO PROVIDE GAS SERVICE CONNECTION.
4. CONTRACTOR SHALL COORDINATE WITH WATER COMPANY TO CHECK WATER METER AND WATER SERVICE IS OF ADEQUATE SIZE.

GENERAL PLUMBING NOTES

1. ALL SANITARY DRAINAGE PIPES SHALL BE PVC SDR35 OR APPROVED EQUAL.
2. PROVIDE MINIMUM OF 1/4" PER FOOT (2%) SLOPE FOR HORIZONTAL SANITARY DRAINAGE PIPE PER, CPC SECTION 708 (UON).
3. ALL SANITARY DRAINAGE PIPE FITTINGS SHALL BE STANDARD AND LISTED.
4. SANITARY CLEANOUTS SHALL BE PLACED IN ACCORDANCE WITH THE PLANS AND EXTENDED TO GRADE PER CPC SECTION 707.0 CLEANOUTS. ALL CLEANOUTS SHALL HAVE STANDARD FITTINGS AND SHALL BE GAS AND WATER TIGHT.

GENERAL CONSTRUCTION BMPs NOTES

1. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
2. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
3. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN ALL NECESSARY PERMITS.
4. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WEHRE WASHWATER IS CONTAINED AND TREATED.
5. DELINEATE WITH FIELD MARKERS CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES AND DRAINAGE COURSES.
6. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
7. PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER.
8. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
9. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
10. AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
11. THE CONTRACTOR SHALL TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE CONSTRUCTION BMPs.

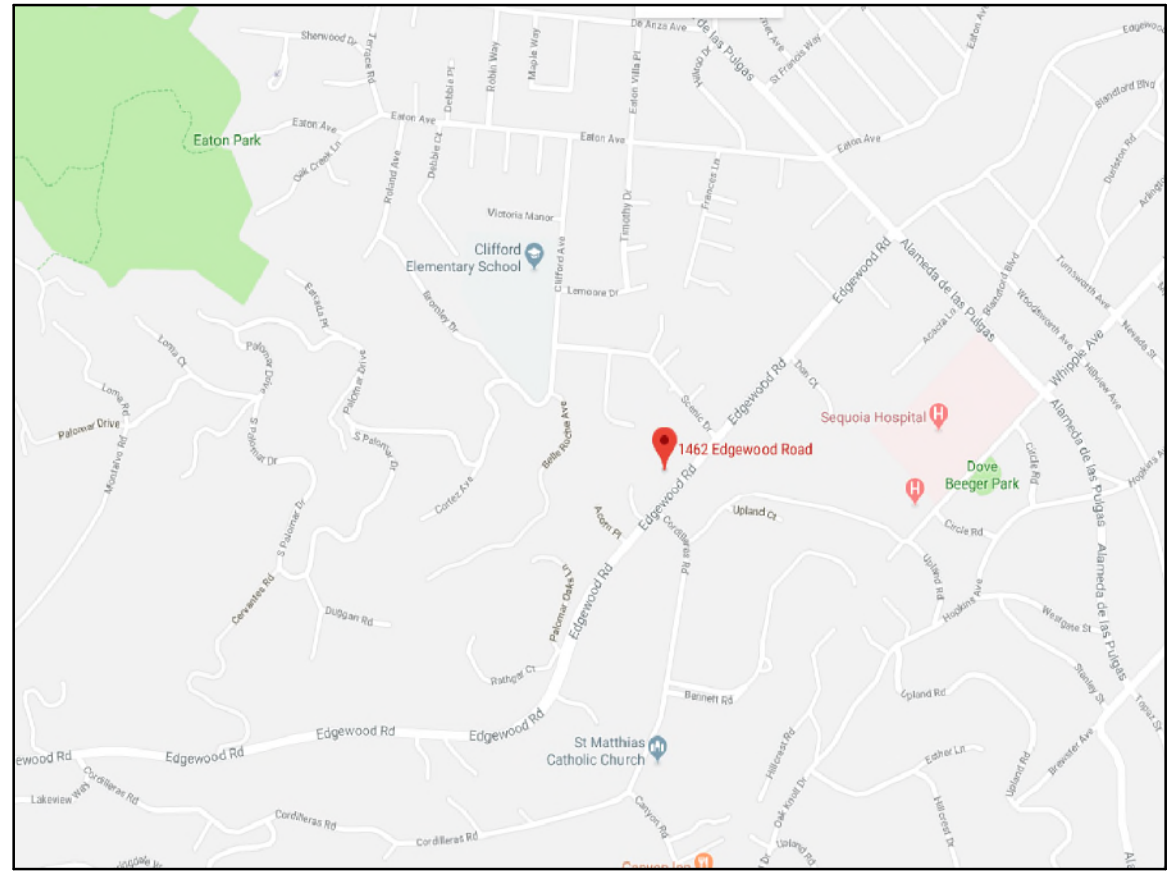
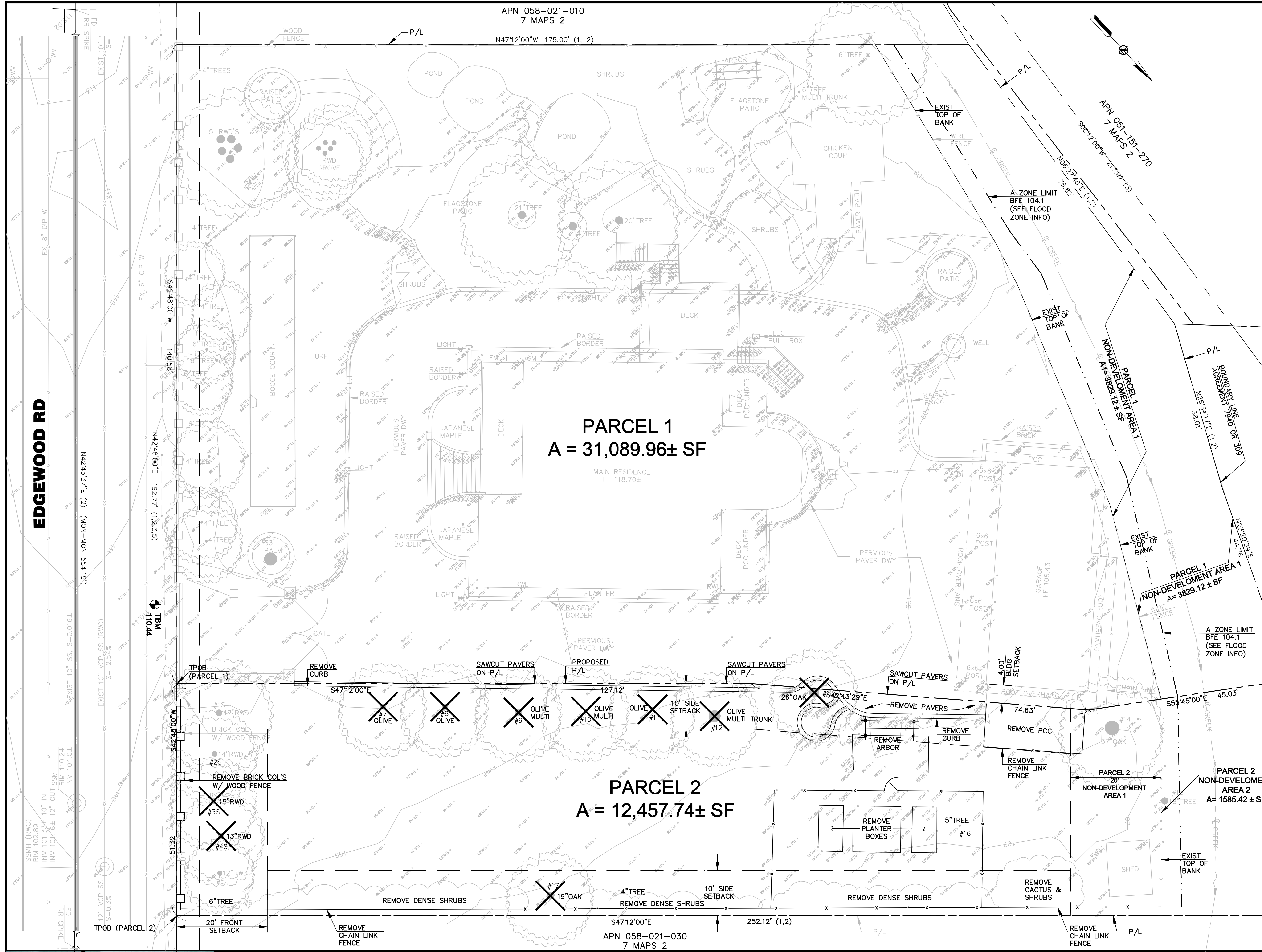


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LANDS OF CAMILLERI
1462 EDGEWOOD RD
REDWOOD CITY, CA 94062

GENERAL CONSTRUCTION NOTES

REVISIONS				JOB NO. R1462-E-18	SHEET NO.
NO.	DATE	DESCRIPTION	BY	DATE : 03/10/21	
				DRAWN: DC	C2.0
				CHECKED: JET	
				SCALE: NTS	



VICINITY MAP
NOT TO SCALE

PARCEL INFO
 APN: 058-021-050
 PARCEL AREA 43,547.71 SF CALC'D GROSS

BOUNDARY
 THE BOUNDARY INFORMATION IS BASED UPON THE FOLLOWING RECORD INFORMATION PORTION LOT 5, AS SHOWN ON THAT CERTAIN MAP ENTITLED "RECORD OF SURVEY OF THE LANDS OF CAMILLERI A PORTION OF LOT 5, JOHNSON SUBDIVISION, 7 MAPS 2 DESCRIBED IN 96151629 OR" FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA, ON FEBRUARY 23, 1999 IN BOOK 19 OF MAPS AT PAGE 38.

BASIS OF BEARING
 THE BEARING N42°48'00"E SHOWN ON THAT CERTAIN MAP ENTITLED "RECORD OF SURVEY OF THE LANDS OF CAMILLERI A PORTION OF LOT 5, JOHNSON SUBDIVISION, 7 MAPS 2 DESCRIBED IN 96151629 OR" FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA, ON FEBRUARY 23, 1999 IN BOOK 19 OF MAPS AT PAGE 38.

PROJECT BENCHMARK
 CITY OF REDWOOD CITY BM70, ELEVATION 117.139' (NAVD 1988) DESCRIBED AS FOLLOWS:
 WHIPPLE AVE AT UPLAND RD - TOP OF DISC ON CURB, AT INTERSECTION, SOUTH CURB RETURN, MID-POC.

TEMPORARY BENCHMARK (TBM)
 MAG NAIL SET IN EDGEWOOD RD, IN FRONT OF THE PROJECT SITE, ELEVATION 110.44'

TOPOGRAPHIC SURVEY NOTES:

- TOPOGRAPHIC SURVEYS PREPARED BY JET ENGINEERING DATED APRIL 20, 2018
- RECORD BOUNDARY PREPARED BY JET ENGINEERING

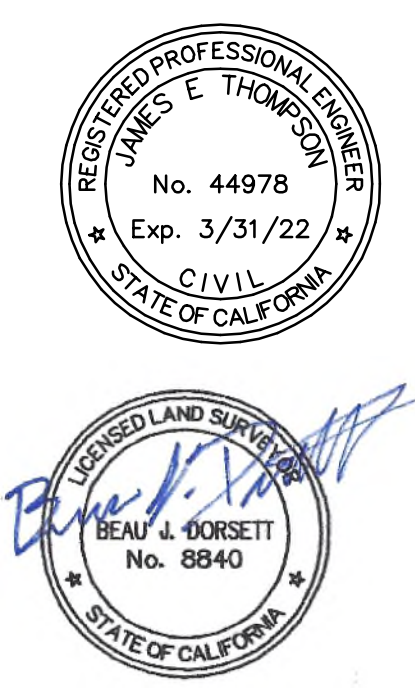
DOCUMENTS AND MAP REFERENCES

- GRANT DEED - DOC 96-151629, FILED DECEMBER 09, 1996
- RECORD OF SURVEY OF THE LANDS OF CAMILLERI A PORTION OF LOT 5, JOHNSON SUBDIVISION, 7 MAPS 2 DESCRIBED IN 96151629 OR., SAN MATEO COUNTY, CALIFORNIA (19 RSM 38)
- MAP OF JOHNSON SUBDIVISION, (7 RMS 2)
- PARCEL MAP OF A RESUBDIVISION OF A PORTION OF LOT 18 AS SHOWN ON THAT MAP ENTITLED "MAP OF THE SAN MATEO LAND ASSOCIATION" FILED IN BOOK D OF MAPS PAGE 25, AND BEING DESCRIBED IN 7904 OR 1885. (49 PM 28)
- RIGHT OF WAY MAP EDGEWOOD ROAD - COUNTY ROAD NO. 24, APRIL 1989, SAN MATEO COUNTY PUBLIC WORKS.

FLOOD ZONE INFO

FLOOD ZONE A
 - FIRM MAP PANEL 06081C0282E, EFF 10/16/2012
 - LETTER OF MAP AMENDMENT (REMOVAL) 4/5/1984
 CASE NO. 04-09-1467A
 PORTIONS TO REMAIN ZONE A (AS SHOWN) WITH BFE = 104.1 FT (NAD83)
 - REVALIDATION ON OCTOBER 17, 2012
 CASE NO. 07-09-1035V
 DEVELOPED PORTION ZONE X

ZONING INFORMATION
 ZONING DISTRICT:
 R-1, S-91, DR (DISTRICT COMBINING DISTRICT - PALOMAR PARK AREA) - SECTION 6300.7



JET ENGINEERING
 CONSULTING CIVIL ENGINEERS
 1048 EL CAMINO REAL, SUITE C
 REDWOOD CITY, CA 94063

LANDS OF CAMILLERI
1462 EDGEWOOD RD
 REDWOOD CITY, CA 94062

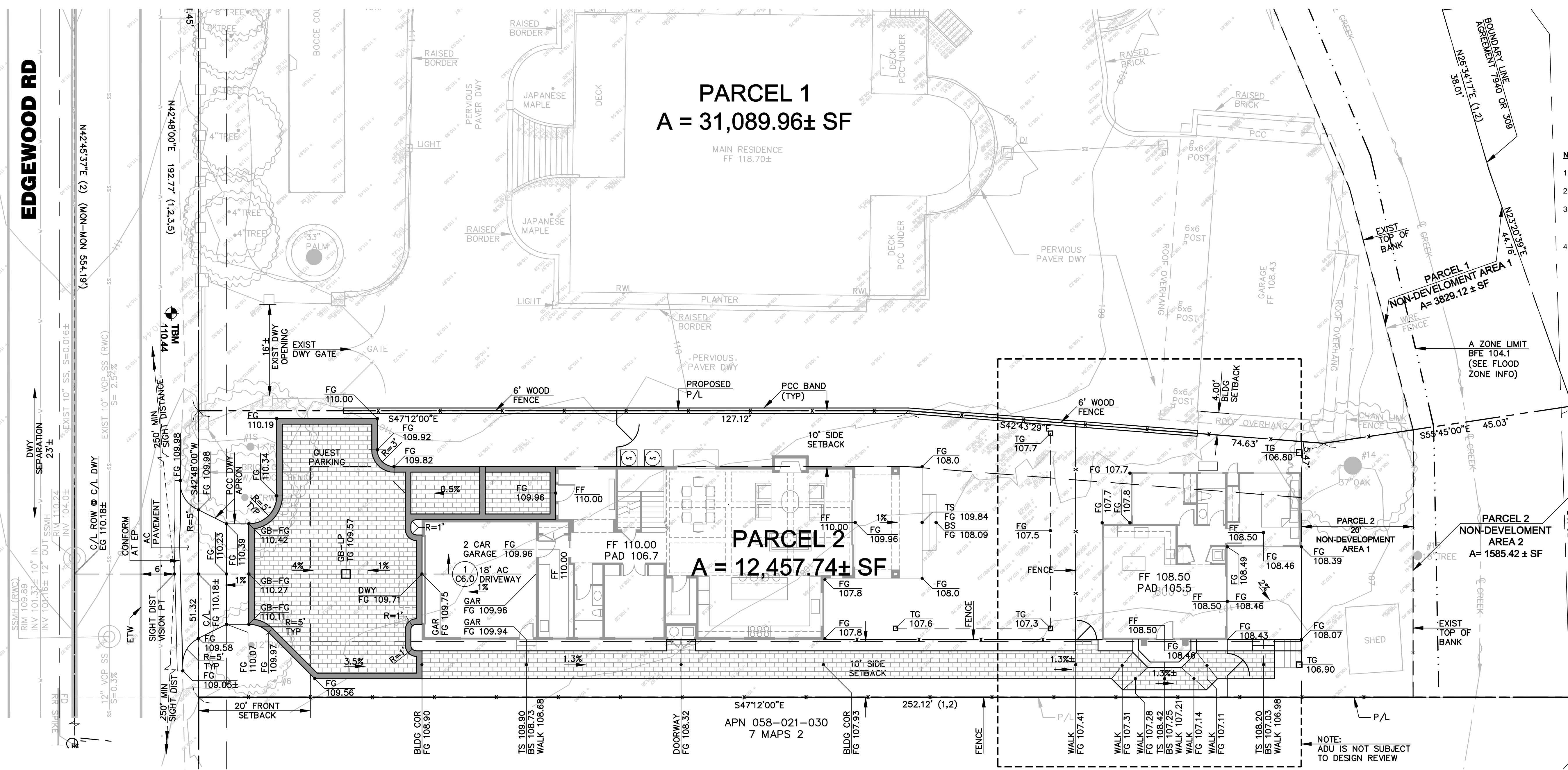
TOPOGRAPHIC SURVEY AND DEMOLITION AND REMOVAL PLAN

REVISIONS			
NO.	DATE	DESCRIPTION	BY

JOB NO. R1462-E-18
 DATE: 03/10/21
 DRAWN: DC
 CHECKED: JET
 SCALE: 1" = 10'

SHEET NO.
C3.0
 3 OF 15 SHEETS

EDGEWOOD RD



- NOTES:**
- ARBORIST REPORT PREPARED BY KIELTY ARBORIST SERVICES LLC, DATED JUNE 06, 2018.
 - TREES SHOWN ARE TO BE REMOVED (SEE C11.0)
 - ALL REDWOOD (SEQUOIA SEMPERVIRENS) SHOWN TO BE REMOVED ARE TO BE MITIGATED AT RATIO OF 1:1 WITH 15' BOX TREES, REGARDLESS OF THE TREES CONDITION.
 - PRIOR TO RECORDATION OF THE PARCEL MAP ALL ELEMENTS OR THE EXISTING GARAGE (EXTERIOR WALL, ROOF OVERHANG, AND UNDERSIDE OF ROOF OVERHANG) SHALL BE MODIFIED TO HAVE A 1 HOUR FIRE RATING UNDER A BUILDING PERMIT ISSUED AND FINALED FOR MODIFICATIONS.

MAXIMUM BUILDING / SITE COVERAGE AREA = 3.737 SF
SEE SHEET T4.0 FOR CALCULATION AND ZONING CITATION.

MAXIMUM BUILDING FLOOR AREA = 3.337 SF
SEE SHEET T4.0 FOR CALCULATION AND ZONING CITATION.

MAXIMUM BUILDING HEIGHT = 28 FT

1 SITE PLAN
SCALE 1" = 10'

ESTIMATED EARTHWORK QUANTITIES

CUT YARDS (CY)	FILL YARDS (CY)	NET IMPORT (CY)
57.97	66.29	8.32(F)

- CUT / FILL LINES SHOWN IN SITE GRADING AREAS ARE BETWEEN FINISH GRADES SHOWN ON SHEET C4.0 AND EXISTING GRADES SHOWN ON THE TOPOGRAPHIC SURVEY SHEET C3.0
- ALL EARTHWORK QUANTITIES ARE BASED UPON THE FINISH GRADES SHOWN ON THE GRADINGS AND DRAINAGE PLAN AND ARE IN BANK YARDS WITHOUT ADJUSTMENTS FOR EXPANSION.



JET ENGINEERING
CONSULTING CIVIL ENGINEERS
1048 EL CAMINO REAL, SUITE C
REDWOOD CITY, CA 94063

LANDS OF CAMILLERI
1462 EDGEWOOD RD
REDWOOD CITY, CA 94062

PARCEL 2
SITE AND GRADING PLAN

REVISIONS			JOB NO. R1462-E-18	SHEET NO.
NO.	DATE	DESCRIPTION	BY	

DATE: **03/10/21**
DRAWN: **DC**
CHECKED: **JET**
SCALE: **1" = 10'**

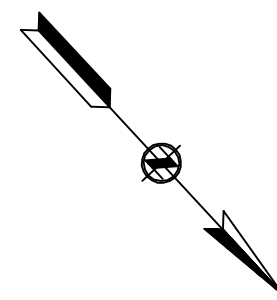
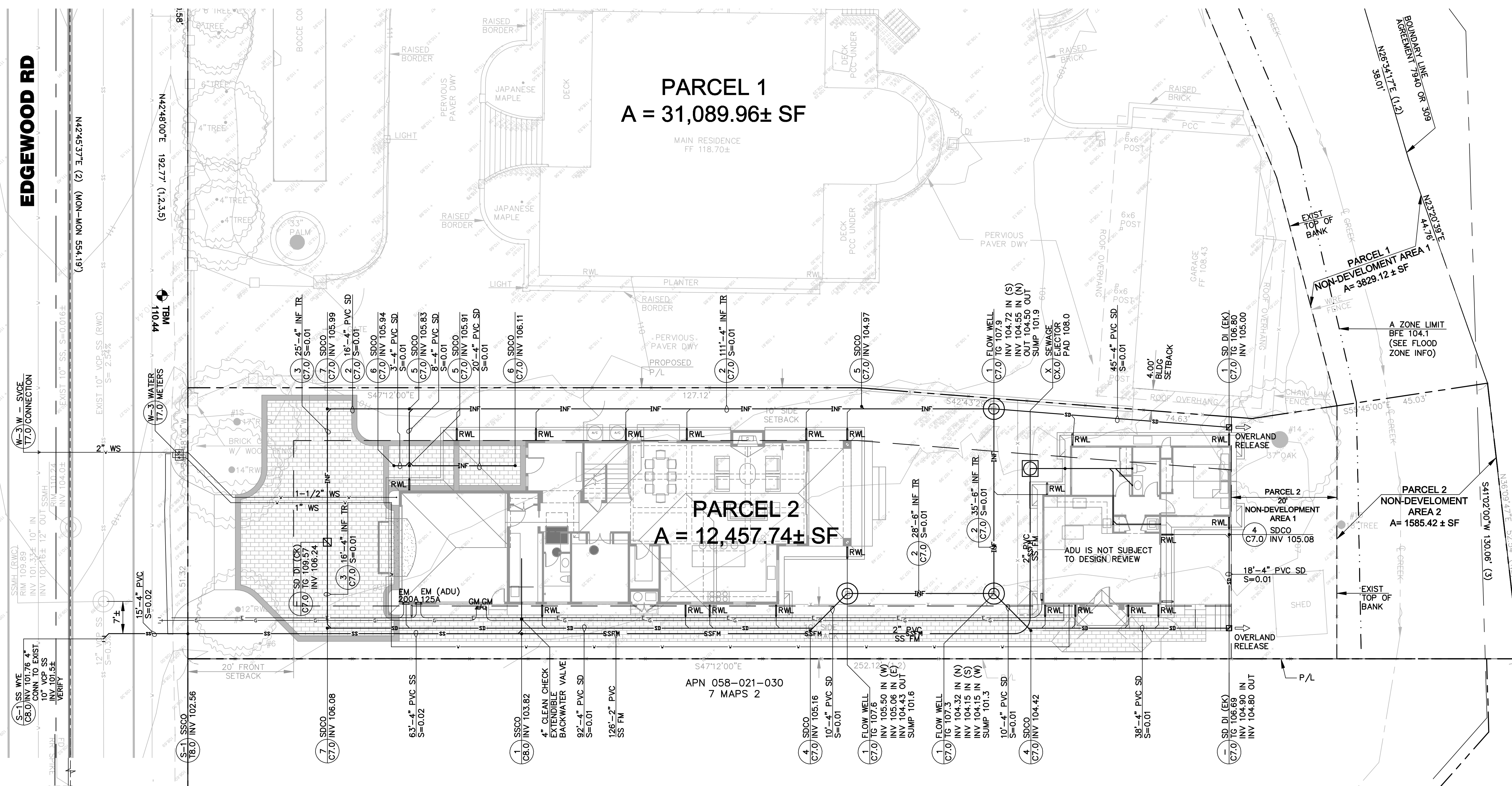
C4.0
4 OF 15 SHEETS

EDGEWOOD RD

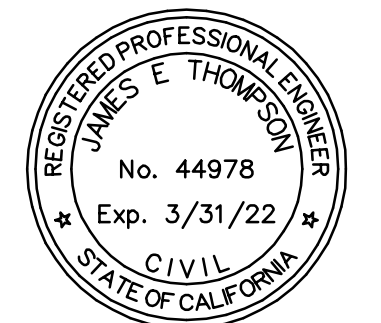
PARCEL 1
A = 31,089.96± SF

PARCEL 2
A = 12,457.74± SF

APN 058-021-030
7 MAPS 2



- NOTES:**
- ARBORIST REPORT PREPARED BY KIELTY ARBORIST SERVICES LLC, DATED JUNE 06, 2018.
 - TREES SHOWN ARE TO BE REMOVED (SEE C11.0)
 - ALL REDWOOD (SEQUOIA SEMPERVIRENS) SHOWN TO BE REMOVED ARE TO BE MITIGATED AT RATIO OF 1:1 WITH 15" BOX TREES, REGARDLESS OF THE TREES CONDITION.
 - PRIOR TO RECORDATION OF THE PARCEL MAP ALL ELEMENTS OR THE EXISTING GARAGE (EXTERIOR WALL, ROOF OVERHANG, AND UNDERSIDE OF ROOF OVERHANG) SHALL BE MODIFIED TO HAVE A 1 HOUR FIRE RATING UNDER A BUILDING PERMIT ISSUED AND FINALED FOR MODIFICATIONS.
 - IN ACCORDANCE WITH THE DRAINAGE AND HYDROLOGY CALCULATIONS PREPARED FOR THE TENTATIVE MAP THE MINIMUM REQUIRED STORAGE VOLUME OF 191 CF OF STORAGE SHALL BE PROVIDED IN THE PARCEL 2 BUILDING PERMIT PLANS.



JET ENGINEERING
CONSULTING CIVIL ENGINEERS
1048 EL CAMINO REAL, SUITE C
REDWOOD CITY, CA 94063

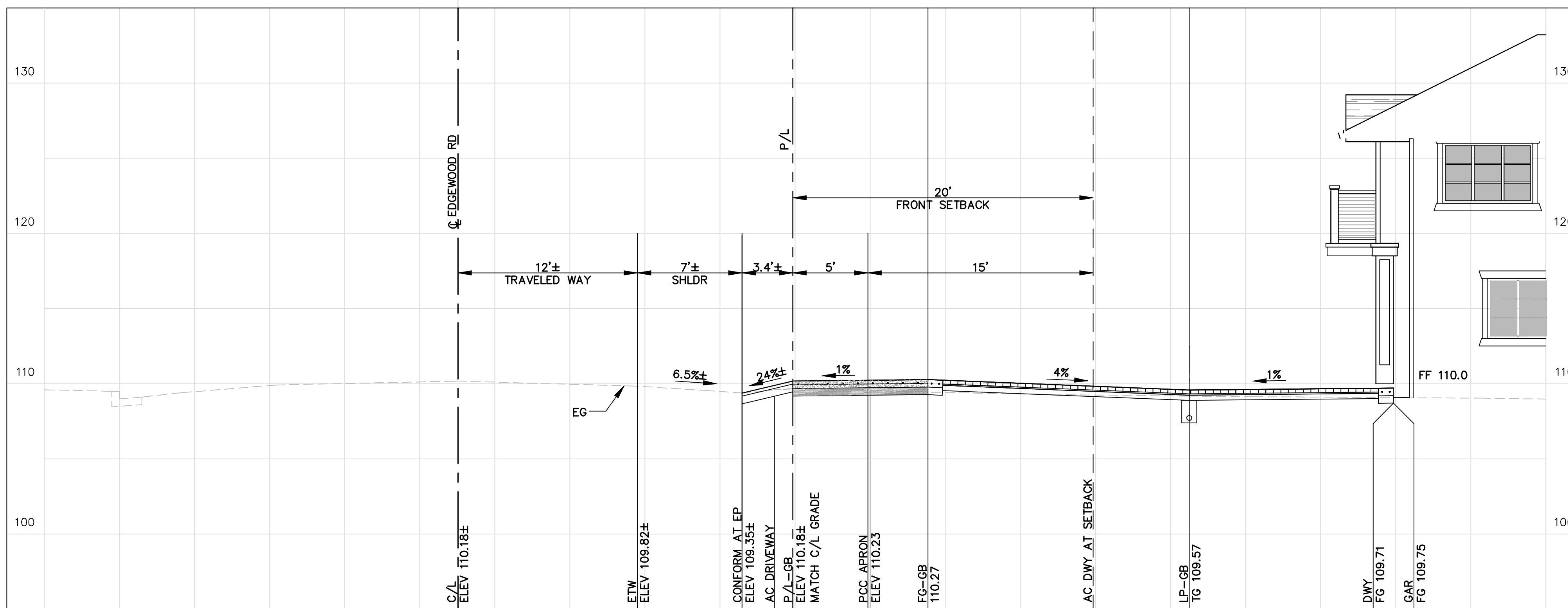
LANDS OF CAMILLERI
1462 EDGEWOOD RD
REDWOOD CITY, CA 94062

DRAINAGE AND UTILITY PLAN

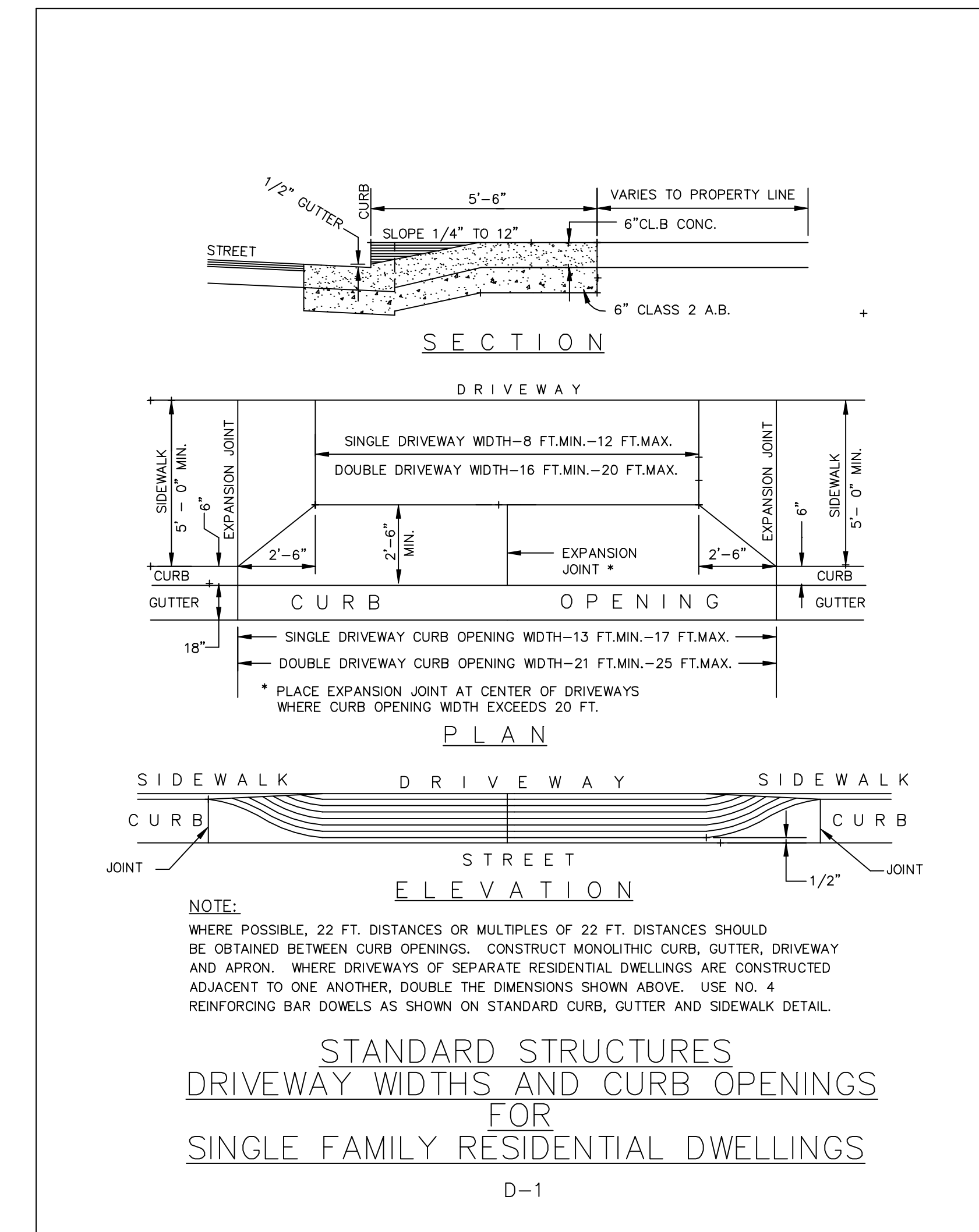
REVISIONS			
NO.	DATE	DESCRIPTION	BY

JOB NO. **R1462-E-18**
DATE: **03/10/21**
DRAWN: **DC**
CHECKED: **JET**
SCALE: **1" = 10'**

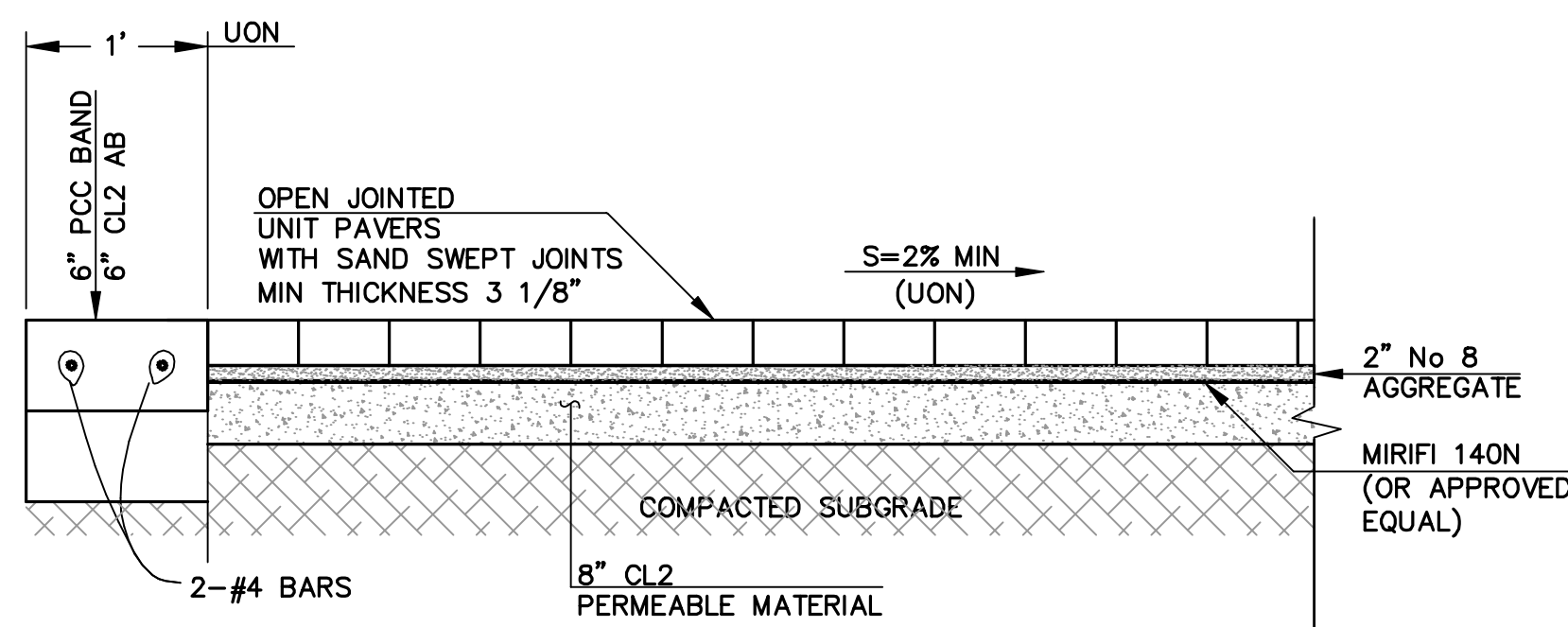
SHEET NO.
C5.0
5 OF 15 SHEETS



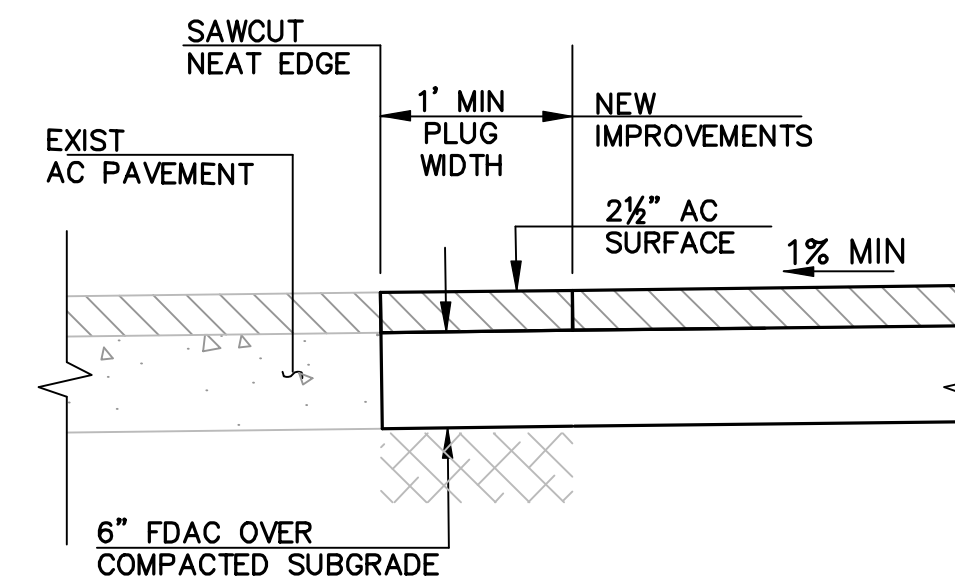
1 DRIVEWAY SECTION
SCALE 1"-5'



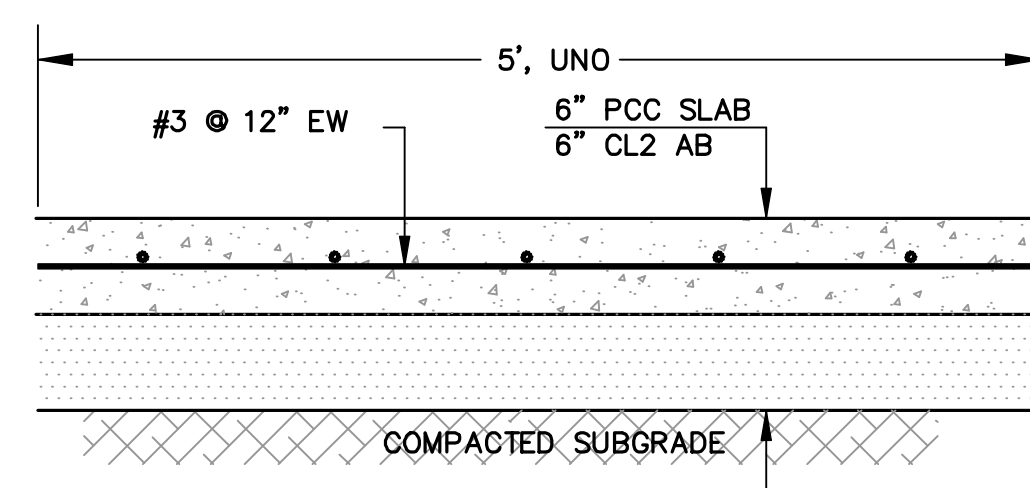
STANDARD STRUCTURES
DRIVEWAY WIDTHS AND CURB OPENINGS
FOR
SINGLE FAMILY RESIDENTIAL DWELLINGS
D-1



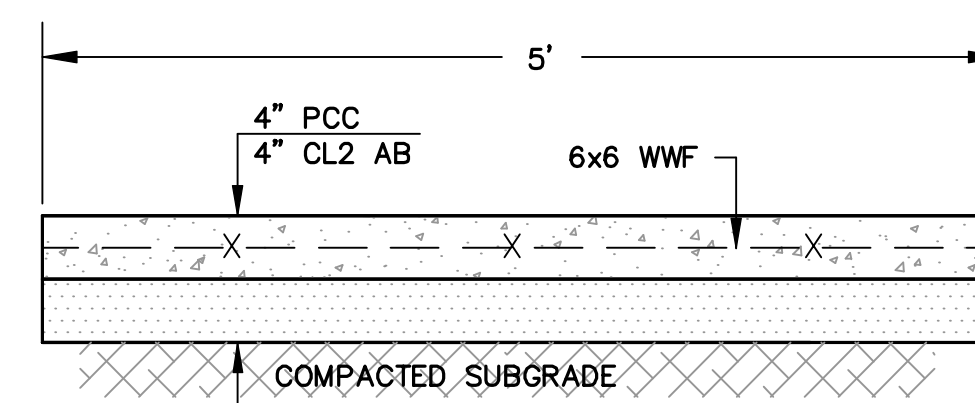
2 PERMEABLE PAVEMENT
DWY SECTION
SCALE 1"-1'



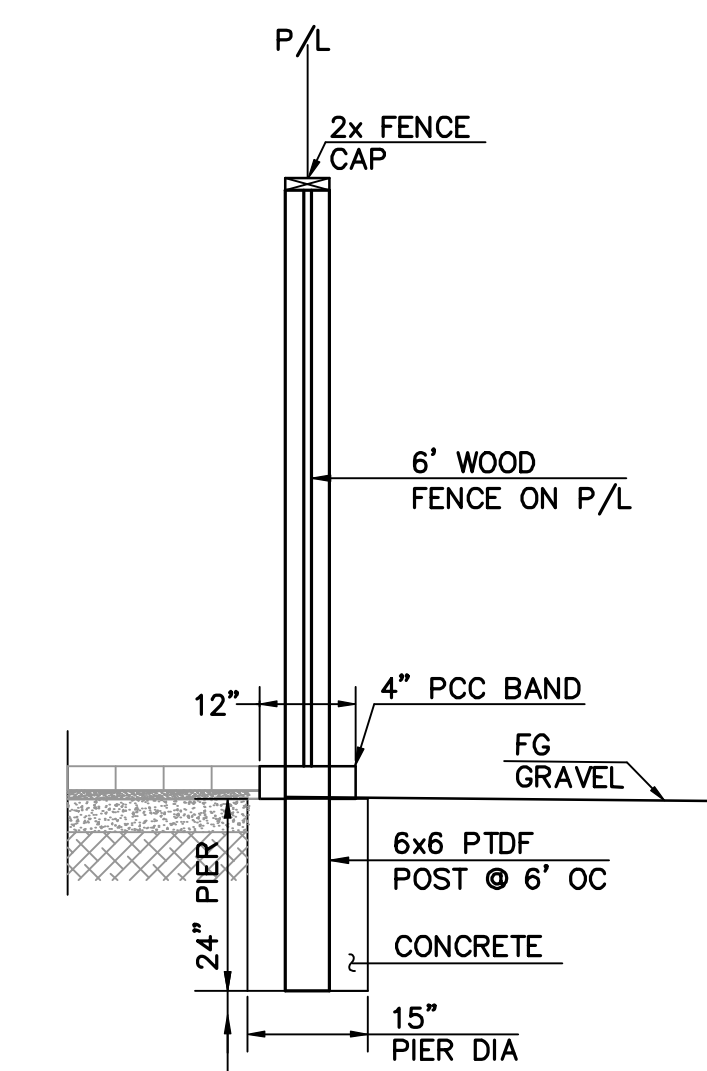
3 AC DRIVEWAY
SCALE 1"-1'



4 PCC DRIVEWAY APRON
SCALE 1"-1'



5 PCC WALK / PATIO
SCALE 1"-1'

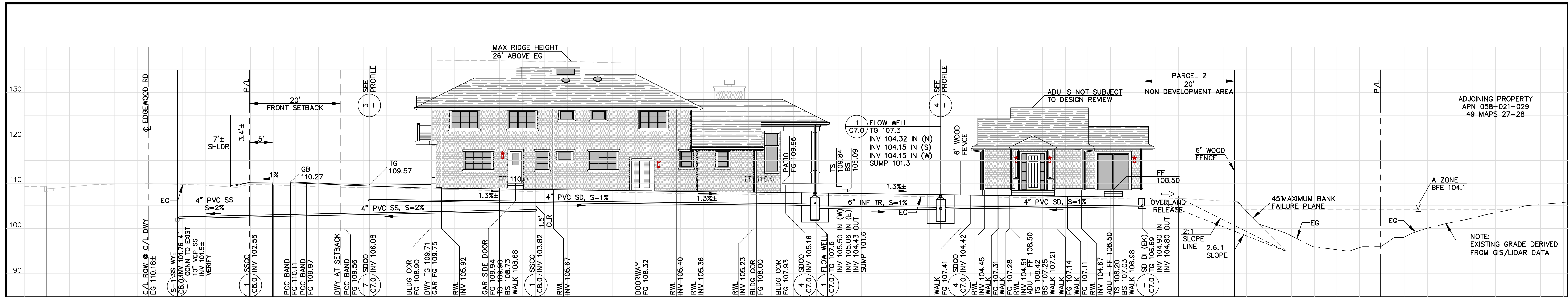


6 FENCE @ PCC BAND
SCALE 1"-1'

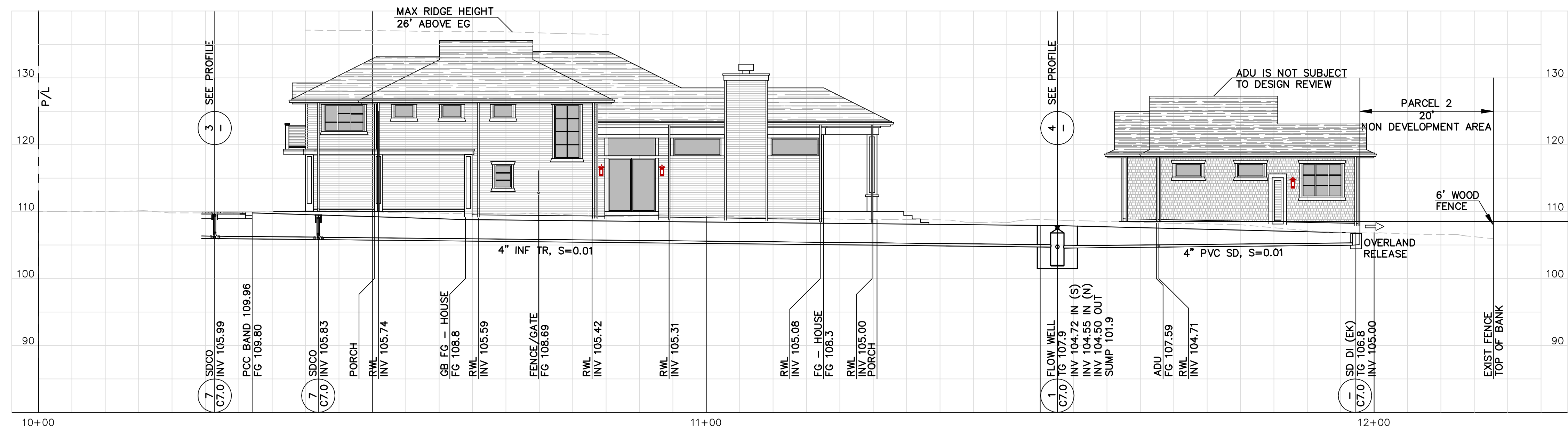


REVISIONS			
NO.	DATE	DESCRIPTION	BY

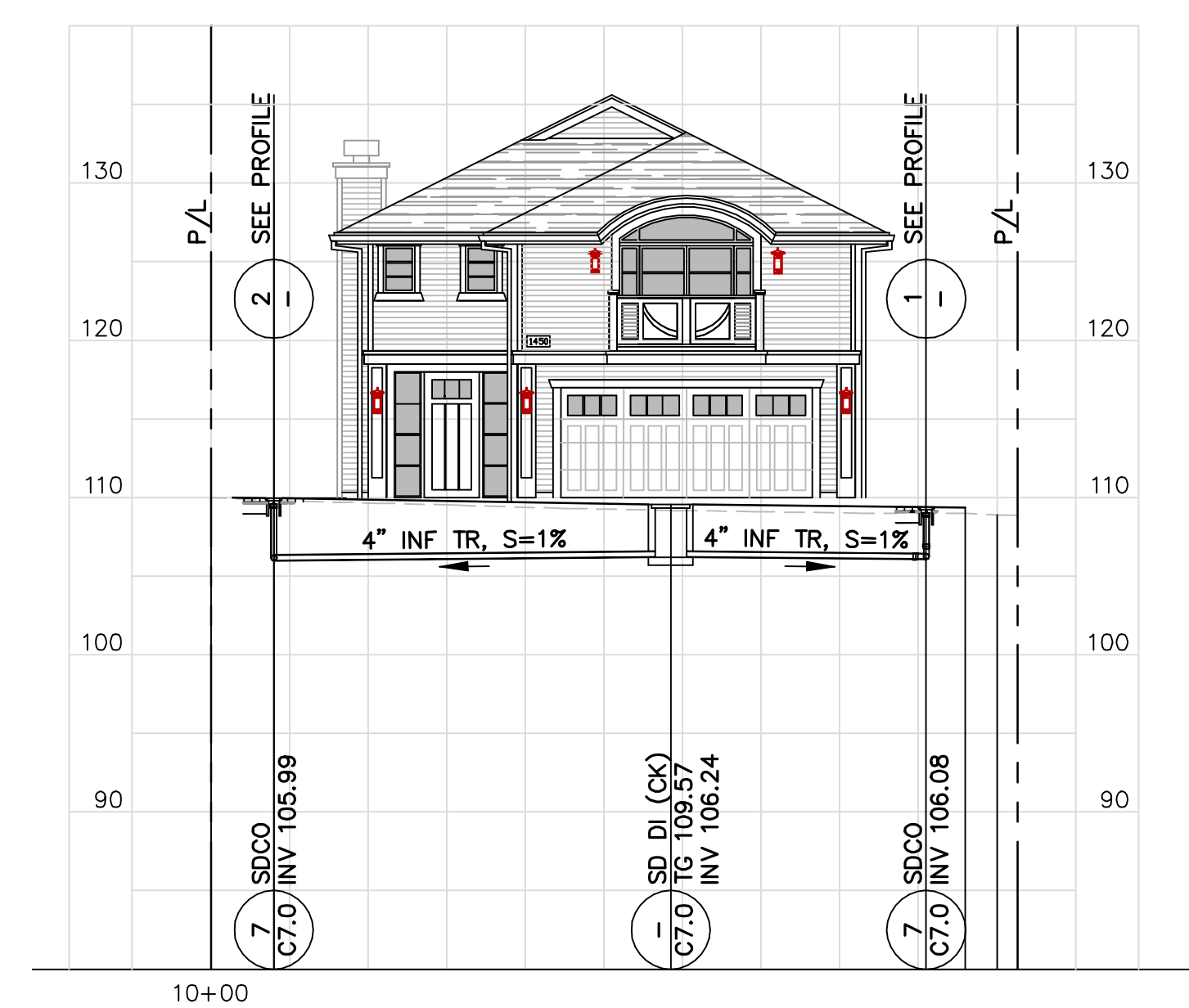
JOB NO.	R1462-E-18
DATE :	03/10/21
DRAWN:	DC
CHECKED:	JET
SCALE:	AS SHOWN



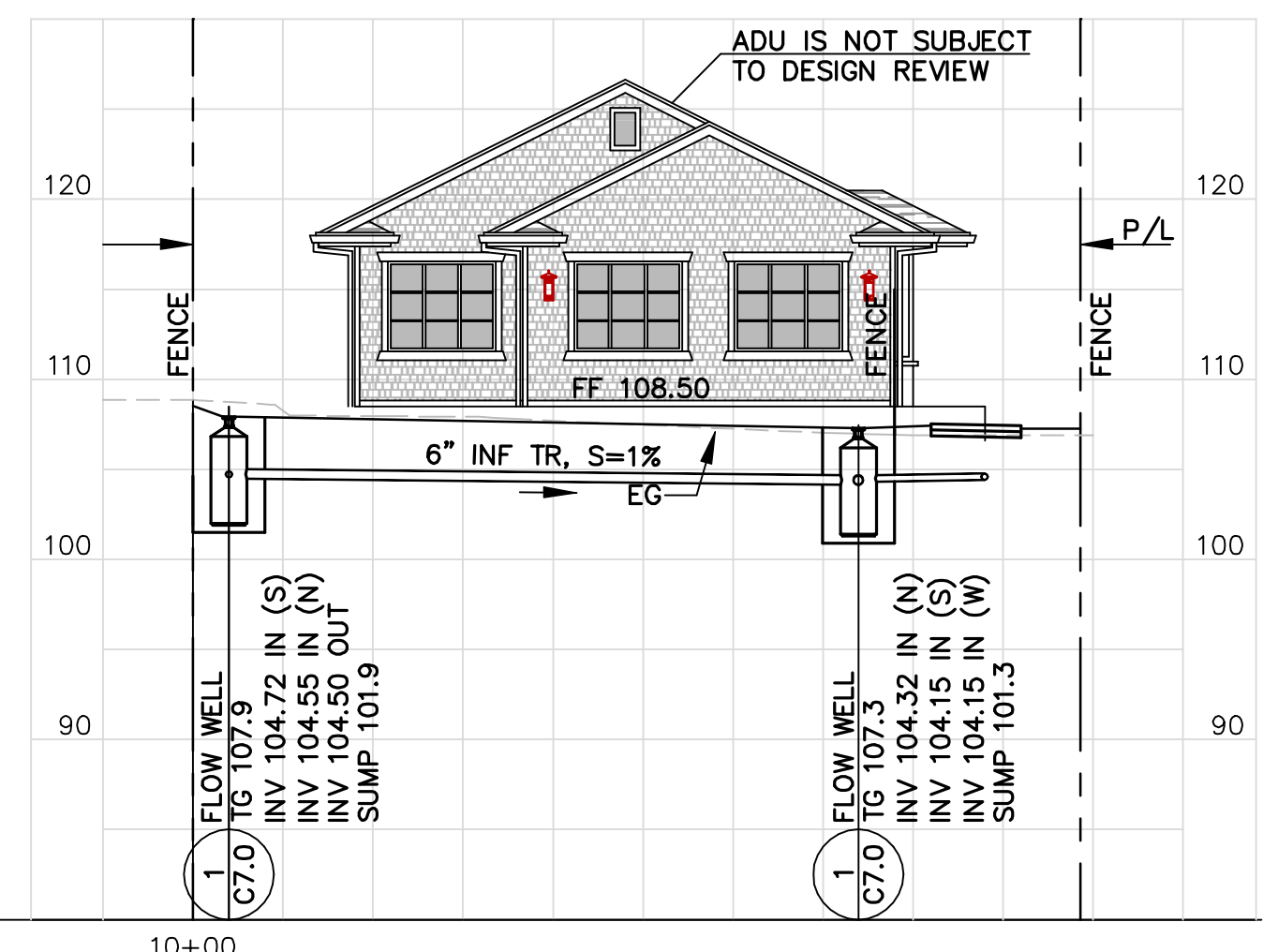
1 NORTH ELEVATION - UTILITY PROFILE
SCALE 1"=10'



2 SOUTH ELEVATION - UTILITY PROFILE
SCALE 1"=10'



3 EAST ELEVATION - UTILITY PROFILE
SCALE 1"=10'

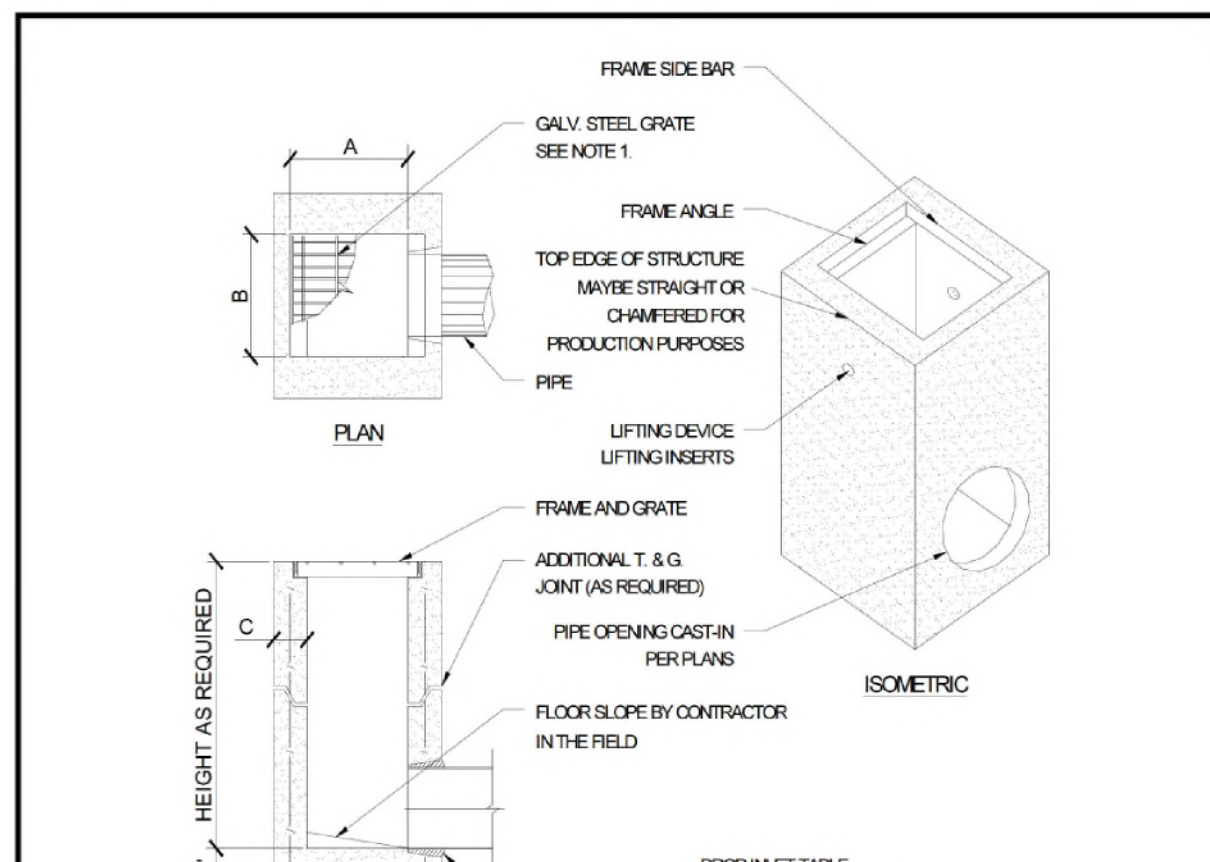


4 ADU SOUTH ELEVATION - UTILITY PROFILE
SCALE 1"=10'

REVISIONS		
NO.	DATE	DESCRIPTION

JOB NO.	R1462-E-18
DATE :	03/10/21
DRAWN:	DC
CHECKED:	JET
SCALE:	AS SHOWN





DROP INLET TABLE
Central Precast Concrete - Model Ref. CP212 etc

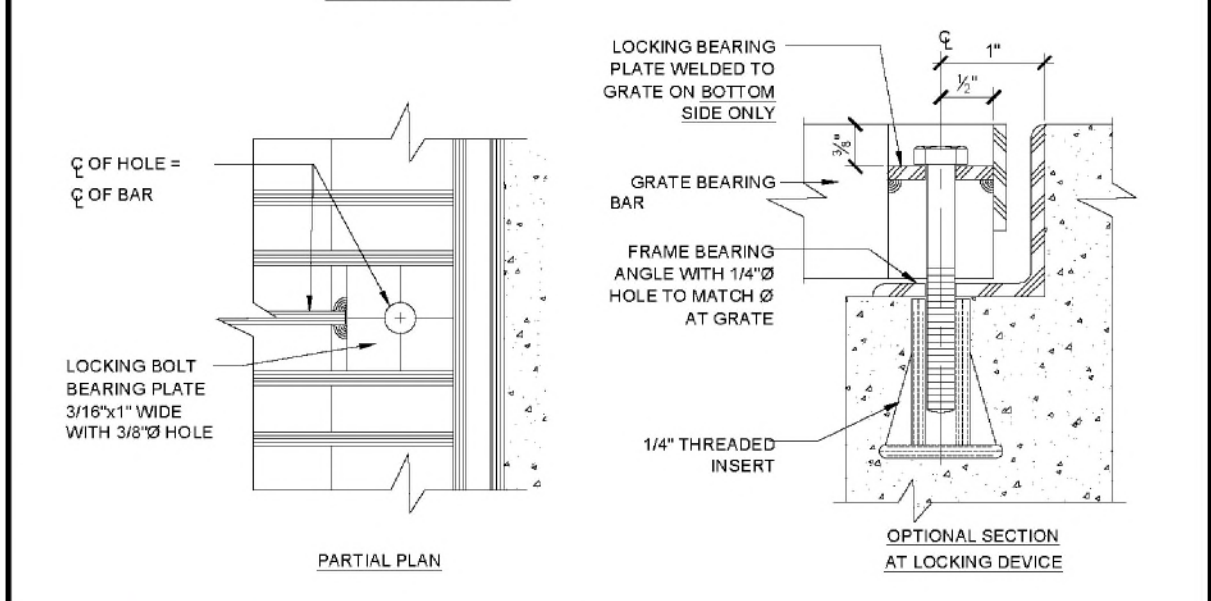
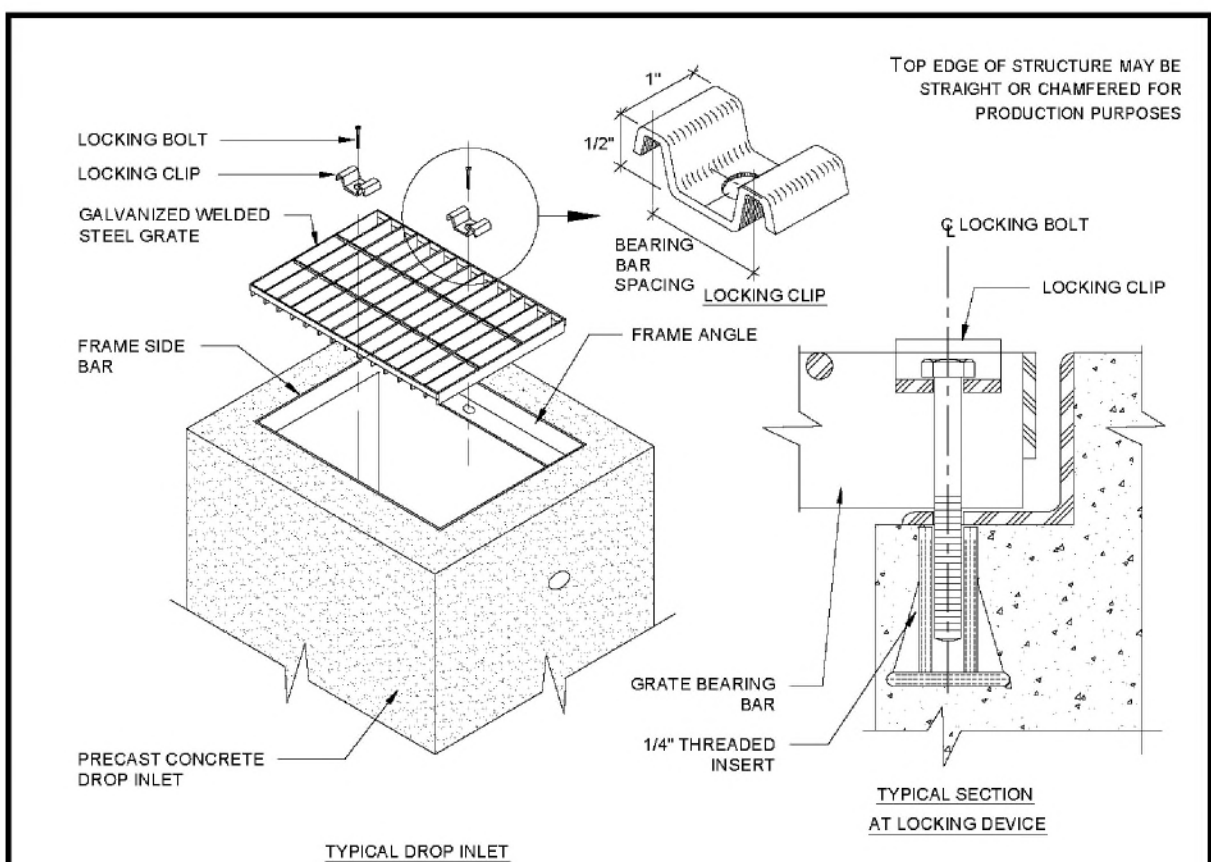
USCPQ MODEL No.	SANTA ROSA REF.	A IN	B IN	C IN
CB1212	EK	12	300	12
CB1818	OK	18	450	18
CB1824	1K	18	450	24
CB2424	2K	24	600	24
CB2430	3K	24	600	30
CB3030	5K	30	750	30
CB2436	1L	24	600	36
CB3036	1M	30	600	36
CB2448	3L	24	600	48
CB3048	3M	30	900	48
CB3648	1R	48	1200	48

- NOTES:
 1. FRAMES AND GRATES MAY BE SPECIFIED FOR PEDESTRIAN OR TRAFFIC LOADING. ALL GRATES ARE BICYCLE-PROOF. OPTIONAL GRATE LOCKING DEVICE AVAILABLE ON REQUEST. SEE DRAWING ON PAGE 1.7. CLOSED MESH GRATES OR CAST IRON FRAMES AND GRATES ARE AVAILABLE ON REQUEST.
 2. FOR SURFACE AND DISCHARGE OPTIONS AVAILABLE SEE DRAWING ON PAGE 14, 15 & 16.
 3. FRAMES AND GRATES DETAILS SEE PAGES 1-8, 1-9, AND 1-10. CASTING 1-11, DROPS 1-14.
 4. WALL THICKNESS ON SOME DROP INLETS CAN BE CHANGED UPON REQUEST. CALL TO VERIFY REQ'D THICKNESS.
 5. 1/2" WIDE D.I.S. REPLACE THE OLD 1/2" WIDE BOX. 6K & 1K.
 6. FOR PIPE HOLE SCHEDULES SEE PAGE 1-16.

US CONCRETE PRECAST GROUP
 3049 INDEPENDENCE DRIVE, SUITE A
 LIVERMORE, CA 94551
 PHONE: 925-960-8740
 FAX: 925-960-1903

Date: 3/11/2010
 Scale: N.T.S.
 Rev: 0
 DWG: 1-2.dwg

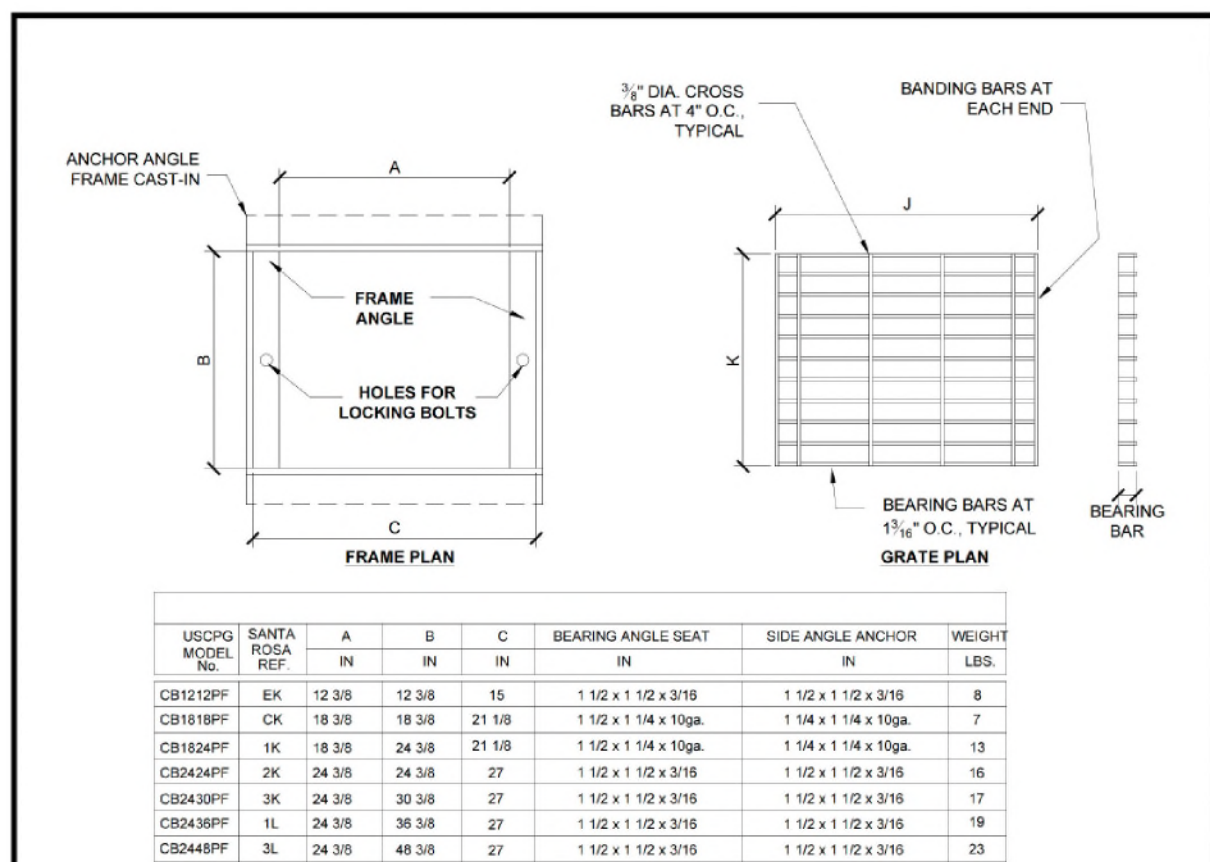
CUSTOM PRECAST
 PAGE: 1-2



US CONCRETE PRECAST GROUP
 3049 INDEPENDENCE DRIVE, SUITE A
 LIVERMORE, CA 94551
 PHONE: 925-960-8740
 FAX: 925-960-1903

Date: 3/11/2010
 Scale: N.T.S.
 Rev: 0
 DWG: 1-7.dwg

GRATE LOCKING DETAILS FOR INLETS
 PAGE: 1-7

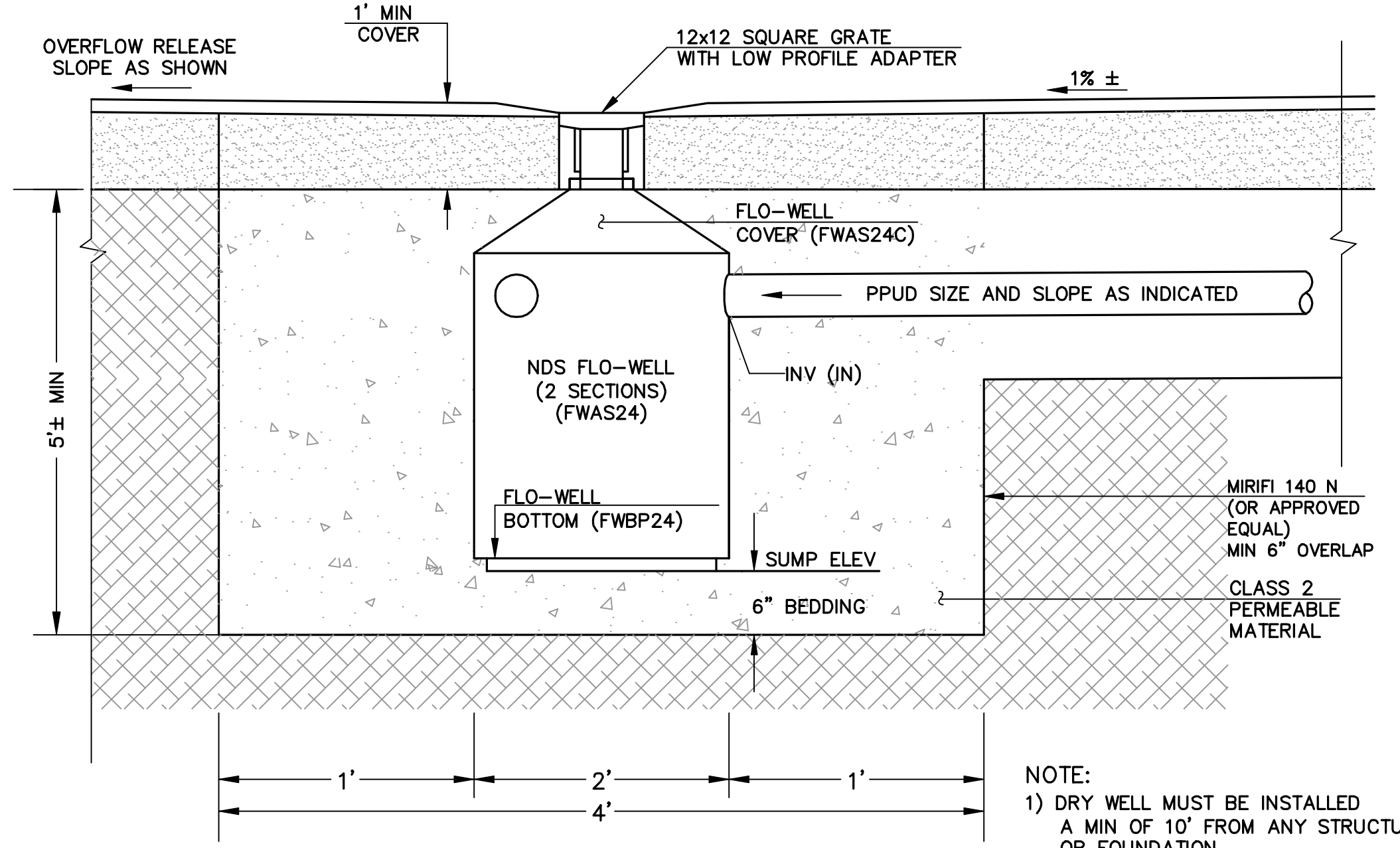


USCPQ MODEL No.	SANTA ROSA REF.	A IN	B IN	C IN	BEARING ANGLE BEAT IN	SIDE ANGLE ANCHOR IN	WEIGHT LBS.
CB1212PF	EK	12	300	12	1.102 x 1.102 x 3/16	1.102 x 1.102 x 3/16	8
CB1818PF	OK	18	300	21	1.102 x 1.14 x 1/8ga	1.14 x 1.14 x 1/8ga	7
CB1824PF	1K	18	300	24	1.102 x 1.14 x 1/8ga	1.14 x 1.14 x 1/8ga	13
CB2424PF	2K	24	300	27	1.102 x 1.12 x 3/16	1.102 x 1.12 x 3/16	16
CB2430PF	3K	24	300	27	1.102 x 1.12 x 3/16	1.102 x 1.12 x 3/16	17
CB2436PF	1L	24	300	36	1.102 x 1.12 x 3/16	1.102 x 1.12 x 3/16	19
CB2448PF	3L	24	300	48	1.102 x 1.12 x 3/16	1.102 x 1.12 x 3/16	23
CB3030PF	5K	30	300	30	1.102 x 1.12 x 3/16	1.102 x 1.12 x 3/16	19
CB3036PF	1M	30	300	36	1.304 x 1.304 x 3/16	1.304 x 1.304 x 3/16	27
CB3048PF	3M	30	300	48	1.304 x 1.304 x 3/16	1.304 x 1.304 x 3/16	31
CB3648PF	1R	48	300	51	2 x 1.102 x 3/16	2 x 1.102 x 3/16	35

US CONCRETE PRECAST GROUP
 3049 INDEPENDENCE DRIVE, SUITE A
 LIVERMORE, CA 94551
 PHONE: 925-960-8740
 FAX: 925-960-1903

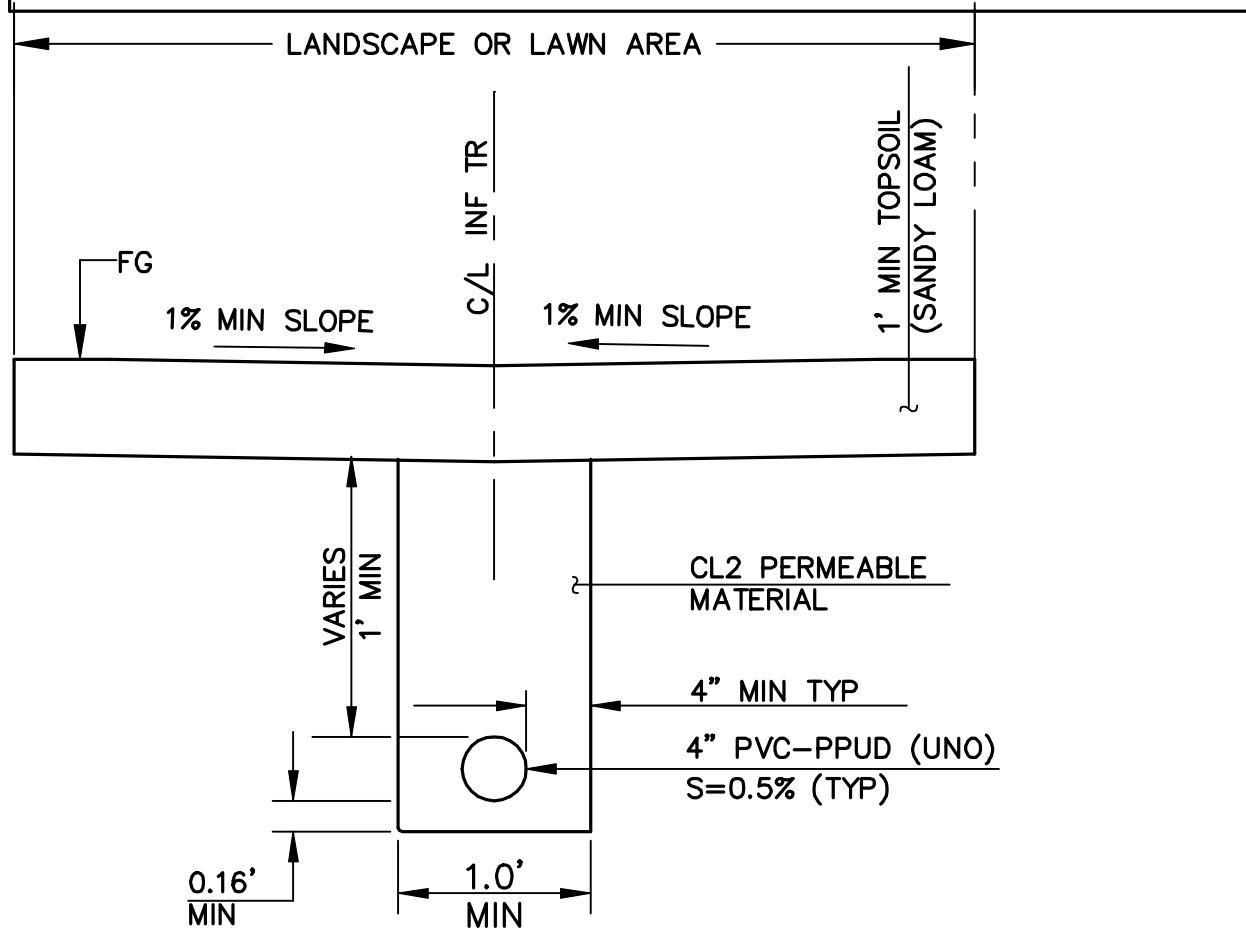
Date: 3/11/2010
 Scale: N.T.S.
 Rev: 0
 DWG: 1-8.dwg

PEDESTRIAN (NON TRAFFIC) BICYCLE-PROOF FRAMES & GRATES DETAILS
 PAGE: 1-8

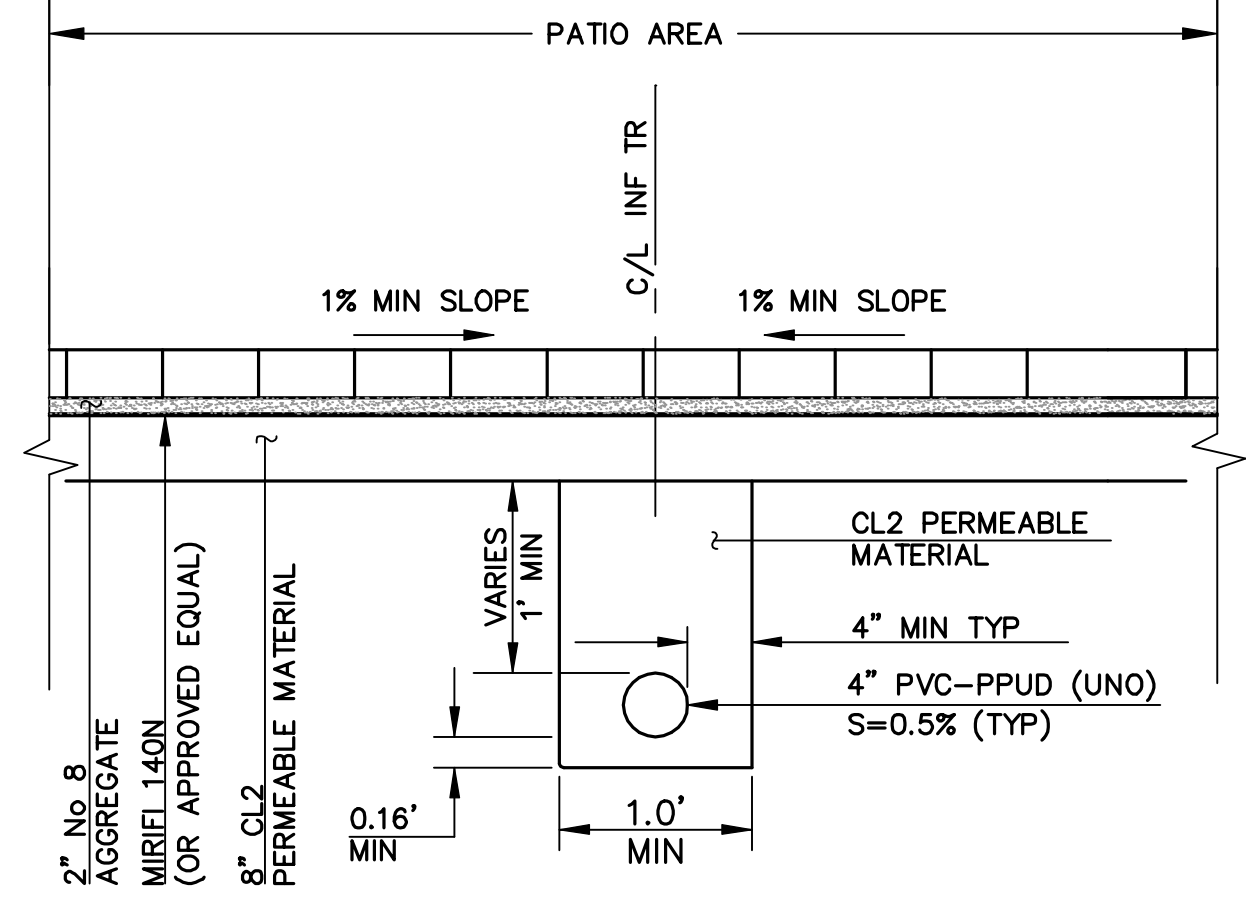


1 FLOW WELL DETAIL (NTS)

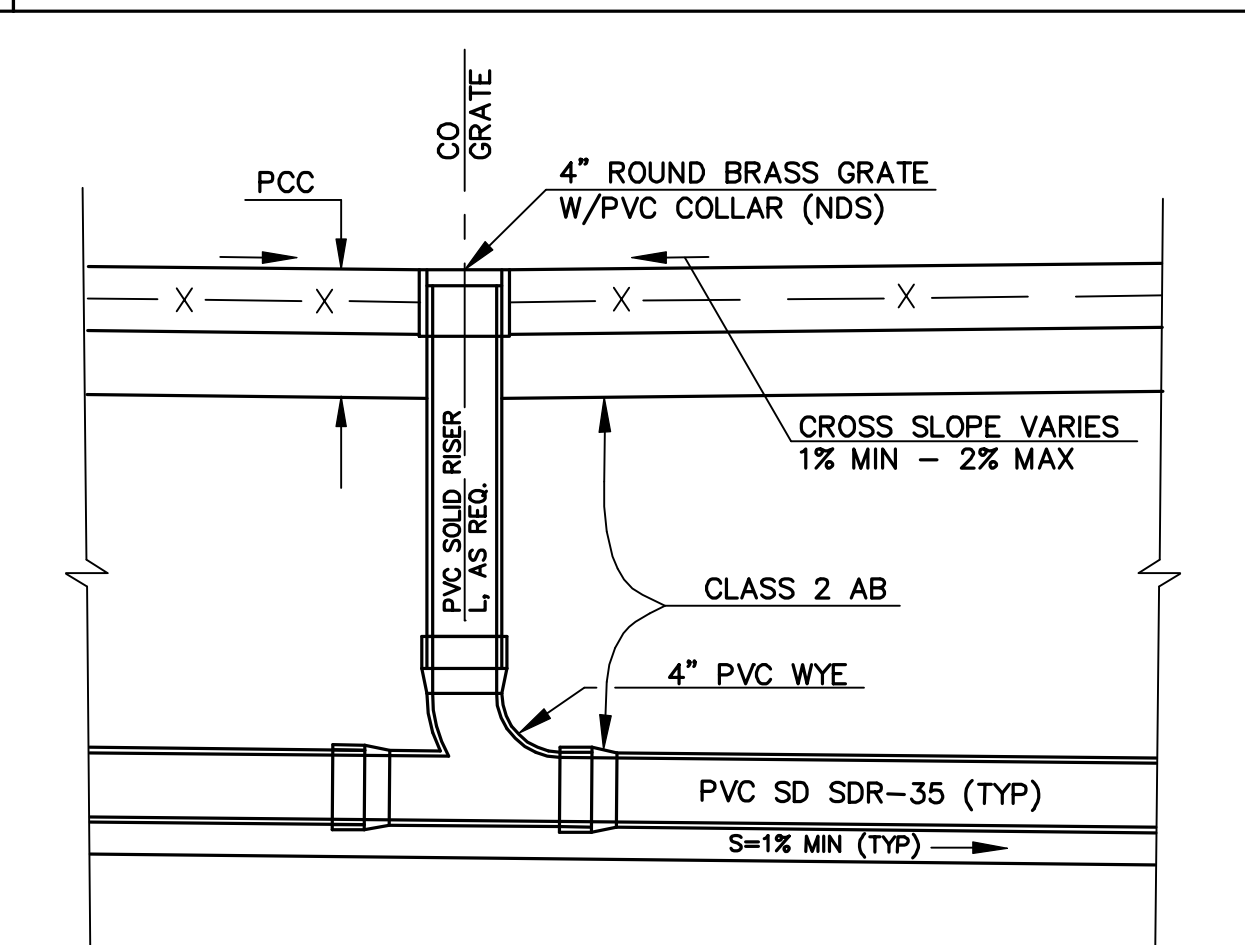
NOTE:
 1) DRY WELL MUST BE INSTALLED A MIN OF 10' FROM ANY STRUCTURE OR FOUNDATION



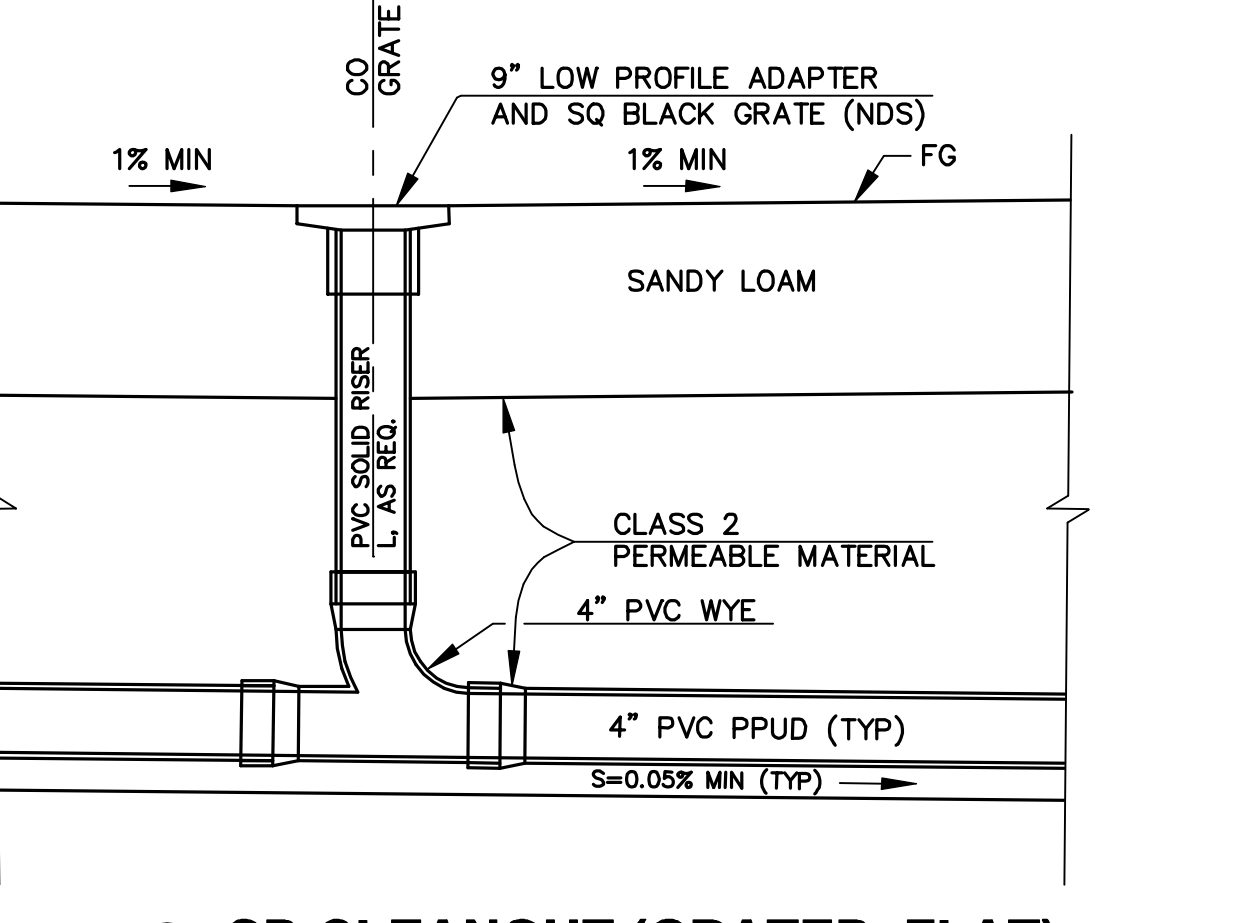
2 INFILTRATION TRENCH SCALE 1"-1"



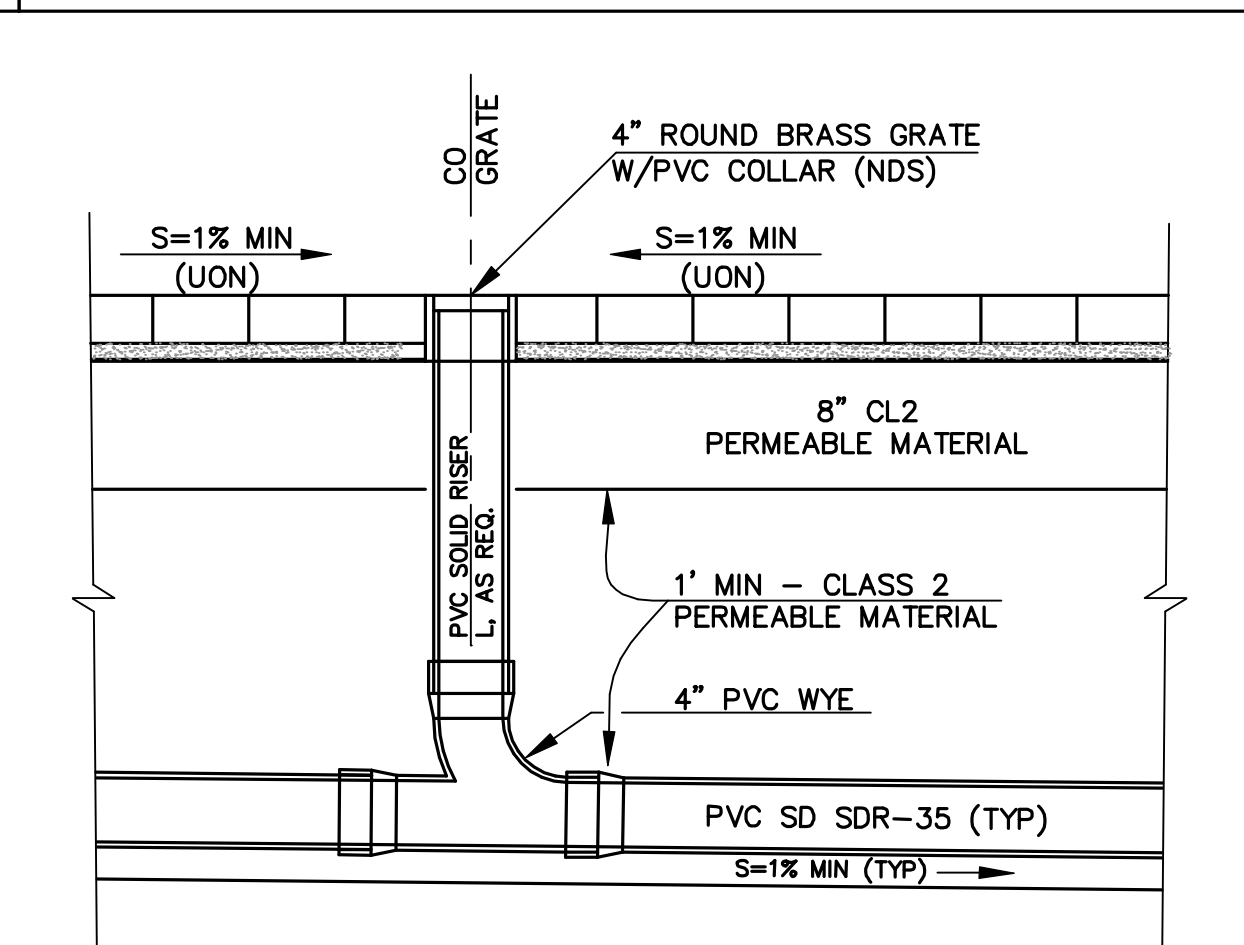
3 PERMEABLE PAVEMENT INFILTRATION TRENCH SCALE 1"-1"



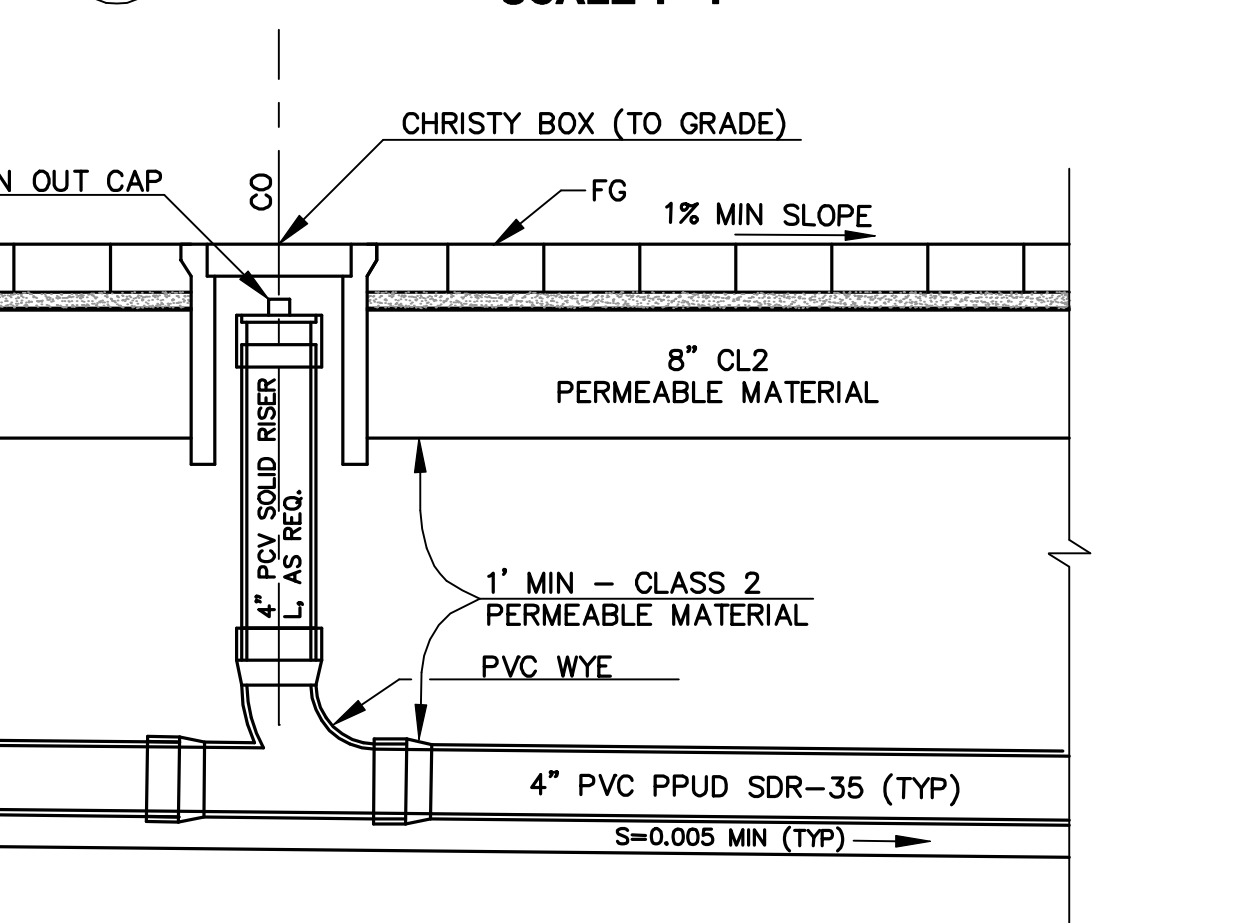
4 SD CLEANOUT (GRATED, BRASS) SCALE 1"-1"



5 SD CLEANOUT (GRATED, FLAT) SCALE 1"-1"



6 SD CLEANOUT (GRATED, BRASS) SCALE 1"-1"



7 SD CLEANOUT (PAVERS) SCALE 1"-1"

JET ENGINEERING
 CONSULTING CIVIL ENGINEERS
 1048 EL CAMINO REAL, SUITE C
 REDWOOD CITY, CA 94063

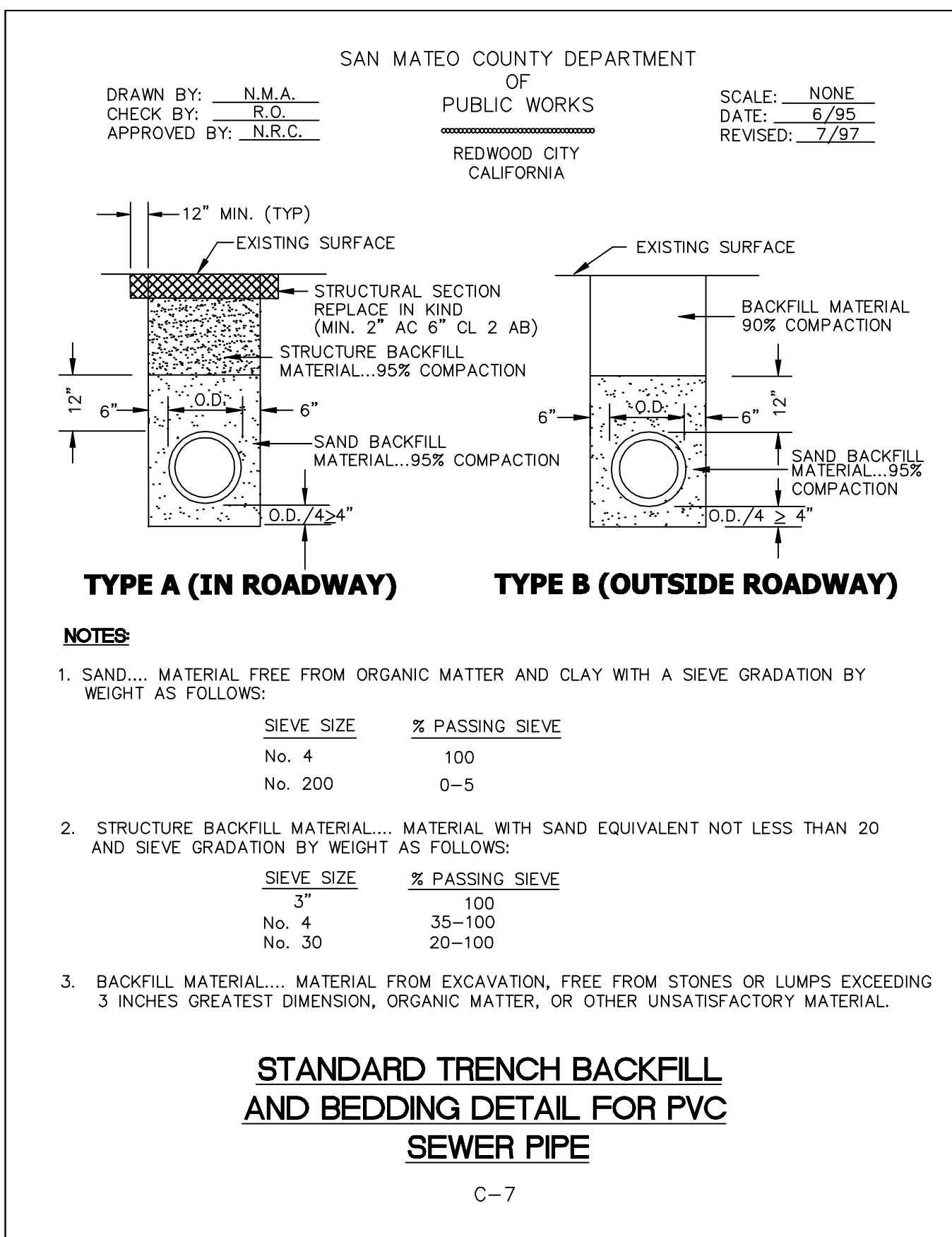
LANDS OF CAMILLERI
 1462 EDGEWOOD RD
 REDWOOD CITY, CA 94062

SITE DRAINAGE DETAILS

REVISIONS			JOB NO. R1462-E-18	SHEET NO.
NO.	DATE	DESCRIPTION	DATE: 03/10/21	C7.0
			DRAWN: DC	
			CHECKED: JET	
			SCALE: AS SHOWN	

8 OF 15 SHEETS





SAN MATEO COUNTY DEPARTMENT
OF
PUBLIC WORKS
REDWOOD CITY
CALIFORNIA

SCALE: NONE
DATE: 6/95
REVISED:

**SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS
STANDARD SPECIFICATIONS**

GENERAL NOTES

- ALL REFERENCES TO "DISTRICT" IN THESE GENERAL NOTES SHALL MEAN THE APPROPRIATE COUNTY SEWER OR SANITATION DISTRICT.
- THE APPROVAL OF THESE PLANS BY THE DISTRICT SHALL BE INTERPRETED TO MEAN THAT THE SANITARY SEWER DESIGN SHOWN ON THESE PLANS MEETS THE DISTRICT'S STANDARDS. THE DISTRICT'S APPROVAL IN NO WAY GUARANTEES ANY OTHER ASPECT OF THIS PLAN OR ITS ACCURACY RELATIVE TO ACTUAL FIELD CONDITIONS.
- THE CONTRACTOR SHALL CONTACT THE DISTRICT AT 363-4765 OR 363-4100 TWO (2) WORKING DAYS IN ADVANCE OF BEGINNING ANY SANITARY SEWER WORK. THE CONTRACTOR SHALL THEREAFTER KEEP THE INSPECTOR FOR THE DISTRICT INFORMED OF HIS SCHEDULE FOR SANITARY SEWER WORK.
- ALL SANITARY SEWER WORK CONSTRUCTED WITHOUT INSPECTION BY THE DISTRICT SHALL BE REMOVED AND RECONSTRUCTED WITH INSPECTION.
- THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FORTY-EIGHT (48) HOURS IN ADVANCE OF BEGINNING ANY WORK.
- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES BEFORE BEGINNING ANY EXCAVATING.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE COUNTY OR CITY BEFORE BEGINNING ANY SANITARY SEWER WORK.
- UPON THE COMPLETION OF CONSTRUCTION A COMPLETE SET OF REPRODUCIBLE "AS-CONSTRUCTED" PLANS SHALL BE PROVIDED TO THE DISTRICT.
- SANITARY SEWER SERVICE SHALL BE MAINTAINED AT ALL TIMES. THE CONTRACTOR SHALL USE WHATEVER MEANS ARE NECESSARY (E.G. PUMPS, ETC.) TO MAINTAIN THIS SERVICE DURING CONSTRUCTION.
- PRIOR TO COMMENCING ANY SANITARY SEWER WORK IN OFF-SITE EASEMENTS THE CONTRACTOR SHALL PROVIDE THE DISTRICT WITH ADEQUATE EVIDENCE THAT ALL AFFECTED PROPERTY OWNERS (AND TENANTS WHERE APPLICABLE) WERE NOTIFIED WELL IN ADVANCE OF THE DATE WORK IN THESE EASEMENTS WAS TO BEGIN AND THAT THEY HAVE UPDATED THAT NOTICE IN A TIMELY MANNER WHEN THOSE DATES HAVE CHANGED.

C-13

SAN MATEO COUNTY DEPARTMENT
OF
PUBLIC WORKS
REDWOOD CITY
CALIFORNIA

SCALE: NONE
DATE: 6/95
REVISED:

**SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS
STANDARD SPECIFICATIONS**

TESTING REQUIREMENTS

- ALL REFERENCES TO "DISTRICT" IN THESE TESTING REQUIREMENTS SHALL MEAN THE APPROPRIATE COUNTY SEWER OR SANITATION DISTRICT.
- ALL REQUIRED CLEANING AND TESTING OF SANITARY SEWER MAINS AND LATERALS SHALL BE PERFORMED IN THE PRESENCE OF A REPRESENTATIVE OF THE DISTRICT.
- ALL SANITARY SEWER MAINS BEING CONSTRUCTED SHALL BE CLEANED BY MEANS OF A HIGH SPEED JET RODDER PRIOR TO TESTING. VCP AND DIP SHALL BE TESTED FOR OBSTRUCTION BY BALL ROLLING.
- ALL SANITARY SEWER MAINS BEING CONSTRUCTED SHALL PASS A LOW PRESSURE AIR TEST. EACH SECTION OF MAIN SHALL BE TESTED BETWEEN SUCCESSIVE MANHOLES. THE LOW PRESSURE AIR TEST SHALL BE CONDUCTED IN THE FOLLOWING MANNER:

A COMPRESSED AIR SUPPLY SHALL BE ATTACHED TO AN AIR FITTING ON THE MAIN AND THE AIR PRESSURE WITHIN THE LINE INCREASED TO FOUR (4) POUNDS PER SQUARE INCH (PSI). AFTER THE AIR SUPPLY IS SECURELY TURNED OFF OR DISCONNECTED, THERE SHALL BE A TWO (2) MINUTE WAITING PERIOD BEFORE THE ACTUAL TEST PERIOD BEGINS TO ALLOW STABILIZATION OF AIR WITHIN THE MAIN.

IN NO CASE SHALL THE AIR PRESSURE WITHIN THE LINE BE LESS THAN 3.5 PSI AT THE BEGINNING OF THE TEST PERIOD. REFER TO THE CHART WHICH FOLLOWS FOR THE LENGTH OF THE TEST PERIOD. THE MINIMUM LENGTH OF TEST IS TWO (2) MINUTES. THE ALLOWABLE AIR PRESSURE LOSS DURING THE TEST PERIOD SHALL BE 1.0 PSI. A WRITTEN RECORD OF THE TEST SHALL BE SUBMITTED TO THE DISTRICT BY THE CONTRACTOR.

NOMINAL PIPE SIZE (inches)	LENGTH OF LINE (feet)	LENGTH OF TEST (minutes)
4	ALL	2
6	0 - 300	2
6	300 - 370	2 1/2
6	370 AND GREATER	3
8	0 - 170	2
8	170 - 210	2 1/2
8	210 - 250	3
8	250 - 290	3 1/2
8	290 AND GREATER	3 3/4
10	0 - 110	2
10	110 - 165	3
10	165 - 215	4
10	215 AND GREATER	4 3/4

C-15

SAN MATEO COUNTY DEPARTMENT
OF
PUBLIC WORKS
REDWOOD CITY
CALIFORNIA

SCALE: NONE
DATE: 6/95
REVISED: 4/97

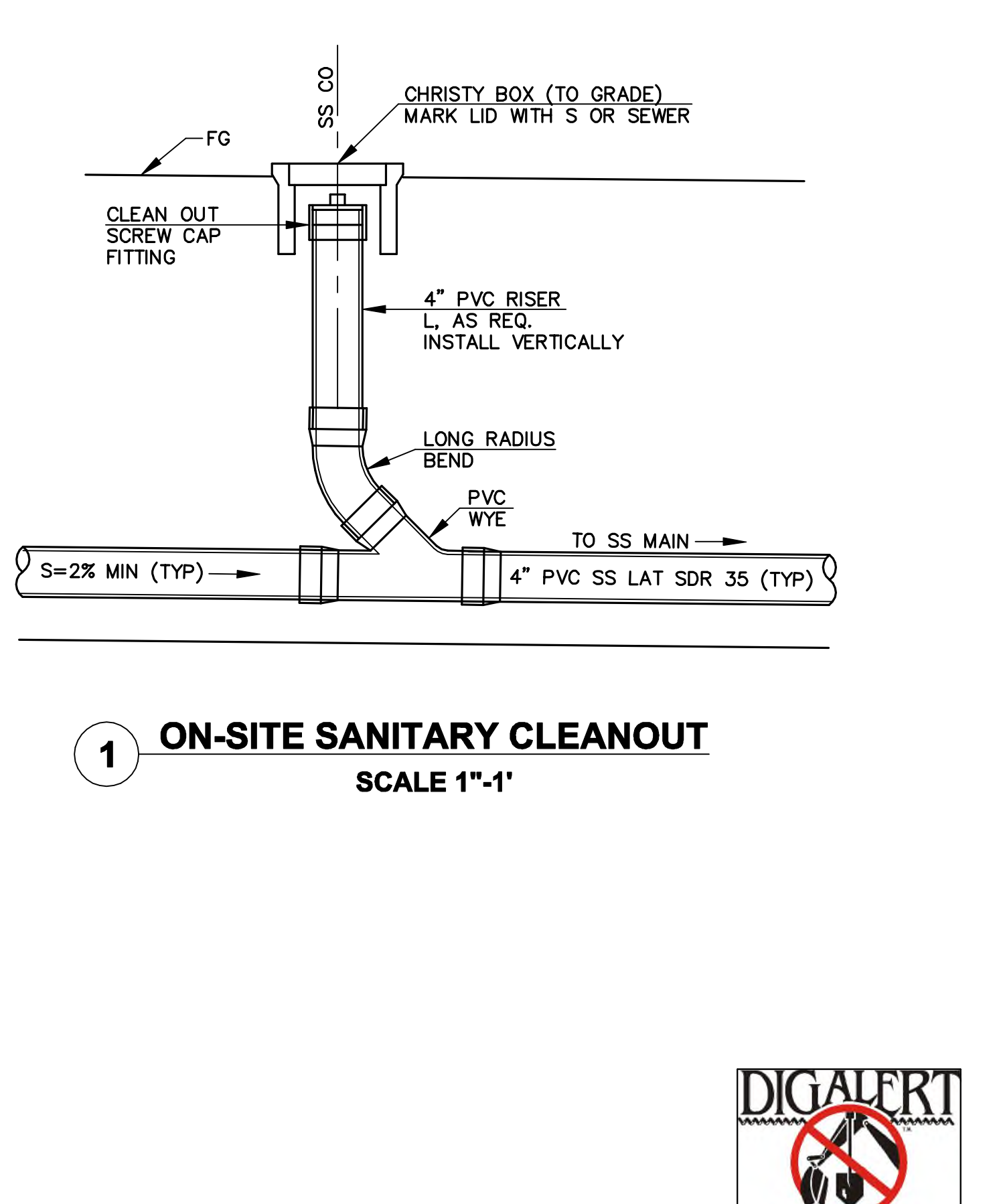
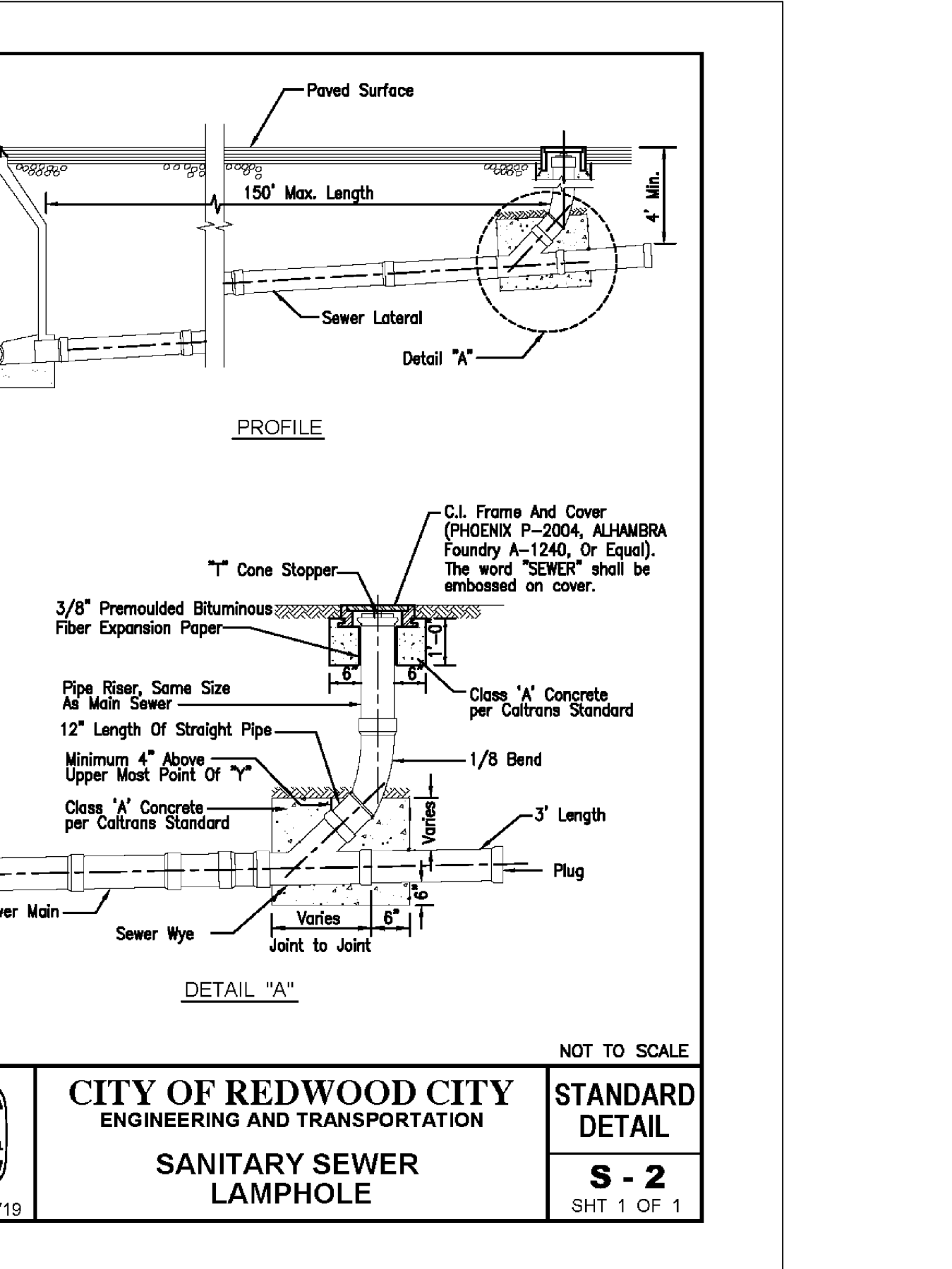
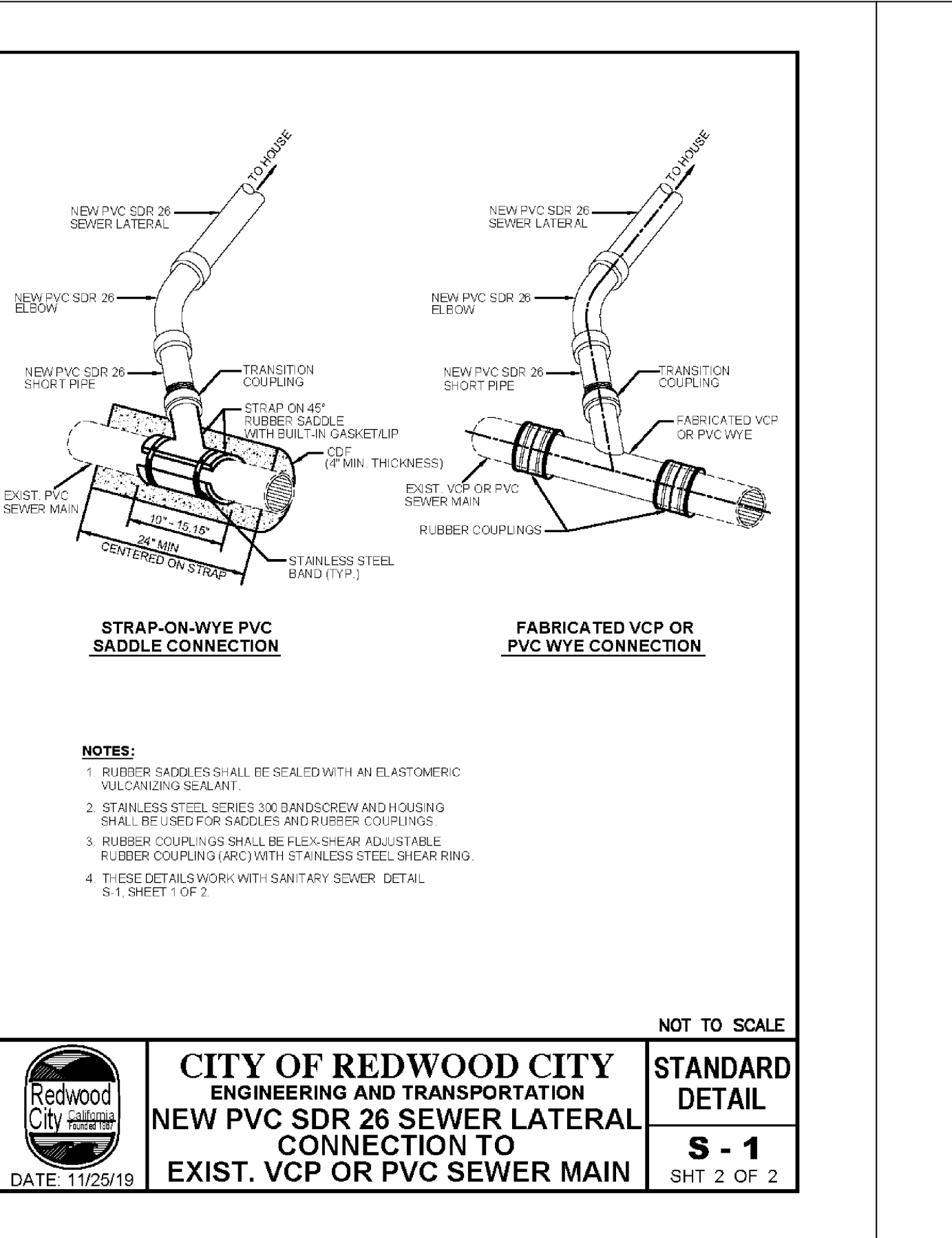
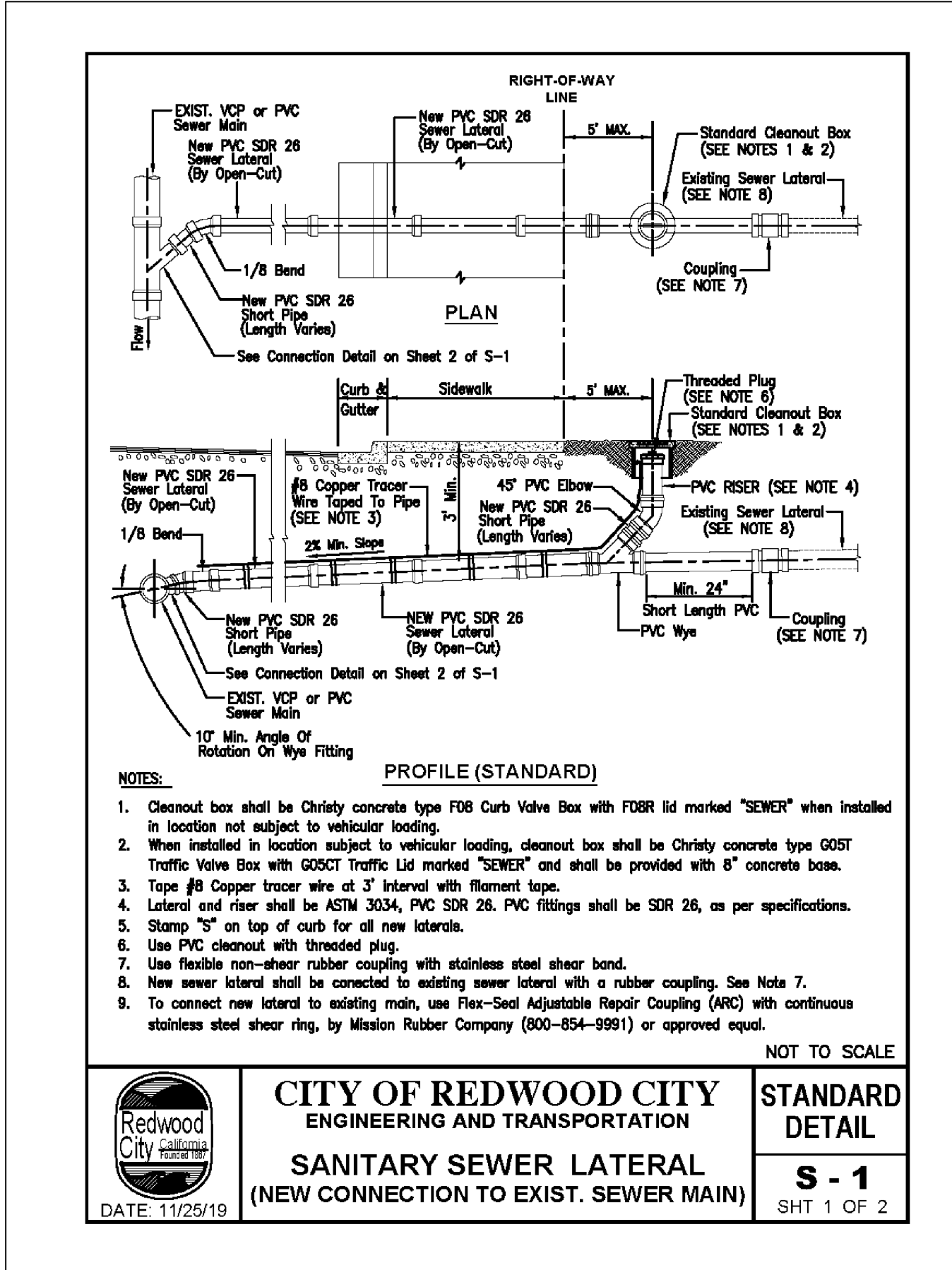
**SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS
STANDARD SPECIFICATIONS**

PIPE AND FITTINGS

POLYVINYL CHLORIDE PIPE (PVC)

- ALL PIPE AND FITTINGS SHALL CONFORM TO ASTM SPECIFICATIONS D3034, SDR 35.
- ALL JOINTS SHALL BE A BELL AND SPIGOT ASSEMBLY WITH ELASTOMERIC SEALING GASKETS. SEALING GASKETS SHALL MEET THE REQUIREMENTS OF ASTM SPECIFICATION D1869. SOLVENT CEMENT JOINTS ARE NOT PERMITTED.
- ALL PIPE ENTERING OR LEAVING A CONCRETE STRUCTURE SHALL HAVE A RUBBER WATERSTOP GASKET ATTACHED TO IT. THE WATERSTOP GASKET SHALL CONFORM TO THE PIPE MANUFACTURER'S SPECIFICATIONS. THE WATERSTOP GASKET SHALL BE SEATED FIRMLY AROUND THE PIPE EXTERIOR AND BE CAST INTO THE CONCRETE STRUCTURE.
- ALL PIPE JOINTS SHALL BE MADE USING MANUFACTURED PVC COUPLINGS. BAND TYPE COMPRESSION COUPLINGS ARE NOT PERMITTED.

C-14

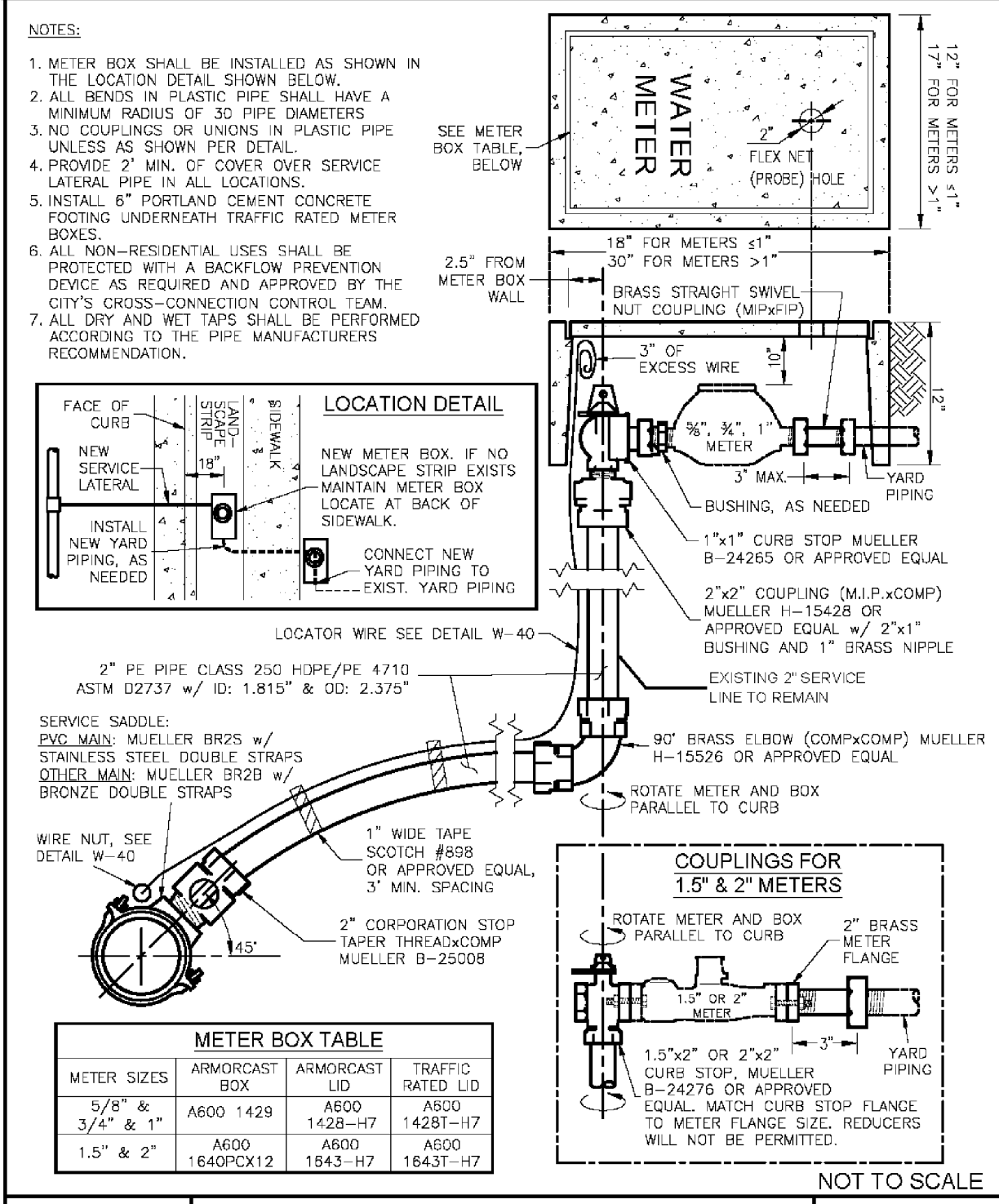


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CONSULTING CIVIL ENGINEERS
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REDWOOD CITY, CA 94063

LANDS OF CAMILLERI
1462 EDGEWOOD RD
REDWOOD CITY, CA 94062

**SANITARY SEWER
DETAILS**

REVISIONS				JOB NO. R1462-E-18	SHEET NO.
NO.	DATE	DESCRIPTION	BY	DATE: 03/10/21	C8.0
				DRAWN: DC	
				CHECKED: JET	
				SCALE: NTS	
					9 OF 15 SHEETS



CITY OF REDWOOD CITY
ENGINEERING AND TRANSPORTATION
WATER SERVICE LINE
CONNECTIONS TO D.I.P. & PVC MAINS
FOR 5/8" TO 2" METERS

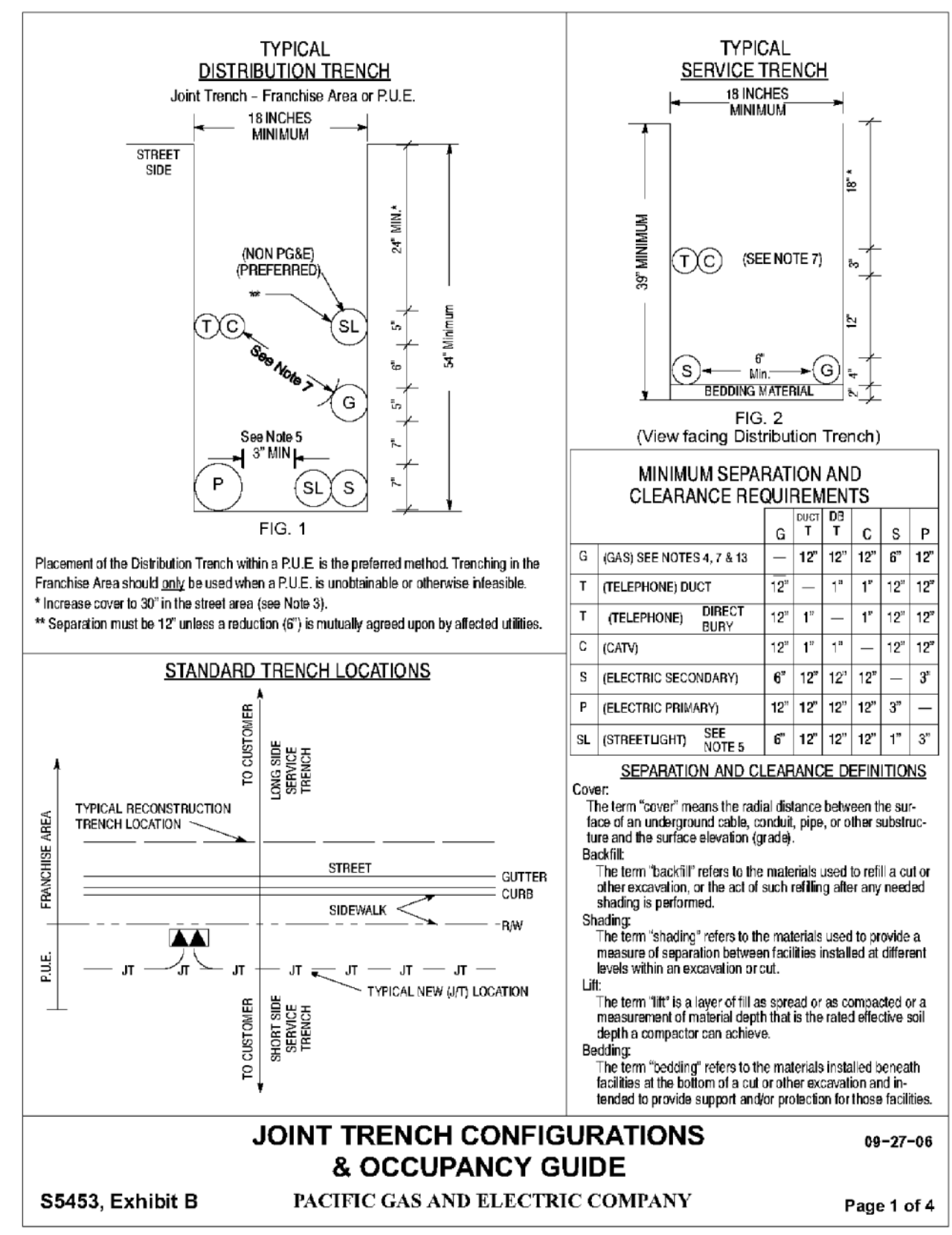
STANDARD DETAIL
W-1
PVC

DATE: 11/25/19

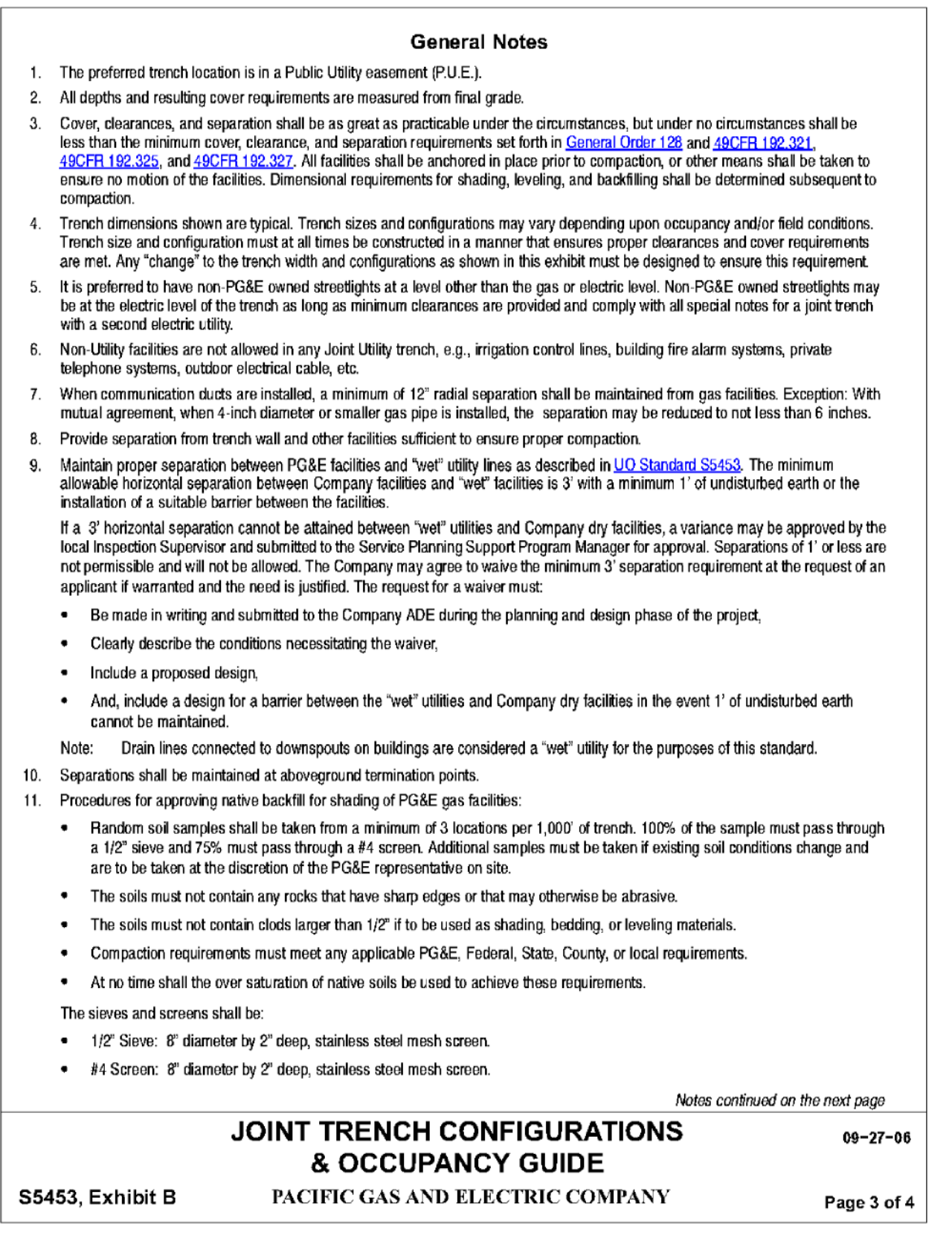
ATTACHMENT A - 2

WATER NOTES

- All labor and materials shall meet requirements of the City of Redwood City.
- City of Redwood City Inspector must be notified at (650) 780-7380, at least two full working days prior to excavating or connecting to existing water system. Only the City shall operate existing system valves.
- Standard Thrust block shall be provided at all bends greater than 10 degrees and at all crosses, tees, wyes, caps, plugs, valves and hydrants. See Standard Detail W7, W7A and W8.
- Provide 36 inch minimum cover from roadway surface over mains; maintain a one foot minimum vertical clearance from new water main to other crossing utilities, and a five foot minimum horizontal clearance from other utility mains. Water mains shall be installed above, and a ten foot minimum distance away from, sanitary sewers.
- Contractor shall use hand tools when excavating near all water, sewer, storm, gas, electric, communication and cable lines.
- All tapped connections (domestic and fire) shall be "wet-tapped". Wet taps will be performed by the City of Redwood City at the contractor's expense. Contractor shall furnish and install Smith Blair 663-316SS, all 316 stainless steel tapping sleeve, Mueller Flange X Mechanical Joint tapping valve, or approved equal; per City Standards, and do all excavating, installing thrust blocks and backfilling.
- Compaction, testing and inspection costs shall be paid for by the Contractor.
- Pressure, chlorination and leakage tests shall be performed by contractor. Sampling points will be selected by the City. Bacteriological tests shall be performed by an approved commercial testing laboratory. Bacteriological and disinfection tests shall be paid for by the owner, developer, or contractor.
- Contractor shall contact Engineering and Transportation at (650) 780-7384 for an estimated cost of water meter and wet tap.
- Meters are installed by the City of Redwood City upon payment of meter charge by owner/developer.



JOINT TRENCH CONFIGURATIONS & OCCUPANCY GUIDE
PACIFIC GAS AND ELECTRIC COMPANY
S5453, Exhibit B
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JOINT TRENCH CONFIGURATIONS & OCCUPANCY GUIDE
PACIFIC GAS AND ELECTRIC COMPANY
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Page 3 of 4

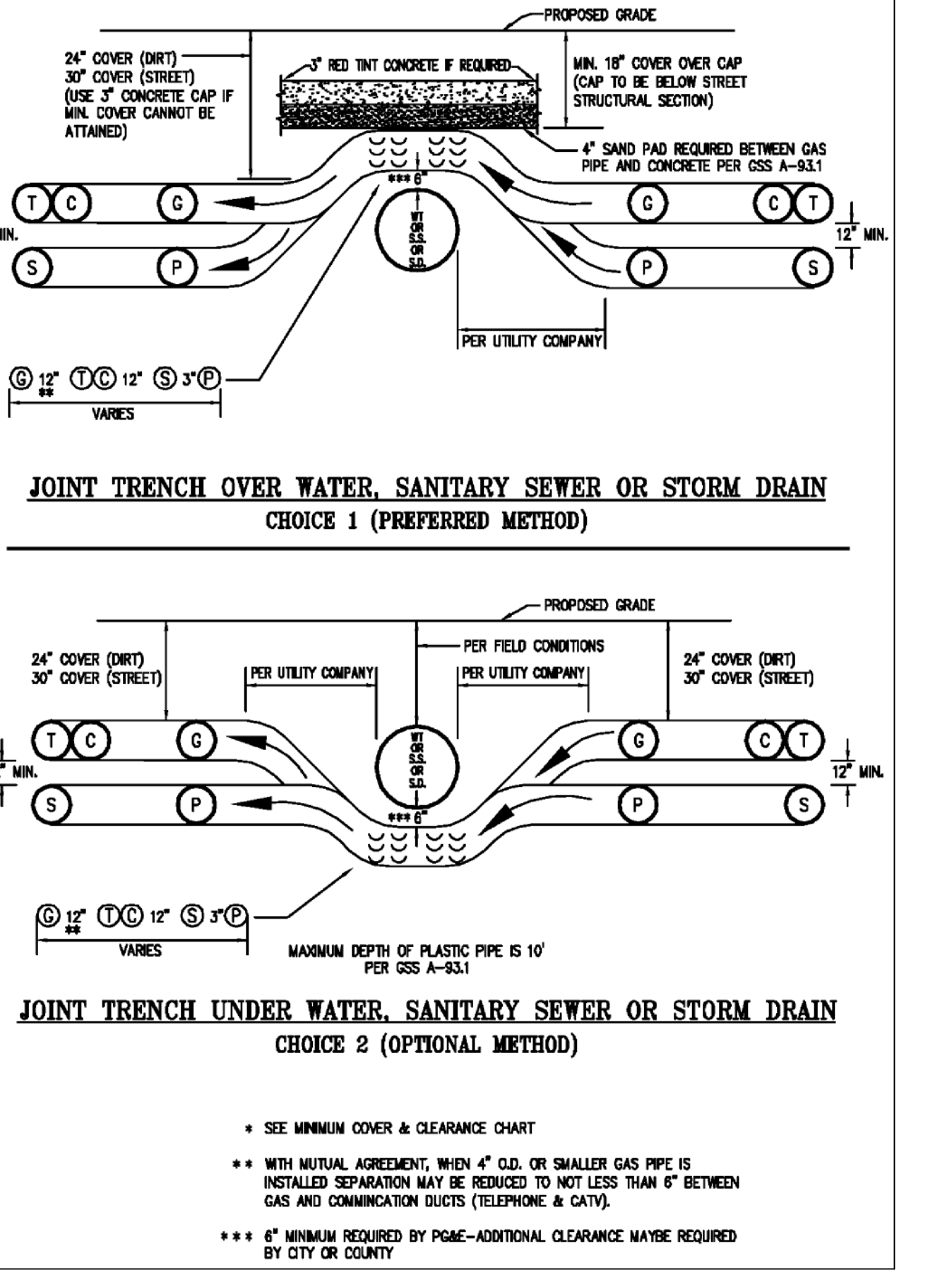
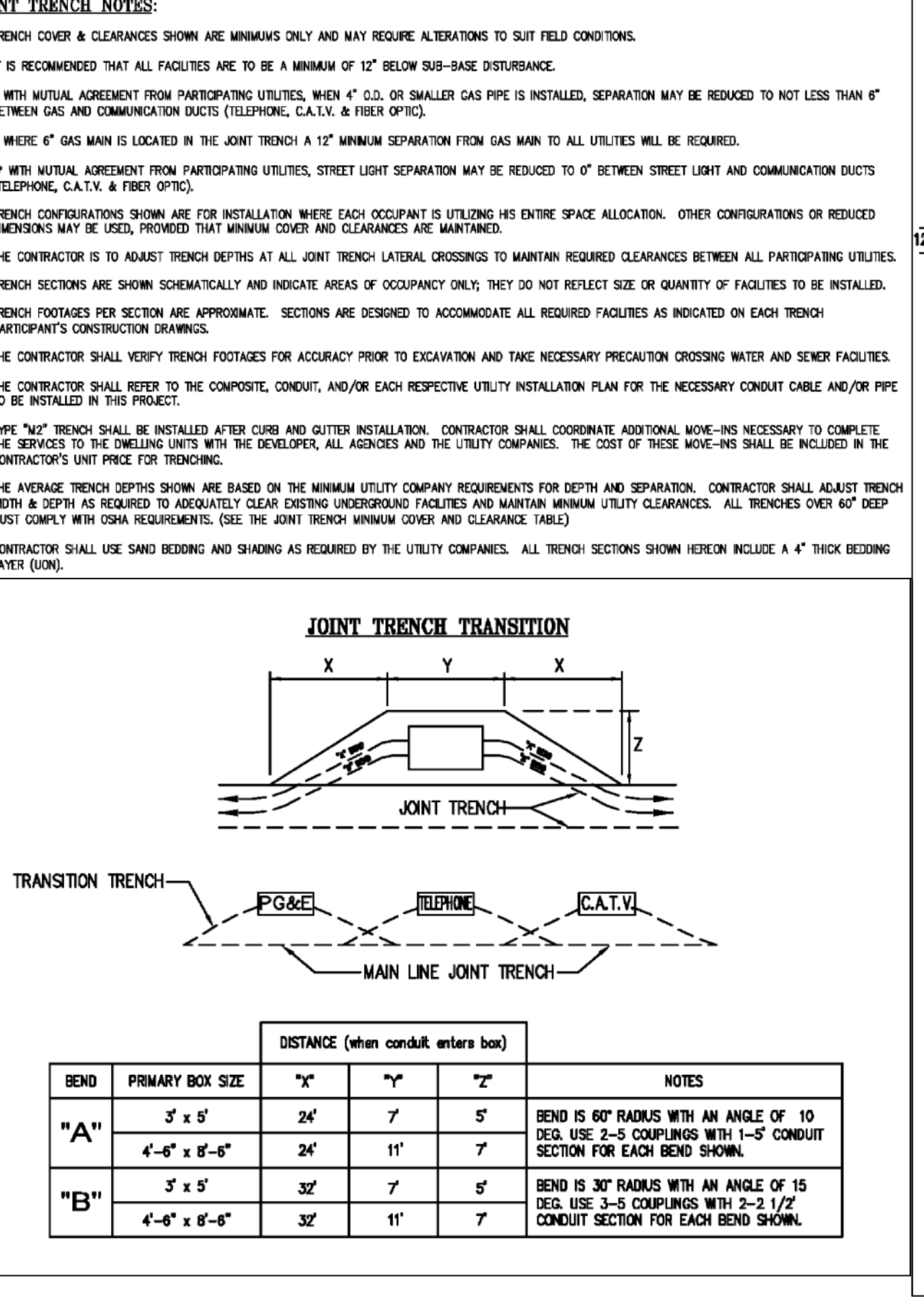
General Notes, continued

- Procedures for approving native backfill for shading of PG&E electric facilities:
 - Random soil samples shall be taken from a minimum of 3 locations per 1,000' of trench. Additional samples must be taken if existing soil conditions change and are to be taken at the discretion of the PG&E representative on site.
 - Shading material containing large rock, paving material, clods, sharply angular substances, or corrosive material shall not be placed in the trench where such material may damage the conduits and/or prevent proper compaction over or around the conduits.
 - Native soils containing clods not to exceed 6" in diameter may be included in the shading material provided the clods are readily breakable by hand.
 - Note: Soils consisting primarily of adobe, hard compact (dense) clay, and bay muds shall not be used as shading material.
 - At no time shall the over saturation of native soils be used to achieve these requirements.
 - Refer to Engineering Document 06228, Item 13 on Page 2.
- Competent native soils are preferred to be used for shading, bedding, and backfilling throughout the trench.
 - Where native soils exceed 1/2" minus and/or where gas is to be placed at the bottom of a trench in areas that exceed 1/2" minus soil conditions, or where the bottom of a trench is considered to consist of hard pan, PG&E approved 1/2" minus impot material shall be used for shading and/or bedding of gas facilities.
 - PG&E approved impot material is per CGT Engineering Guidelines 4123.
 - If a leveling course is required for gas facilities, the use of native soils is preferred, but if 1/2" minus conditions are not attainable with the native soils, then the use of PG&E approved impot materials is required. Bedding under gas facilities will be a minimum of 2" of compacted 1/2" minus native soils or PG&E approved impot material.
 - For electric facilities, refer to Note 12. This applies to leveling courses as well as shading.
 - The minimum PG&E approved bedding material may be increased at the discretion of PG&E when warranted by existing field conditions (e.g. rocky soils, hard pan, etc.).
 - The use of any impot material for backfilling purposes shall be limited to those situations when native soils do not allow for required compaction.
- The applicant is responsible for the removal of excess spoil and associated costs.
- Separation between gas facilities and electric facilities may be reduced to 6" when crossing.
- Service saddles are the preferred service fittings for use throughout the joint trench project. All projects will be designed and estimated using service saddles. However, service tees may be used if all clearances, separation, and coverage requirements are maintained.

Revision Notes

- Revised Note 9 to clarify the minimum allowable horizontal separations requirements.
- This document was revised on 09-27-06.

JOINT TRENCH CONFIGURATIONS & OCCUPANCY GUIDE
PACIFIC GAS AND ELECTRIC COMPANY
S5453, Exhibit B
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JOINT TRENCH UNDER WATER, SANITARY SEWER OR STORM DRAIN
CHOICE 2 (OPTIONAL METHOD)

SEE MINIMUM COVER & CLEARANCE CHART

WITH MUTUAL AGREEMENT, WHEN 4" O.D. OR SMALLER GAS PIPE IS INSTALLED SEPARATION MAY BE REDUCED TO NOT LESS THAN 6" BETWEEN GAS AND COMMUNICATION DUCTS (TELEPHONE & CATV).

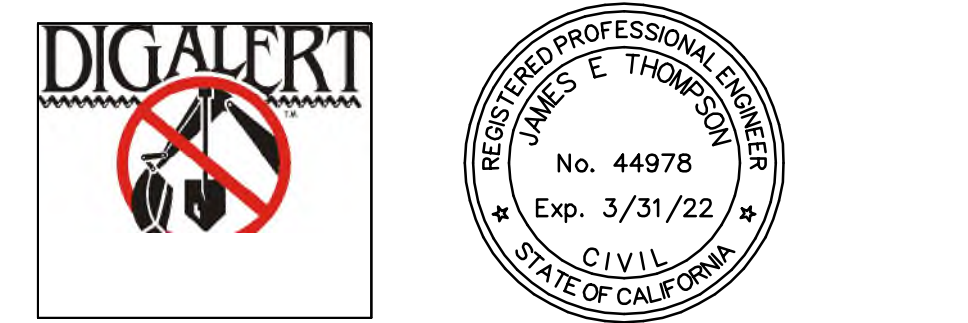
6" MINIMUM REQUIRED BY PG&E-ADDITIONAL CLEARANCE MAYBE REQUIRED BY CITY OR COUNTY

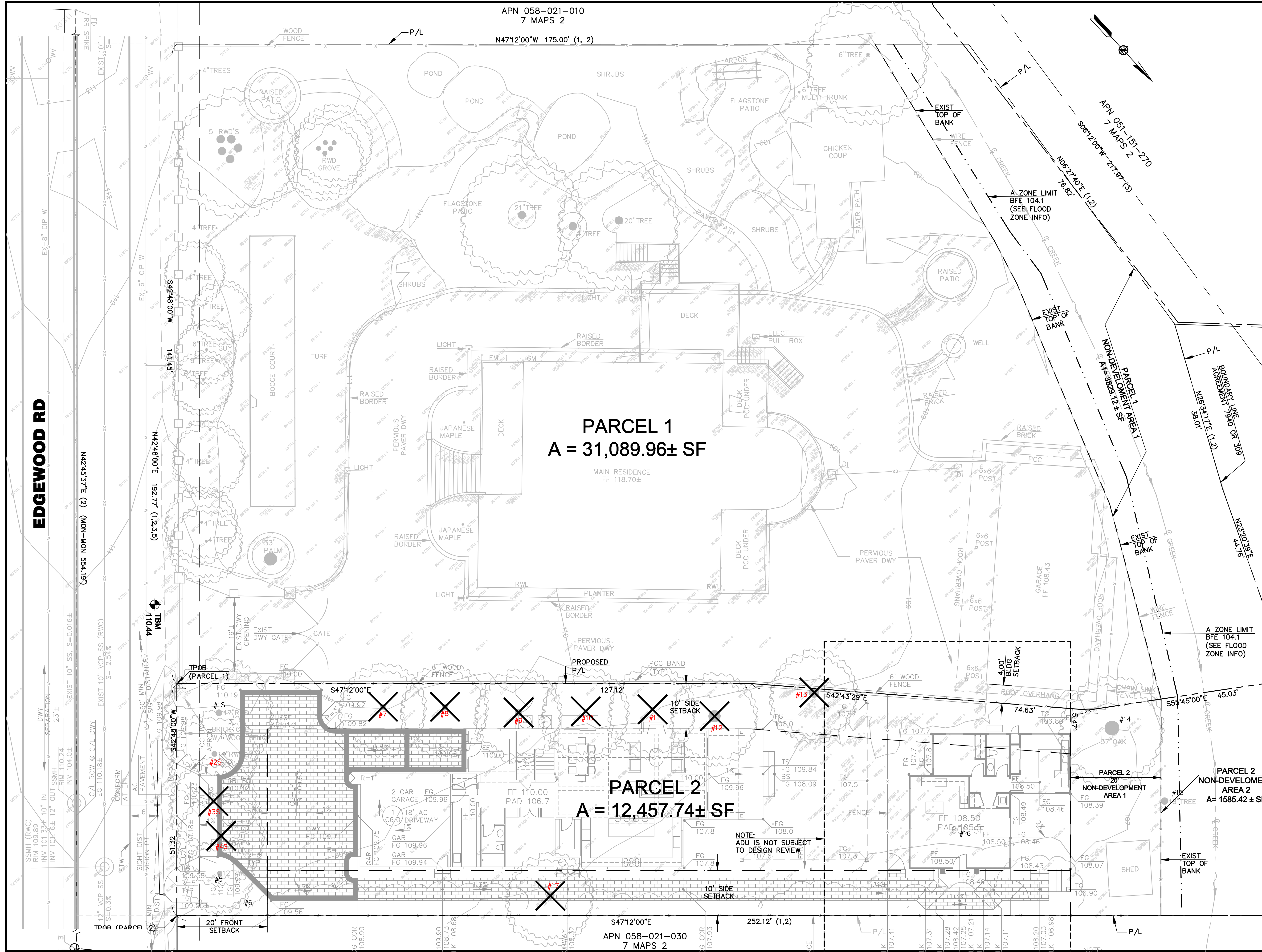
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REDWOOD CITY, CA 94062

WATER AND SERVICE TRENCH DETAILS

REVISIONS			JOB NO. R1462-E-18	SHEET NO.
NO.	DATE	DESCRIPTION	DATE: 03/10/21	C9.0 10 OF 15 SHEETS
			DRAWN: DC	
			CHECKED: JET	
			SCALE: NTS	





Tree#	Species	DBH	CON	HT/SP	Comments
1S	Redwood (Sequoia sempervirens)	17.5	90	45/15	Good vigor, good form, young tree, good screen, out of native range, needs supplemental irrigation.
2S	Redwood (Sequoia sempervirens)	14.7	90	45/15	Good vigor, good form, young tree, good screen, out of native range, needs supplemental irrigation.
3S	Redwood (Sequoia sempervirens)	14.8	90	45/15	Good vigor, good form, young tree, good screen, out of native range, needs supplemental irrigation.
4S	Redwood (Sequoia sempervirens)	13	90	45/15	Good vigor, good form, young tree, good screen, out of native range, needs supplemental irrigation.
5	Redwood (Sequoia sempervirens)	11.8	90	40/15	Good vigor, good form, young tree, good screen, out of native range, needs supplemental irrigation.
6	Coast live oak (Quercus agrifolia)	6.7	80	35/15	Good vigor, fair form, suppressed, close to redwood tree.
7	Olive (Olea europaea)	4-3-3-3-3-3-3	90	12/20	Good vigor, fair form, multi leader at base, young tree.
8	Olive (Olea europaea)	5-7-3-3-3-3-3	90	12/15	Good vigor, fair form, multi leader at base, young tree.
9	Olive (Olea europaea)	5-5-3-3-3-3-3	90	20/20	Good vigor, fair form, multi leader at base, young tree.
10	Olive (Olea europaea)	3-1-2-2-2-2-2	90	10/12	Good vigor, fair form, multi leader at base, young tree.
11	Olive (Olea europaea)	4-8-3-3-3-3-3	90	12/12	Good vigor, fair form, multi leader at base, young tree.
12	Olive (Olea europaea)	5-5-3-3-3-3-3	90	15/20	Good vigor, fair form, multi leader at base, young tree.
13S	Coast live oak (Quercus agrifolia)	18.8	85	25/20	Good vigor, fair form, contorted trunk, leans into property, restricted root zone due to neighboring driveway, good candidate to prop, aesthetically pleasing.
14S	Coast live oak (Quercus agrifolia)	28.2	85	40/50	Good vigor, fair form, sycamore borer damage in past, recommended to expose root crown, codominant at 7 feet with good union, close to existing structure, pruned in past for structure clearance, suppressed by #15, good candidate for cables as leader is heavy over structure.
15S	Silver dollar eucalyptus (Eucalyptus polyanthemos)	15.9	50	40/30	Fair vigor, poor form, suppressed by neighbor's tree, leaning into canopy of tree #14, recommended to remove to improve #14, on edge of creek bank, base of tree not visible.
16	Chinese pistache (Pistachia chinensis)	6.1	80	20/15	Good vigor, good form, young tree.
17S	Coast live oak (Quercus agrifolia)	19.3	90	35/25	Good vigor, good form.

- NOTES:
- ARBORIST REPORT PREPARED BY KIELTY ARBORIST SERVICES LLC, DATED JUNE 06, 2018.
 - TREES ON LIST THAT ARE SHOWN IN RED ARE TO BE REMOVED
 - "S" DENOTES SIGNIFICANT TREE (SEE ARBORIST REPORT).



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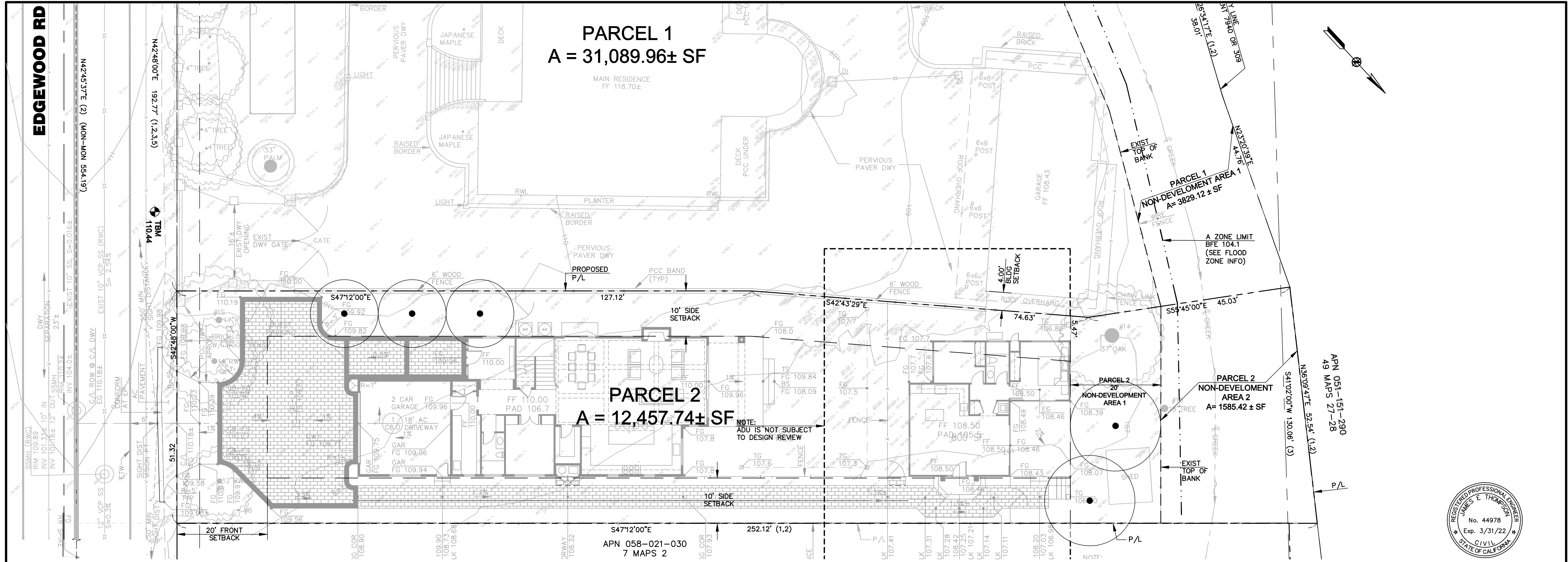
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ARBORIST REPORT

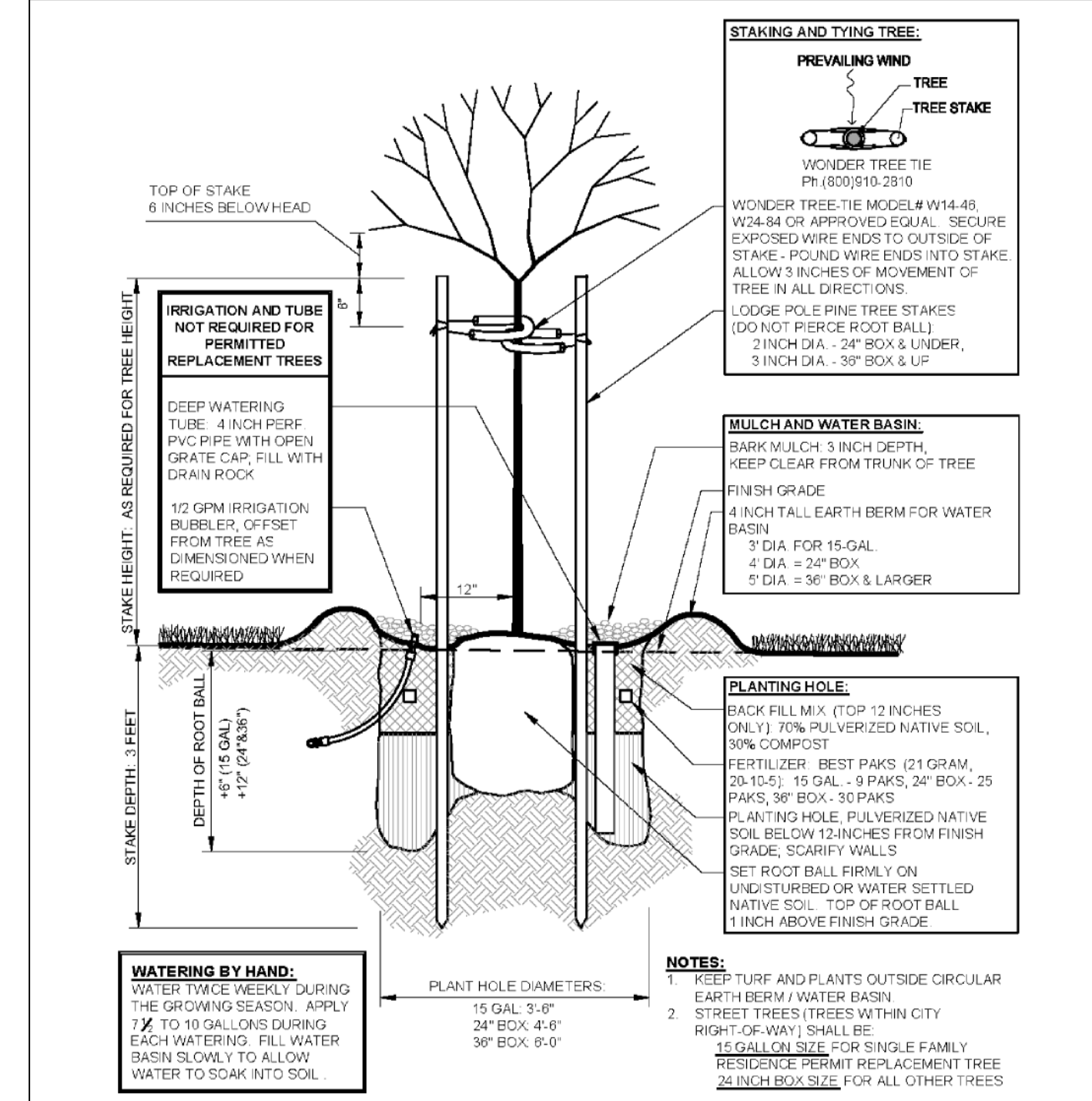
REVISIONS		
NO.	DATE	DESCRIPTION

JOB NO. **R1462-E-18**
DATE: **03/10/21**
DRAWN: **DC**
CHECKED: **JET**
SCALE: **1" = 10'**

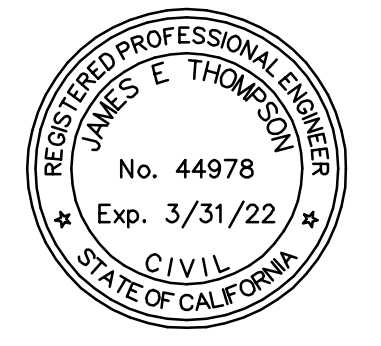
SHEET NO.
C10.0
11 OF 15 SHEETS



1 LANDSCAPE PLAN
SCALE 1" = 10'



REVISIONS			JOB NO. R1462-E-18	SHEET NO.
NO.	DATE	DESCRIPTION		
			DATE: 03/10/21	L1.0 12 OF 15 SHEETS
			DRAWN: DC	
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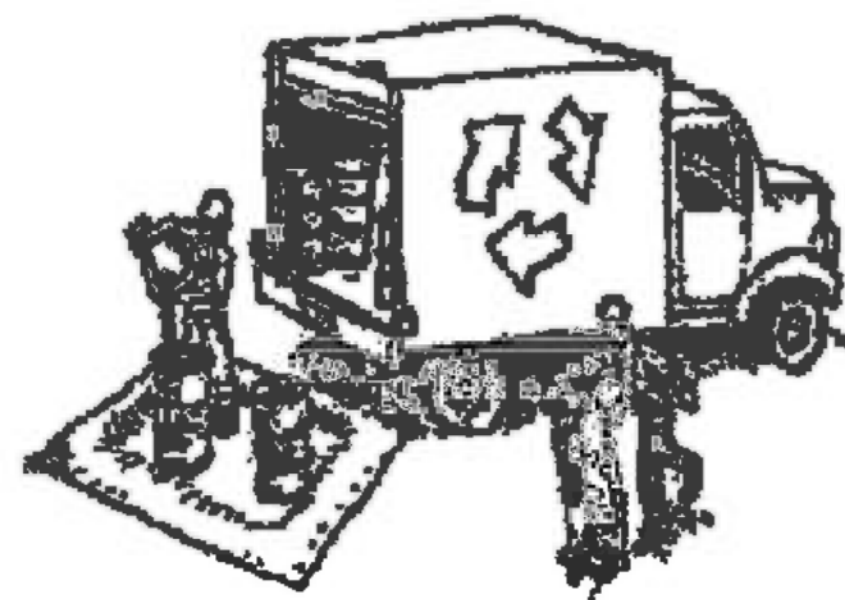


SAN MATEO COUNTYWIDE
**Water Pollution
 Prevention Program**
 Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all waste and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharge from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



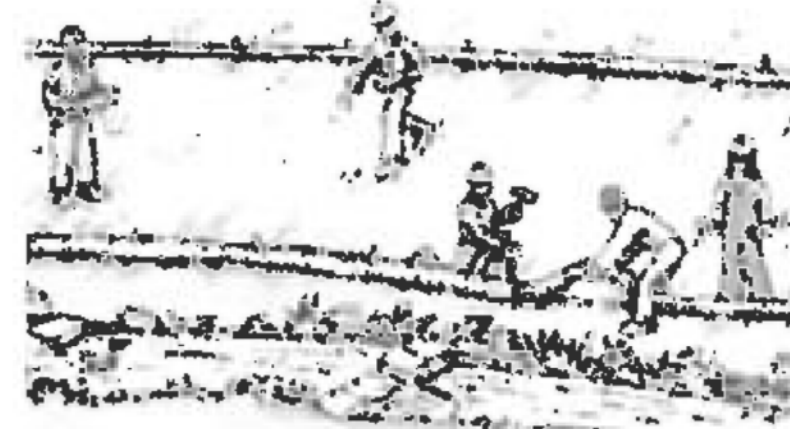
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving

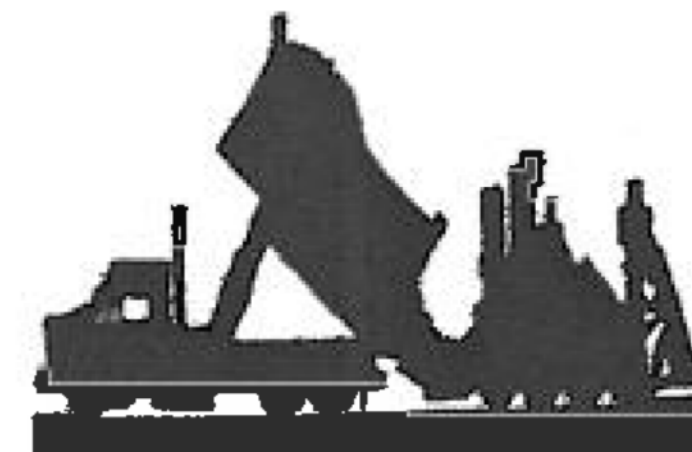


- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

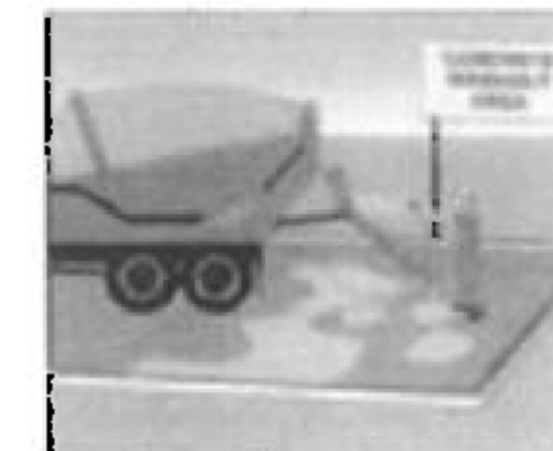


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

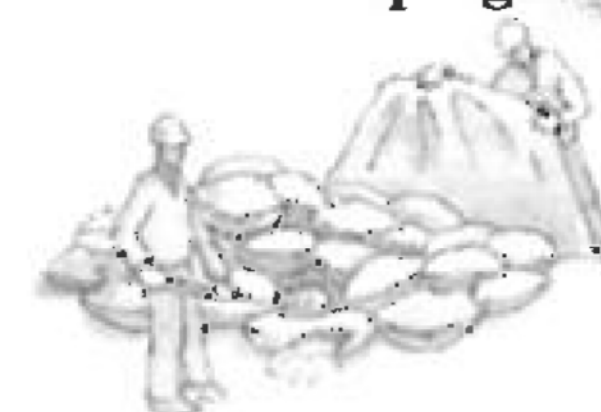
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If saw-cut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



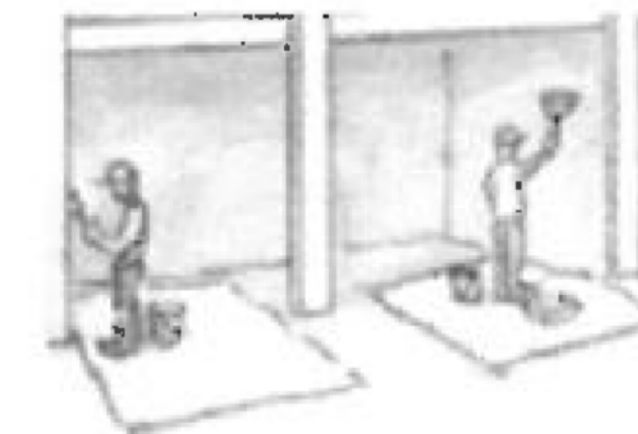
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

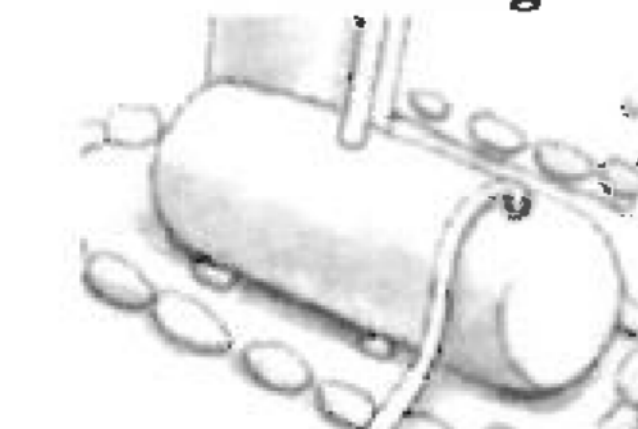
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

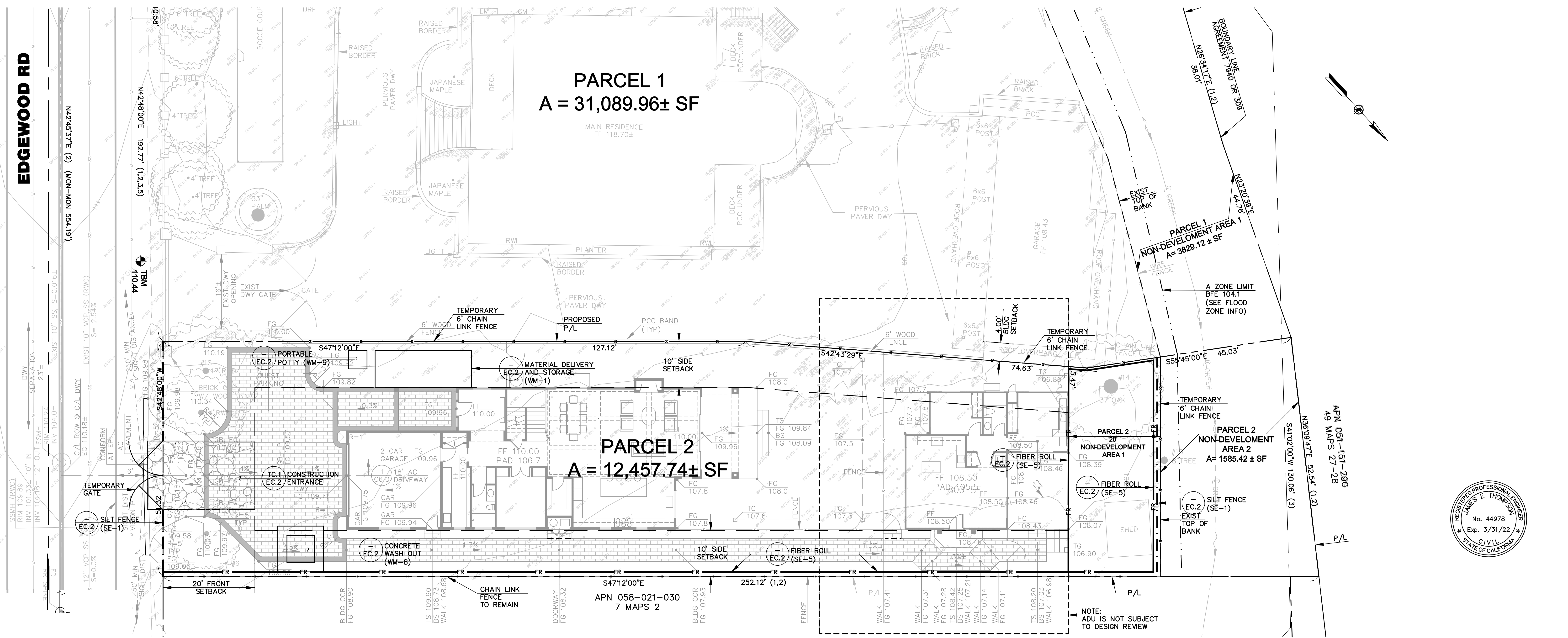
Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

EDGEWOOD RD



GENERAL EROSION AND SEDIMENT CONTROL NOTES

- THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
- EROSION CONTROL MEASURES SHALL CONFORM TO FEDERAL, STATE, CASQA, ABAG, AND MUNICIPAL STANDARDS.
- SEDIMENT/EROSION CONTROL MEASURES SHOWN ON THIS SHEET ARE THE MINIMUM REQUIREMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADDITIONAL SEDIMENT/EROSION CONTROL MEASURES AS DEEMED NECESSARY TO ASSURE ADEQUATE PROTECTION DURING THE PROGRESS OF CONSTRUCTION AND AT THE CONTRACTOR'S EXPENSE.
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE ENGINEER OF ANY FIELD CHANGES. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DETERMINED BY THE ENGINEER, THE BUILDING INSPECTOR OR BUILDING OFFICIALS.
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 30. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER. PLANS ARE TO BE RESUBMITTED FOR APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL SITE IMPROVEMENTS ARE ACCEPTED BY THE MUNICIPALITY.
- ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE ON SITE BY SEPTEMBER 15TH AND IN PLACE BY OCTOBER 1ST.
- EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 1ST THROUGH APRIL 30TH, WHICHEVER IS LONGER.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCEWAYS.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.

DUST CONTROL NOTES

- THE APPLICANT SHALL SUBMIT A DUST CONTROL PLAN FOR THE PLANNING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF A BUILDING PERMIT ASSOCIATED WITH ANY PROPOSED DEMOLITION OR CONSTRUCTION ACTIVITIES. THE PLAN SHALL INCLUDE THE FOLLOWING CONTROL MEASURES:
 - WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
 - WATER OR COVER STOCKPILES OF DEBRIS, SOIL, SAND OR OTHER MATERIALS THAT CAN BE BLOWN BY THE WIND.
 - COVER ALL TRUCKS HAULING SOIL AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO (2) FEET OF FREEBOARD.
 - APPLY WATER THREE TIMES DAILY OR APPLY NON-TOXIC SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING, AND STAGING AREAS AT CONSTRUCTION SITES. ALSO, HYDROSEED OR APPLY NON-TOXIC SOIL STABILIZERS TO INACTIVE CONSTRUCTIVE AREAS.
 - SWEEP (PREFERABLY WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING, AND STAGING AREAS AT CONSTRUCTION SITES ON AN "AS NEEDED" BASIS.
 - SWEEP ADJACENT PUBLIC STREETS (PREFERABLY WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ON THEM.
 - ENCLOSE, COVER, WATER OR APPLY NON-TOXIC SOIL BINDERS TO EXPOSED STOCKPILES (DIRT, SAND, ETC.) ON AN "AS NEEDED" BASIS.
 - LIMIT TRAFFIC SPEEDS ON UNPAVED ROADS WITHIN THE PROJECT PARCEL TO 15 M.P.H. INSTALL SANDBAGS OR OTHER EROSION CONTROL MEASURES TO PREVENT SILT RUNOFF TO PUBLIC ROADWAYS AND/OR THE ADJACENT WATERWAY.
 - REPLANT VEGETATION IN DISTURBED AREAS AS QUICKLY AS POSSIBLE.
- THE APPROVED PLAN SHALL BE IMPLEMENTED FOR THE DURATION OF ANY DEMOLITION OR CONSTRUCTION ACTIVITIES THAT GENERATE DUST AND OTHER AIRBORNE PARTICLES.

JET ENGINEERING
CONSULTING CIVIL ENGINEERS
1048 EL CAMINO REAL, SUITE C
REDWOOD CITY, CA 94063

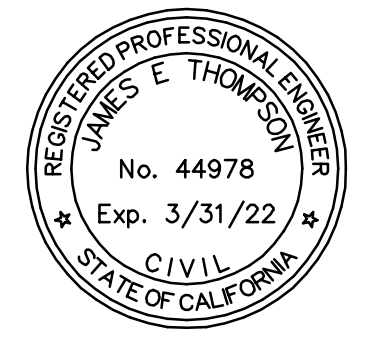
LANDS OF CAMILLERI
1462 EDGEWOOD RD
REDWOOD CITY, CA 94062

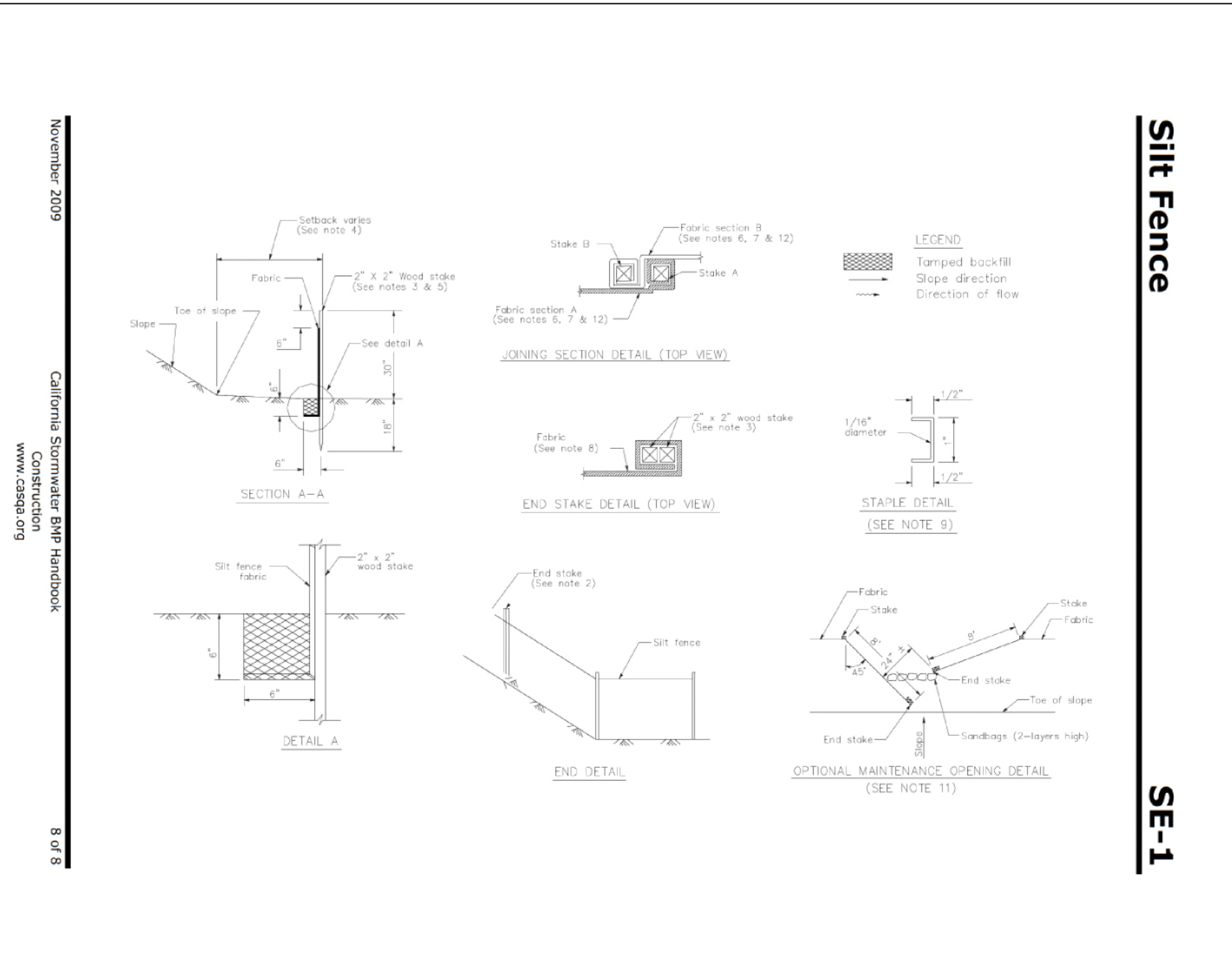
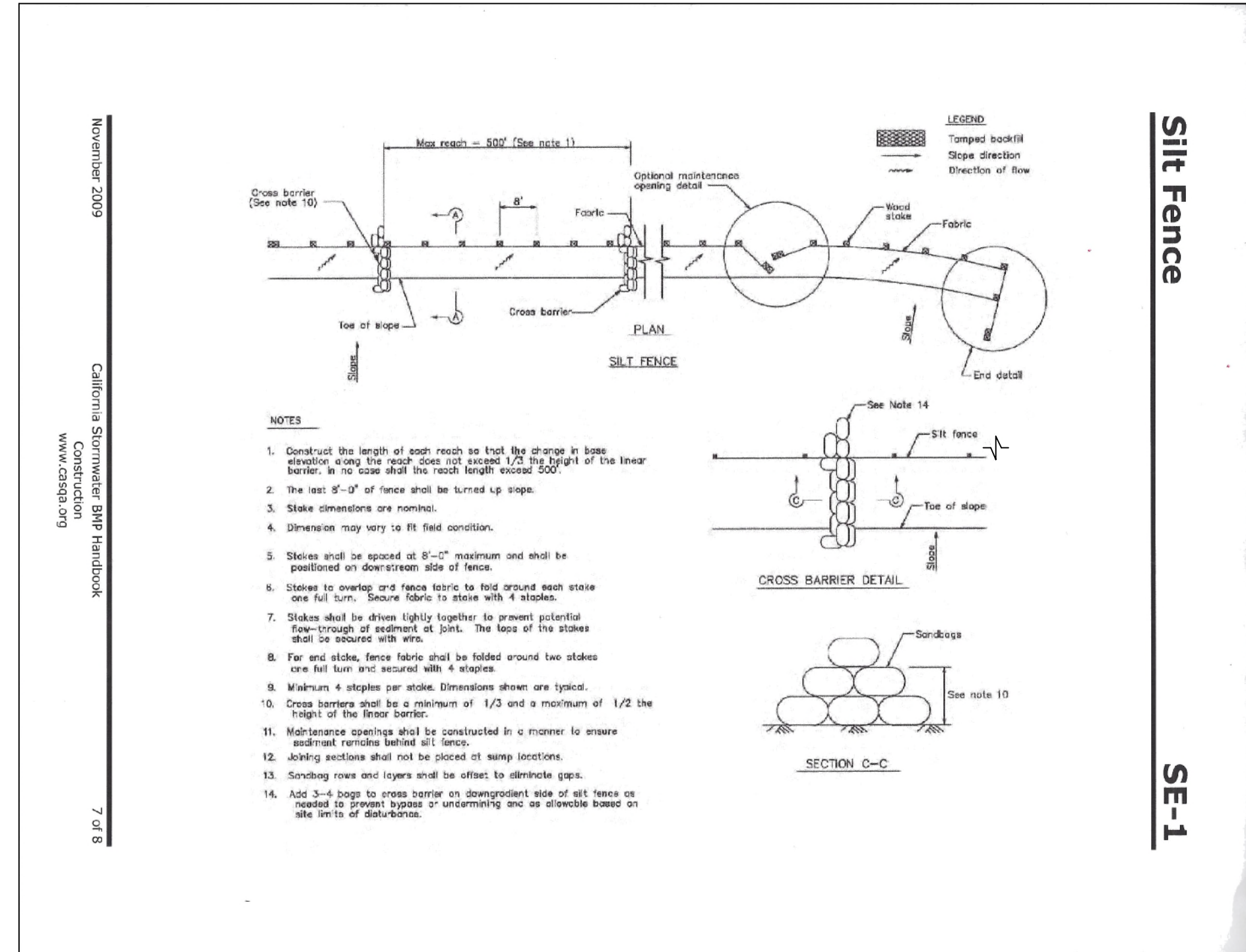
EROSION CONTROL PLAN

REVISIONS			JOB NO. R1462-E-18	SHEET NO.
NO.	DATE	DESCRIPTION	BY	

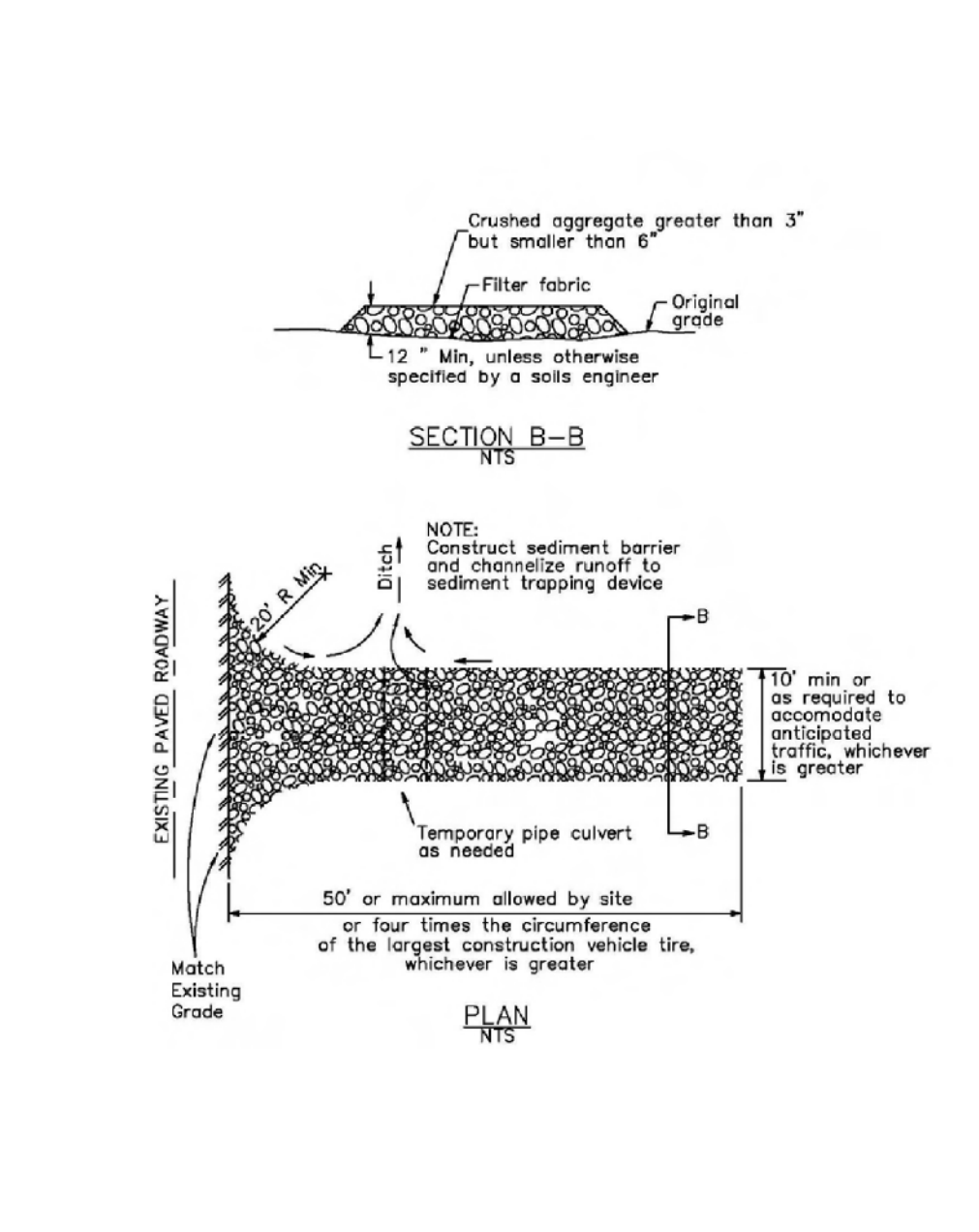
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14 OF 15 SHEETS

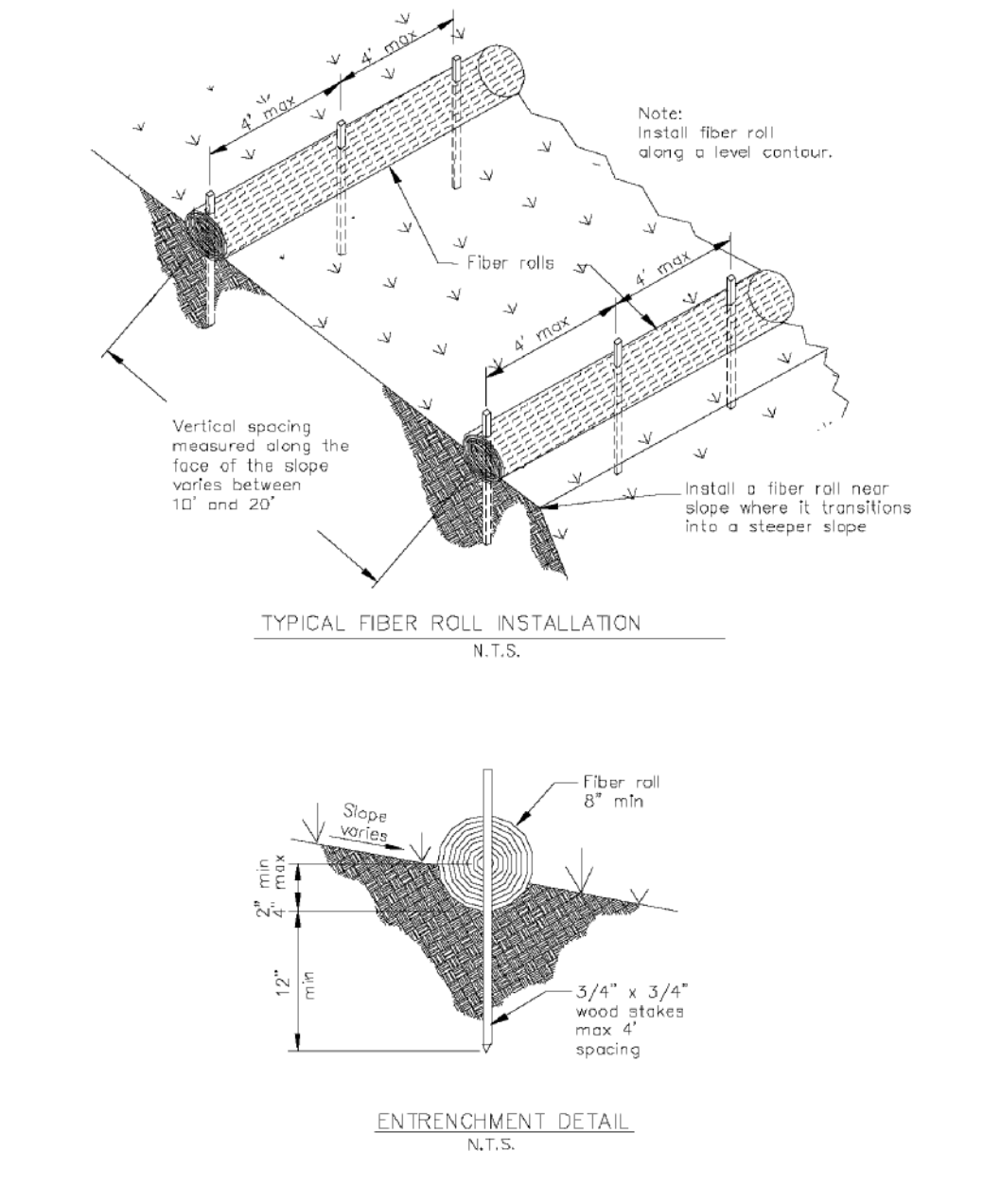




Stabilized Construction Entrance/Exit TC-1



Fiber Rolls SE-5



Soil Preparation/Roughening EC-15

Description and Purpose
 Soil Preparation/Roughening involves assessment and preparation of surface soils for BMP installation. This can include soil testing (for seed base, soil characteristics, or nutrients), as well as roughening surface soils by mechanical methods (including sheepfoot rolling, track walking, scarifying, stak stepping, and imprinting) to prepare soil for additional BMPs, or to break up sheet flow. Soil Preparation can also involve tilling topsoil to prepare a seed bed and/or incorporation of soil amendments, to enhance vegetative establishment.

Suitable Applications
 Soil preparation is essential to proper vegetative establishment. In particular, soil preparation (i.e. tilling, raking, and amendment) is suitable for use in combination with any soil stabilization method, including REC/Ps or sod. Soil preparation should not be confused with roughening.

Roughening: Soil roughening is generally referred to as track walking (sometimes called imprinting) a slope, where tracks from heavy equipment run parallel to the contours of the slope and act as mini terraces. Soil preparation is most effective when used in combination with erosion controls. Soil Roughening is suitable for use as a complementary process for controlling erosion on a site. Roughening is not intended to be used as a stand-alone BMP, and should be used with perimeter controls, additional erosion control measures, grade breaks, and vegetative establishment for maximum effectiveness. Roughening is intended to only affect surface soils and should not compromise slope stability or overall compaction. Suitable applications for soil roughening include:

Categories
 EC Erosion Control
 SE Sediment Control
 TC Tracking Control
 WE Wind Erosion Control
 NS Non-Stormwater Management Control
 WM Waste Management and Materials Pollution Control

Legend:
 Primary Category
 Secondary Category

Targeted Constituents
 Sediment
 Nutrients
 Trash
 Metals
 Bacteria
 Oil and Grease
 Organics

Potential Alternatives
 EC-3 Hydraulic Mutch
 EC-4 Soil Binders
 EC-7 Geotextiles and Mats

November 2009 California Stormwater BMP Handbook Construction www.casqa.org 1 of 4

Material Delivery and Storage WM-1

Description and Purpose
 Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

Suitable Applications
 These procedures are suitable for use at all construction sites with delivery and storage of the following materials:

- Soil stabilizers and binders
- Pesticides and herbicides
- Fertilizers
- Detergents
- Plaster
- Petroleum products such as fuel, oil, and grease

Categories
 WM Waste Management and Materials Pollution Control

Legend:
 Primary Category
 Secondary Category

Targeted Constituents
 Sediment
 Nutrients
 Trash
 Metals
 Bacteria
 Oil and Grease
 Organics

Potential Alternatives
 None

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Stockpile Management WM-3

Description and Purpose
 Stockpile management procedures and practices are designed to reduce or eliminate air and stormwater pollution from stockpiles of soil, soil amendments, sand, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub base or pre-mixed aggregate, asphalt binder (so called "cold mix" asphalt), and pressure treated wood.

Suitable Applications
 Implement in all projects that stockpile soil and other loose materials.

Limitations

- Plastic sheeting as a stockpile protection is temporary and hard to manage in windy conditions. Where plastic is used, consider use of plastic tarps with nylon reinforcement which may be more durable than standard sheeting.
- Plastic sheeting can increase runoff volume due to lack of infiltration and potentially cause perimeter control failure.
- Plastic sheeting breaks down faster in sunlight.
- The use of plastic materials should be avoided when feasible and photodegradable plastics should not be used.

Implementation
 Protection of stockpiles is a year-round requirement. To properly manage stockpiles:

Categories
 EC Erosion Control
 SE Sediment Control
 TC Tracking Control
 WE Wind Erosion Control
 NS Non-Stormwater Management Control
 WM Waste Management and Materials Pollution Control

Legend:
 Primary Category
 Secondary Category

Targeted Constituents
 Sediment
 Nutrients
 Trash
 Metals
 Bacteria
 Oil and Grease
 Organics

Potential Alternatives
 None

January 2011 California Stormwater BMP Handbook Construction www.casqa.org NOTE 1

Concrete Waste Management WM-8

Concrete Waste Management WM-8

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PLAN
 10' MIN
 10 MIL PLASTIC LINING
 STAKE (TYP)
 1/8" DIA. STEEL WIRE
 STRAW BALE (TYP)
 PLYWOOD 48" x 24" PAINTED WHITE
 CONCRETE WASHOUT
 BLACK LETTERS 6" HEIGHT
 0.5" LAG SCREWS
 WOOD POST 3" x 3" x 8"

STAPLE DETAIL

SECTION B-B
 NOT TO SCALE
 STAPLES (2 PER BALE)
 10 MIL PLASTIC LINING
 BINDING WIRE
 STRAW BALE
 NATIVE MATERIAL (OPTIONAL)
 WOOD OR METAL STAKES (2 PER BALE)

NOTES

- ACTUAL LAYOUT DETERMINED IN FIELD.
- THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 50 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

Sanitary/Septic Waste Management WM-9

Description and Purpose
 Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

Suitable Applications
 Sanitary septic waste management practices are suitable for use at all construction sites that use temporary or portable sanitary and septic waste systems.

Limitations
 None identified.

Implementation
 Sanitary or septic wastes should be treated or disposed of in accordance with state and local requirements. In many cases, one contract with a local facility supplier will be all that it takes to make sure sanitary wastes are properly disposed.

Storage and Disposal Procedures

- Temporary sanitary facilities should be located away from drainage facilities, watercourses, and from traffic circulation. If site conditions allow, place portable facilities a minimum of 50 feet from drainage conveyances and traffic areas. When subjected to high winds or risk of high winds, temporary sanitary facilities should be secured to prevent overturning.

Categories
 EC Erosion Control
 SE Sediment Control
 TC Tracking Control
 WE Wind Erosion Control
 NS Non-Stormwater Management Control
 WM Waste Management and Materials Pollution Control

Legend:
 Primary Category
 Secondary Category

Targeted Constituents
 Sediment
 Nutrients
 Trash
 Metals
 Bacteria
 Oil and Grease
 Organics

Potential Alternatives
 None

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- NOTES:**
- LOCATION TO BE DETERMINED IN FIELD BY CONTRACTOR, WITHIN EXIST FENCING.
 - ADDITIONAL INFORMATION INCLUDED IN PROJECT STORMWATER BMP BINDER.



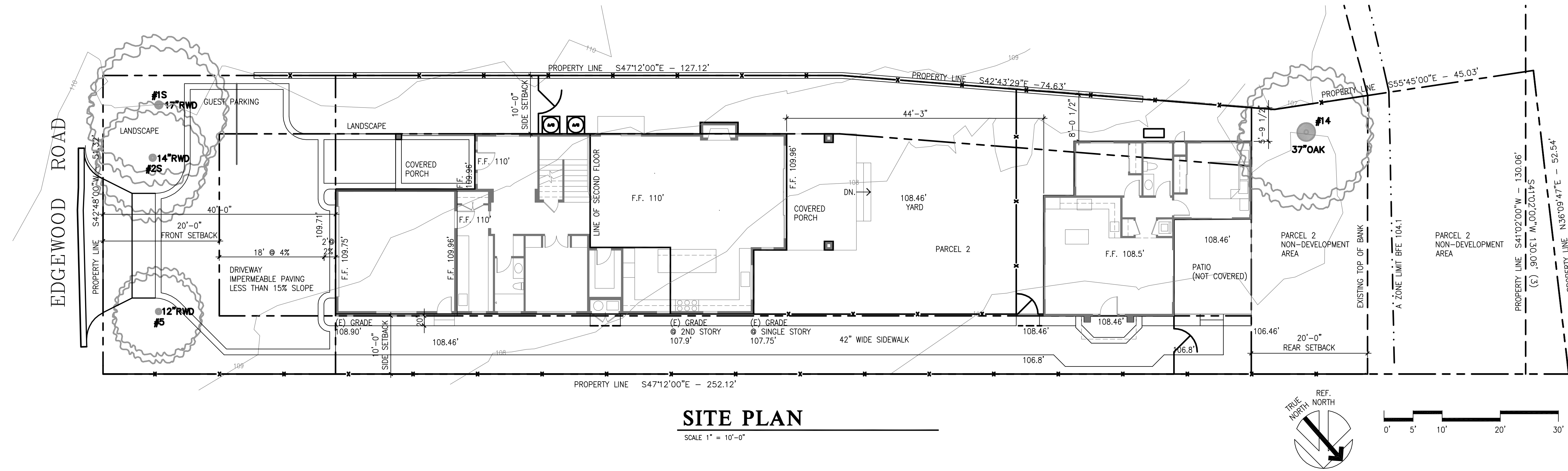
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LANDS OF CAMILLERI
 1462 EDGEWOOD RD
 REDWOOD CITY, CA 94062

EROSION CONTROL DETAILS

REVISIONS			JOB NO. R1462-E-18	SHEET NO.
NO.	DATE	DESCRIPTION	DATE: 03/10/21	EC.2
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			CHECKED: JET	
			SCALE: NTS	

15 OF 15 SHEETS

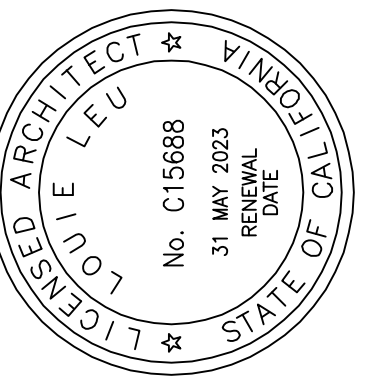


SITE PLAN

SCALE 1" = 10'-0"

CAMILLERI RESIDENCE

1450 EDGEWOOD RD. REDWOOD CITY, CA 94062



GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA CODE OF REGULATIONS (TITLE 24) AND ALL OTHER LOCAL CODES AND ORDINANCES OF THE GOVERNING AUTHORITY HAVING JURISDICTION, AND AS IDENTIFIED UNDER APPLICABLE CODES ON THIS SHEET. IT IS THE INTENT OF THESE DOCUMENTS TO COMPLY THERETO.
- ALL DRAWINGS ARE TO BE USED IN CONCERT WITH EACH OTHER. IF THE CONTRACTOR DISCOVERS ANY DISCREPANCY BETWEEN THE DOCUMENTS, HE SHALL PROMPTLY REQUEST FROM THE ARCHITECT CLARIFICATION OF GOVERNING CRITERIA. REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT PLACEMENT, ORIENTATION AND COORDINATION OF WORK. INFORMATION SHOWN IN THE LARGEST GRAPHIC ARE INTENDED TO SUPPLEMENT INFORMATION OF SMALLER, PRECEDING REFERENCE DRAWINGS.
- NOTATIONS MARKED "TYPICAL" (TYP) SHALL BE CONSISTENT THROUGHOUT ALL SUCH REFERENCE NOMENCLATURE, SYMBOLS AND DRAWING INDICATIONS OF LIKE OR SIMILAR KIND.
- DO NOT SCALE THE DRAWINGS.** THE CONTRACTOR SHALL FIELD VERIFY CONSTRUCTION CONDITIONS AND DIMENSIONS PRIOR TO ORDERING, FABRICATING, AND INSTALLATION OF ANY ASSOCIATED WORK. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL PROMPTLY REQUEST FROM THE ARCHITECT CLARIFICATION PRIOR TO COMMENCEMENT OF ASSOCIATED WORK.
- DIMENSIONS ARE RELATED SPECIFICALLY TO FACE OF CONCRETE, FACE OF MASONRY, FACE OF EXTERIOR STUDS, CENTERLINE OF STRUCTURAL COLUMNS AND BEAMS, OR CENTERLINE OF INTERIOR STUDS, UNLESS OTHERWISE NOTED. CLEAR DIMENSIONS ARE INDICATED FROM FINISHED SURFACES OF MATERIALS OR ASSEMBLIES.
- BUILDING ELEVATION REFERENCES ARE FROM DIRECT APPLICATION OF FINISH FLOORING APPLIED TO THE STRUCTURAL FLOOR SUBSTRATE OF THE GROUND FLOOR DATUM (MAIN ENTRANCE). CONTRACTOR SHALL INCLUDE REQUIRED DEPRESSIONS AND/OR PROJECTIONS IN ACHIEVING REQUIRED ELEVATIONS. CEILING HEIGHTS ARE REFERENCED TO FINISHED SURFACES UNLESS OTHERWISE NOTED.
- KEYNOTES USED ON THE DRAWINGS ARE FOR ASSEMBLIES, MATERIAL REFERENCES AND NOTES. REFER TO THE KEYNOTE LEGEND ON THE RESPECTIVE DRAWING FOR THE INFORMATION WHICH RELATES TO EACH KEYNOTE. NOT ALL KEYNOTES REFERENCED MAY BE APPLICABLE TO SIMILAR TYPE DRAWINGS.
- EXISTING WORK IS SHOWN FOR REFERENCE ONLY. THE OWNER AND ARCHITECT DO NOT GUARANTEE EXISTING CONDITIONS INDICATED ON THESE DOCUMENTS.
- MATERIALS SUSPECTED OF CONTAINING ASBESTOS THAT ARE DISCOVERED DURING THE PROGRESS OF THE WORK SHALL BE REPORTED TO THE OWNER. WORK IN THAT PARTICULAR AREA SHALL BE SUSPENDED UNTIL THE OWNER TESTS THE SUSPECT MATERIAL AND IT IS FOUND TO BE SAFE, OR UNTIL THE SUSPECT MATERIAL HAS BEEN PROPERLY ABATED.
- CONTRACTOR SHALL VERIFY, AT SITE, ALL EXISTING CONDITIONS PRIOR TO SUBMITTAL OF BIDS. SITE VISITS DURING BIDDING SHALL BE COORDINATED WITH THE OWNER IN ACCORDANCE WITH PROVISIONS OF THE SPECIFICATIONS.
- CONTRACTOR SHALL PROTECT ALL EXISTING WORK. ANY DAMAGED WORK SHALL BE REPLACED WITH THE SAME MATERIALS, INCLUDING MATCHING THE EXISTING COLORS AND TEXTURES.
- CONTRACTOR(S) SHALL BE RESPONSIBLE FOR THEIR OWN CLEANUP AS WORK PROGRESSES.
- ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS WAS OBTAINED FROM THE ORIGINAL CONSTRUCTION DRAWINGS. THESE ORIGINAL CONSTRUCTION DRAWINGS ARE AVAILABLE AT THE ARCHITECT'S OFFICE FOR REVIEW. THE ORIGINAL CONSTRUCTION DRAWINGS ARE NOT A PART OF THE CONSTRUCTION DOCUMENTS AND DO NOT WARRANT EXISTING CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ALL EXCEPTIONS BEFORE PROCEEDING WITH THE WORK.
- CONSTRUCTION SHALL BE ADMINISTERED PER CALIFORNIA CODE OF REGULATIONS TITLE 24, PART 1, CHAPTER 4, GROUP 1.
 - A COPY OF PARTS 1 AND 2, TITLE 24, C.C.R. SHALL BE KEPT ON THE JOB SITE AT ALL TIMES.
 - ALL CHANGE ORDERS AND ADDENDA TO BE SIGNED BY THE ARCHITECT AND THE OWNER AND APPROVED. CHANGE ORDERS ARE NOT VALID UNTIL APPROVED.
 - ALL TESTS TO CONFORM TO THE REQUIREMENT OF SECTION 4-335, PART 1, TITLE 24, AND APPROVED I. & I. SHEET.
 - TESTS OF MATERIALS AND TESTING LABORATORY SHALL BE IN ACCORDANCE WITH SECTION 4-335 OF PART 1, TITLE 24, AND THE OWNER SHALL EMPLOY AND PAY THE LABORATORY. COSTS OF RE-TEST MAY BE BACK CHARGED TO THE CONTRACTOR.
 - THE CONTRACTOR SHALL PERFORM HIS DUTIES IN ACCORDANCE WITH SECTION 4-343, PART 1, TITLE 24
- GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS, AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH LOCAL ORDINANCES.

PROJECT DIRECTORY

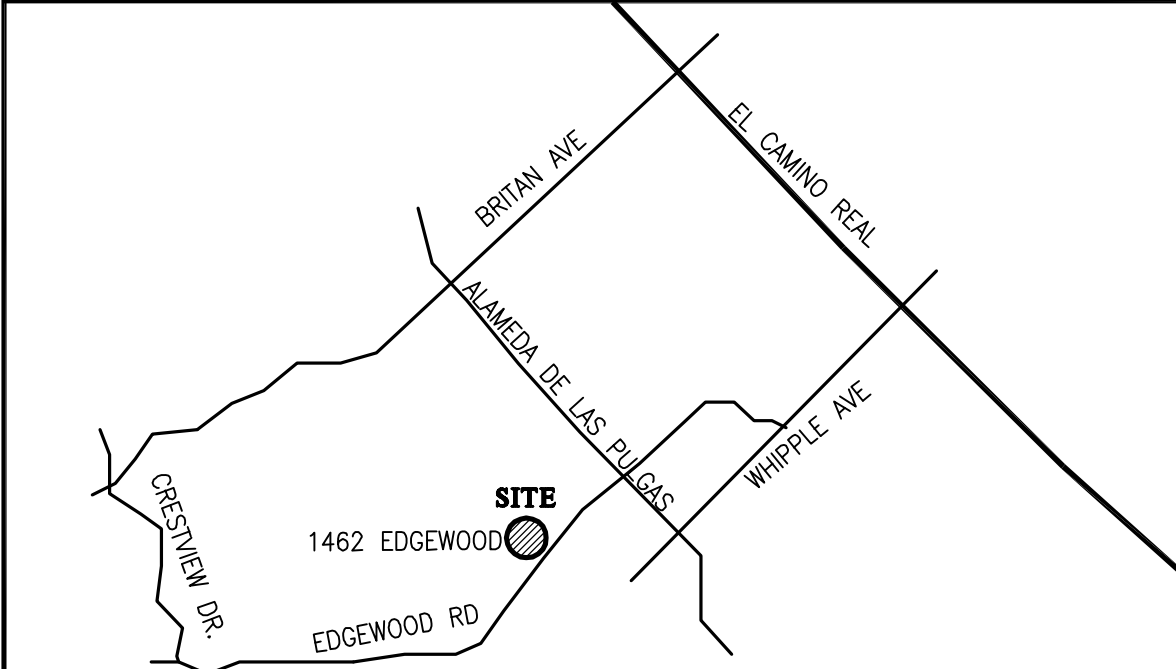
OWNER:
CHARLES AND ANNE CAMILLERI
1462 EDGEWOOD RD.
REDWOOD CITY, CA 94062

ARCHITECT:
LOUIE LEU ARCHITECT, INC.
236 N. SANTA CRUZ AVENUE, SUITE 210
LOS GATOS, CA 95030
(408) 399-2222

CIVIL ENGINEER:
JET ENGINEERING
1048 EL CAMINO REAL, SUITE C
REDWOOD CITY, CA 94063
(650) 260-2755

GEOTECHNICAL ENGINEER:
WAYNE TING AND ASSOCIATES, INC.
42329 OSGOOD ROAD, UNIT A
FREMONT, CA 94539
(510) 623-7768

VICINITY MAP



SHEET INDEX

- ARCHITECTURAL**
- A1.1 TITLE / SITE PLAN
 - A1.2 AREA CALCULATIONS
 - A2.1 LOWER LEVEL FLOOR PLAN
 - A2.2 UPPER LEVEL FLOOR PLAN
 - A3.1 SECTIONS
 - A3.2 SECTIONS
 - A4.1 ELEVATIONS
 - A5.1 ROOF PLAN
 - A10.1 ADU FLOOR & ROOF PLAN
 - A10.2 ADU SECTIONS & ELEVATIONS
- CIVIL**
- C1.0 COVER SHEET - EXISTING SITE PLAN
 - C2.0 GENERAL CONSTRUCTION NOTES
 - C3.0 TOPO SURVEY & DEMO & REMOVAL PLAN
 - C4.0 SITE AND DRAINAGE PLAN
 - C5.0 DRAINAGE AND UTILITY PLAN
 - C6.0 DRIVEWAY SECTIONS AND DETAILS
 - C6.1 UTILITY PROFILES AND ELEVATIONS
 - C7.0 SITE DRAINAGE DETAILS
 - C8.0 SANITARY SEWER DETAILS
 - C9.0 WATER AND SERVICE TRENCH DETAILS
 - C10.0 ARBORIST REPORT
 - L1 LANDSCAPE PLAN AND DETAIL
 - EC.0 STORMWATER POLLUTION PREVENTION PLAN BEST MANAGEMENT PRACTICES
 - EC.1 EROSION CONTROL PLAN
 - EC.2 EROSION CONTROL DETAILS

CODES

- APPLICABLE CODES:**
- 2019 CALIFORNIA BUILDING CODE (CBC)
 - 2019 CALIFORNIA REFERENCE STANDARDS CODE (CRSC)
 - 2019 CALIFORNIA ELECTRICAL CODE (CEC)
 - 2019 CALIFORNIA MECHANICAL CODE (CMC)
 - 2019 CALIFORNIA PLUMBING CODE (CPC)
 - 2019 CALIFORNIA FIRE CODE (CFC)
 - 2019 CALIFORNIA ENERGY CODE
 - 2019 CALIFORNIA EXISTING BUILDING CODE
 - 2019 CALIFORNIA HISTORICAL BUILDING CODE (CEBC)
 - 2019 CALIFORNIA RESIDENTIAL BUILDING CODE (CRC)
 - 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN CODE)

PROJECT INFORMATION

ASSESSORS PARCEL NUMBER: 058-021-050

OWNER: CHARLES AND ANNE CAMILLERI
ADDRESS: 1462 EDGEWOOD RD. REDWOOD CITY, CA 94062

CONTACT PERSON: LOUIE LEU ARCHITECT
408-399-2222
louie@louieleuarch.com

ZONING: S-91 COMBINING DISTRICT-PALOMAR PARK AREA

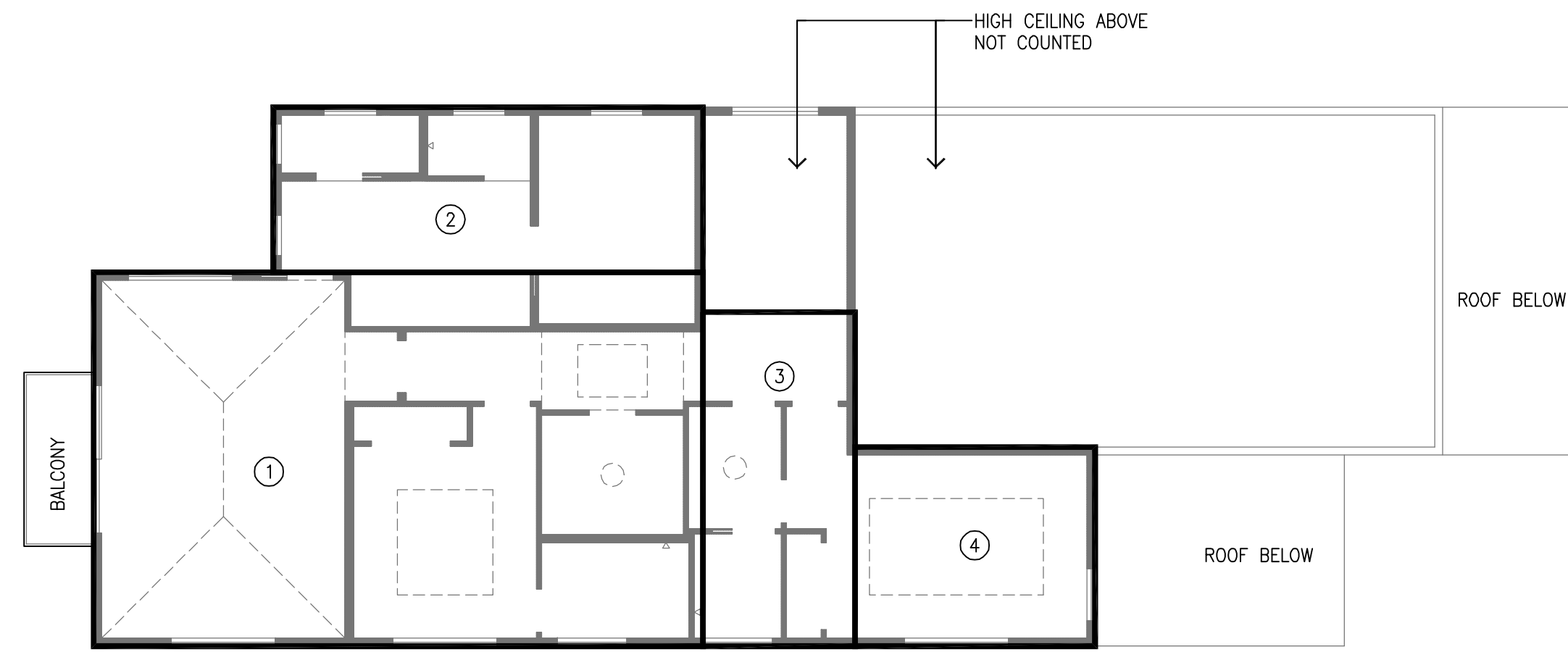
SITE AREA: 12,458 S.F.
PARCEL 2 BUILDING SITE COVERAGE AREA = (0.3)(12,458) = 3,737 SF

MAX. ALLOWABLE FLOOR AREA:
MAIN HOUSE LOWER FLOOR: 3,737 S.F.
UPPER HOUSE UPPER FLOOR: 2,417 S.F.
TOTAL: 1,315 S.F.
TOTAL ALLOWABLE S.F. INCLUDES A 400 S.F. ALLOWANCE FOR THE GARAGE

ADU: 800 S.F.
TOTAL ALLOWED: 800 S.F.

PROJECT DESCRIPTION

NEW TWO-STORY HOME WITH DETACHED ADU



UPPER LEVEL FLOOR PLAN

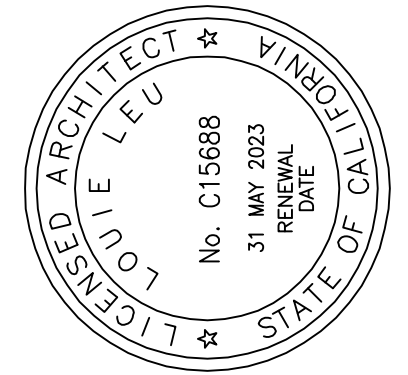
1/8" = 1'-0"



LOWER LEVEL FLOOR PLAN

1/8" = 1'-0"

AREA CALCULATIONS		
TAG #	CALCULATION	AREA
UPPER LEVEL FLOOR AREA		
1	30'-1/2" X 21'-6"	753 SQ. FT.
2	24'-8 1/2" X 9'-6"	235 SQ. FT.
3	8'-9" X 19'-2 1/2"	168 SQ. FT.
4	13'-9 1/2" X 11'-5 1/2"	158 SQ. FT.
TOTAL UPPER LEVEL		1,314 SQ. FT.
LOWER LEVEL FLOOR PLAN		
5	20'-11 1/2" X 21'-6"	515 SQ. FT.
6	13'-7 1/2" X 8'-6"	129 SQ. FT.
7	53'-7 1/2" X 20'-0"	1072 SQ. FT.
8	47'-11 1/2" X 11'-0"	528 SQ. FT.
9	6'-6" X 1'-1 1/2"	13 SQ. FT.
10	8'-0" X 20'-0"	160 SQ. FT.
TOTAL LOWER LEVEL		2,417 SQ. FT.
TOTAL UPPER LEVEL FLOOR		1,314 SQ. FT.
TOTAL LOWER LEVEL FLOOR		2,417 SQ. FT.
TOTAL		3,731 SQ. FT.
TOTAL FLOOR AREA PROPOSED		3,731 SQ. FT.
MAXIMUM ALLOWABLE FLOOR AREA		3,737 SQ. FT.
3,337 SQ.FT + 400 SQ.FT GARAGE EXCLUSION		



Project No: 22007

CAMILLERI RESIDENCE

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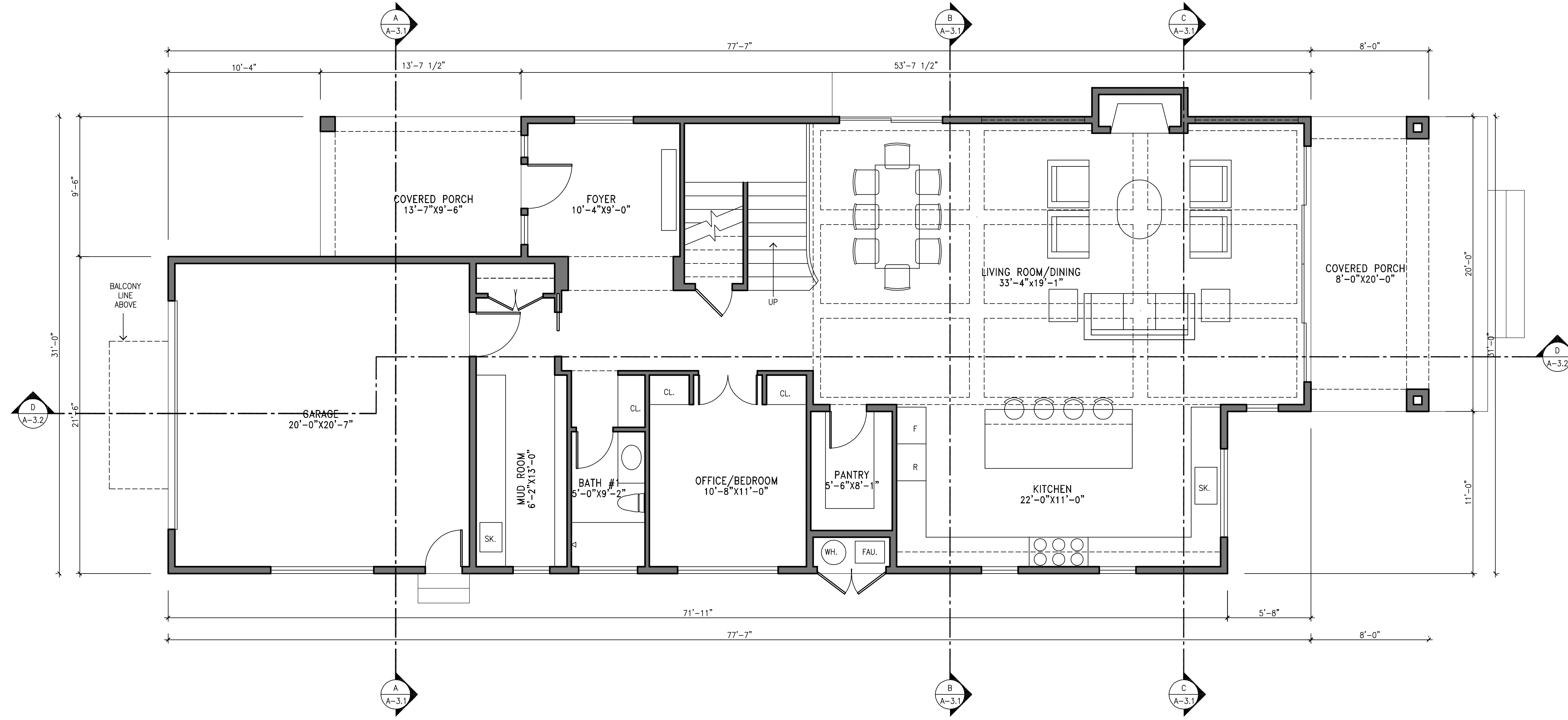
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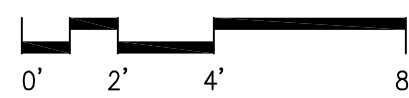
Date/Revisions:
MARCH 08, 2021

Sheet No:

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LOWER LEVEL FLOOR PLAN



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Project No: 22007

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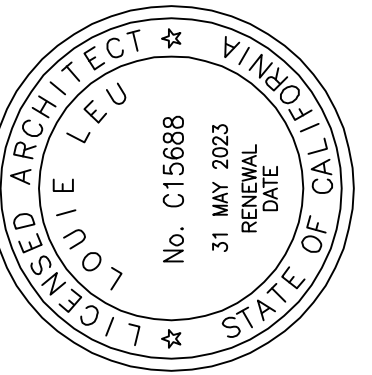
LOWER LEVEL FLOOR PLAN

Scale: 1/4" = 1'-0"

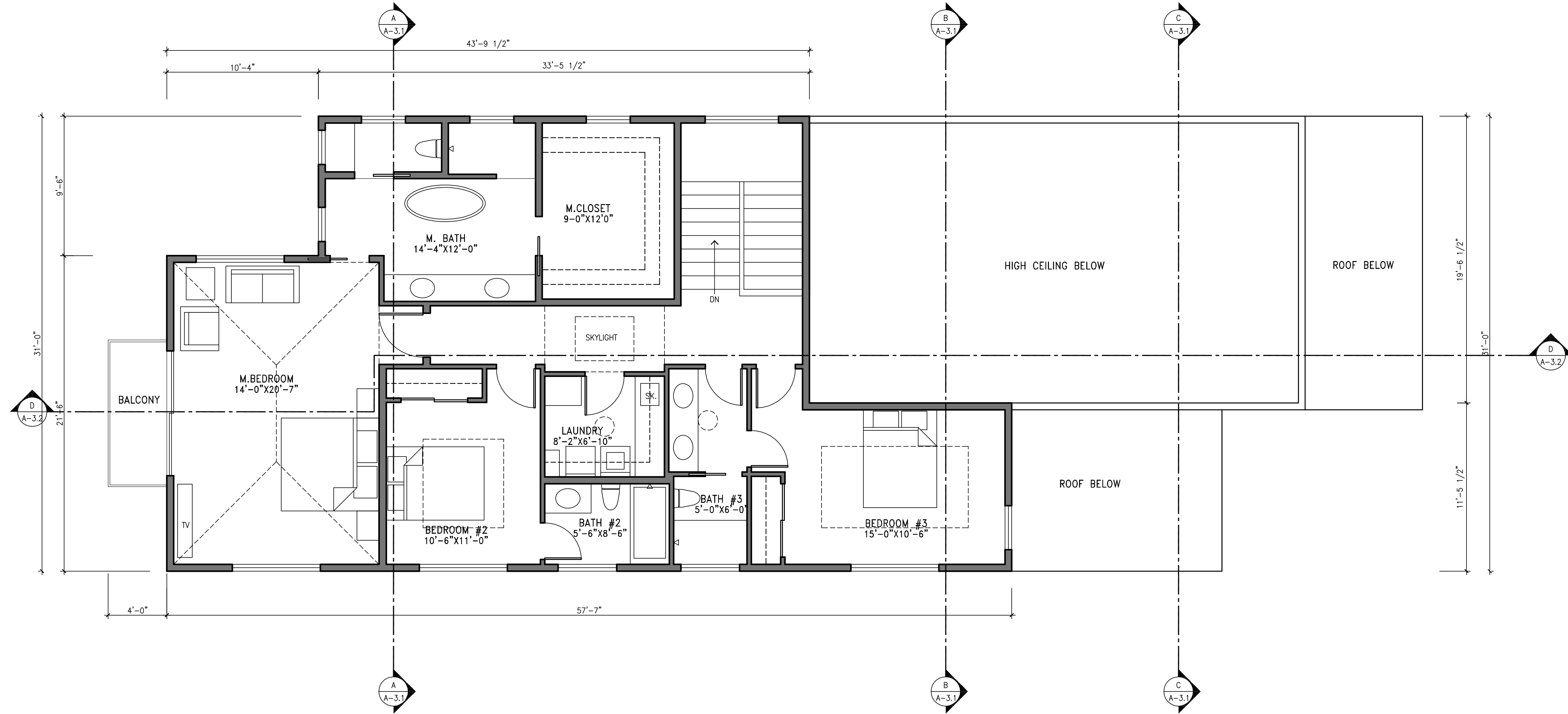
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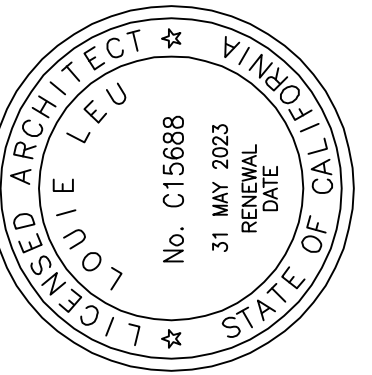
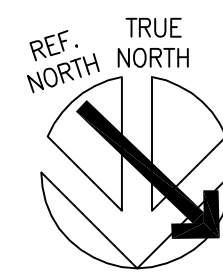
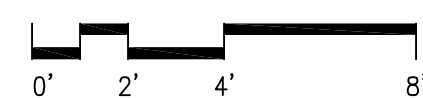
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SIGNATURE DATE:



UPPER LEVEL FLOOR PLAN



Project No: 22007

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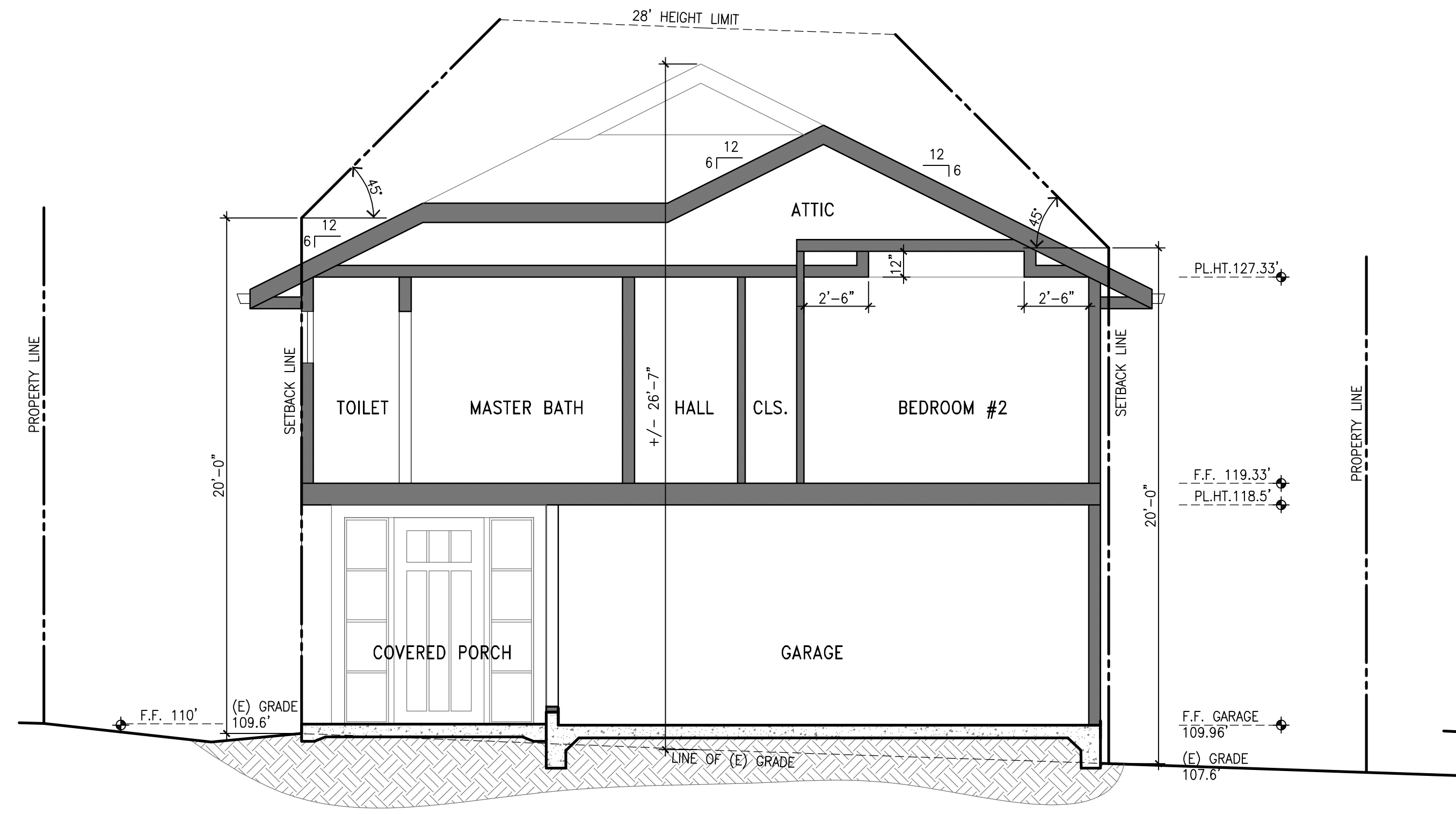
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Date/Revisions:
MARCH 08, 2021

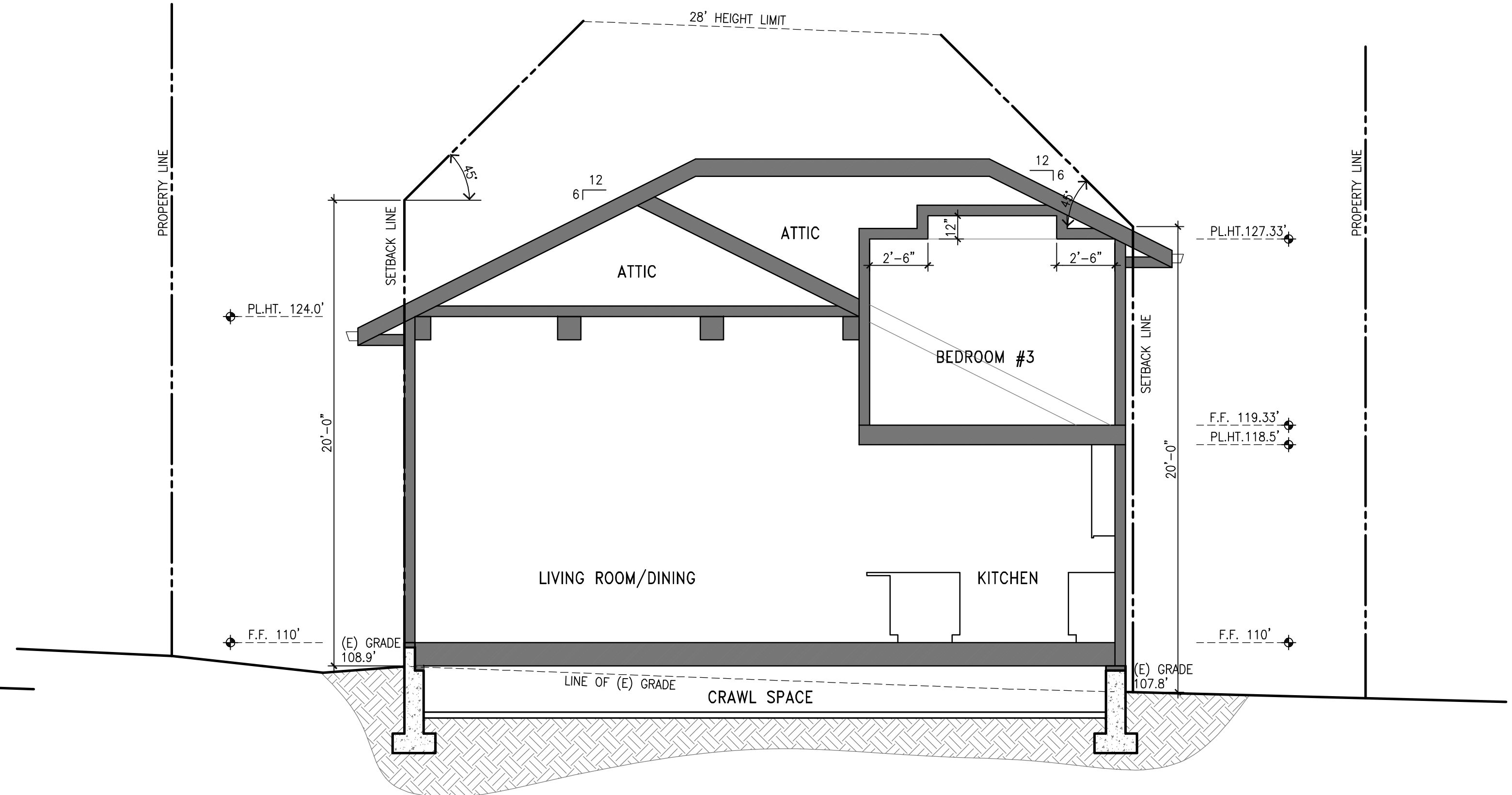
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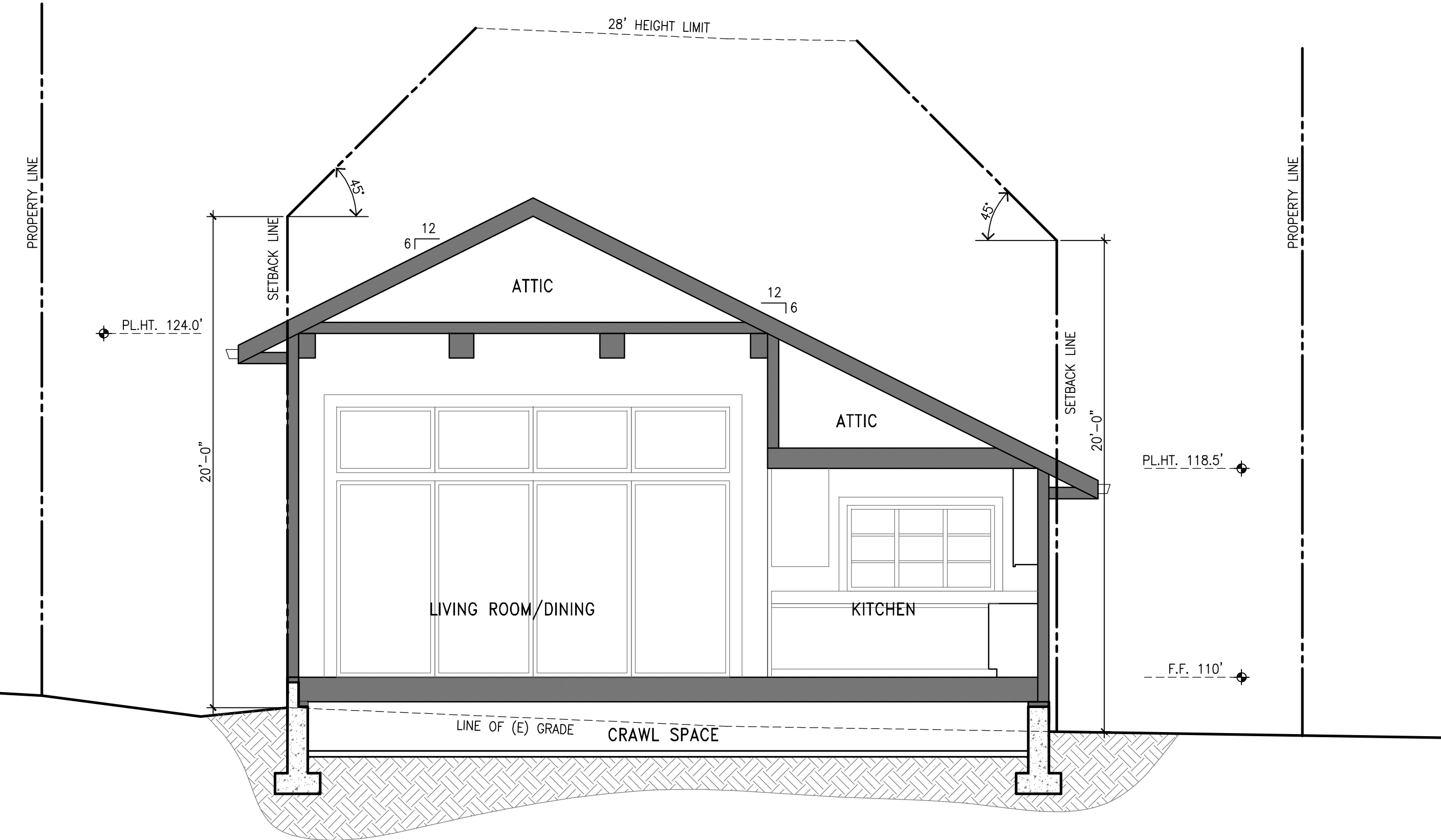
SECTION A

SCALE 1/4" = 1'-0"



SECTION B

SCALE 1/4" = 1'-0"

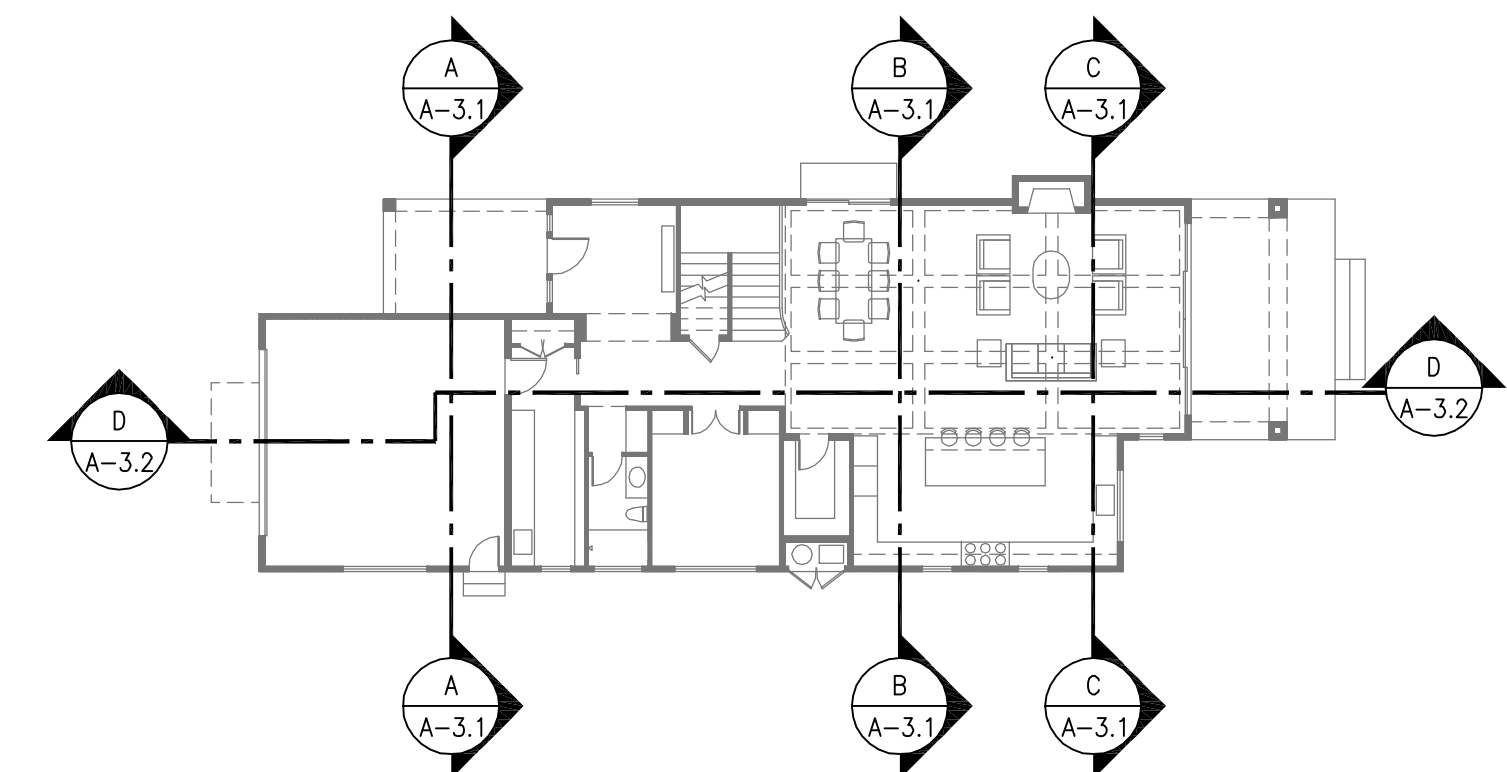


SECTION C

SCALE 1/4" = 1'-0"

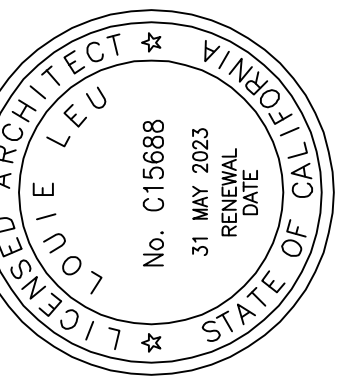
GENERAL NOTES

- A. PROVIDE FIREBLOCKING IN SPACES OF WALLS AND PARTITIONS INCLUDING FURRED SPACES AT CEILING LEVELS @ 10" MAX. INTERVALS, HORIZONTALLY & VERTICALLY.
- B. SEE TITLE 24 ENERGY COMPLIANCE SHEET FOR INSULATION REQUIREMENTS.
- C. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- D. CONTRACTOR TO HAVE BLDG. ELEVATION HEIGHTS SURVEYED BY R.C.E. OR LLS OF RECORD FOR CONFORMANCE W/ HEIGHT RESTRICTIONS, PRIOR TO COMMENCEMENT OF UPPER FLOOR WALL AND ROOF FRAMING.
- E. INSTALL RESILIENT CHANNEL AT BOTTOM OF FLOOR JOISTS WHERE CEILINGS OF LIVING SPACE IS DIRECTLY BELOW.
- F. ATTIC ACCESS FOR THE FURNACE SHALL BE MINIMUM 30"x30". DISTANCE FROM PASSAGWAY OPENING ACCESS TO THE APPLIANCE SHALL NOT EXCEED 20'. 24" WIDE SOLID FLOORING ACCESS WAY IS REQUIRED. 30"x30" WORKING PLATFORM OR GRADE SURFACE IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. A PERMANENT 120-VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE TO BE INSTALLED NEAR THE APPLIANCE



KEY PLAN

N.T.S.



Project No: 22007

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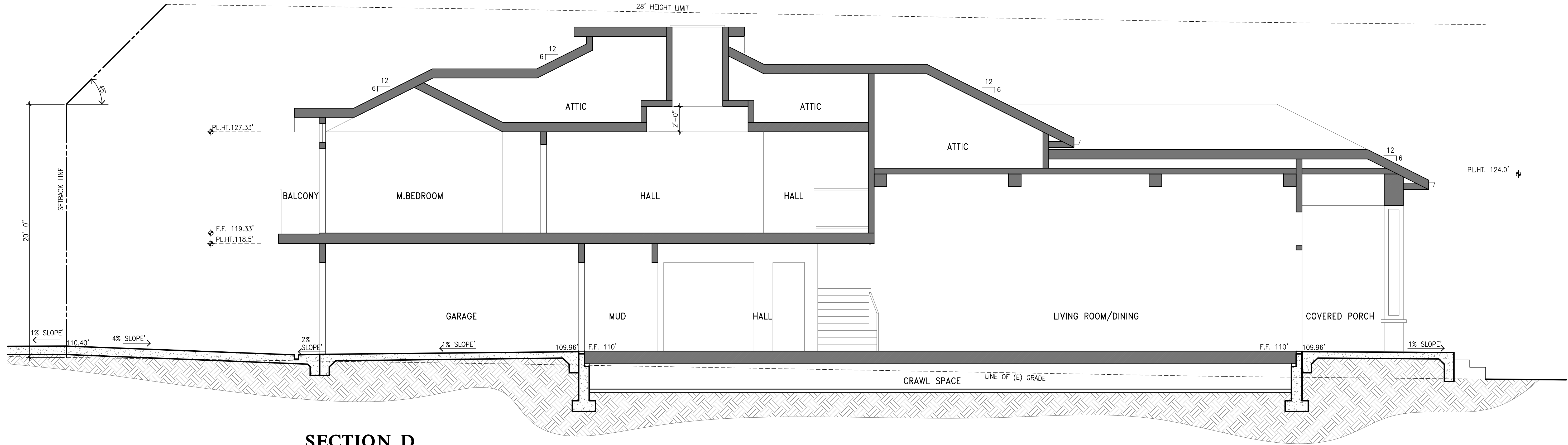
Scale: 1/4" = 1'-0"

SECTIONS

Date/Revisions:
MARCH 08, 2021

Sheet No:

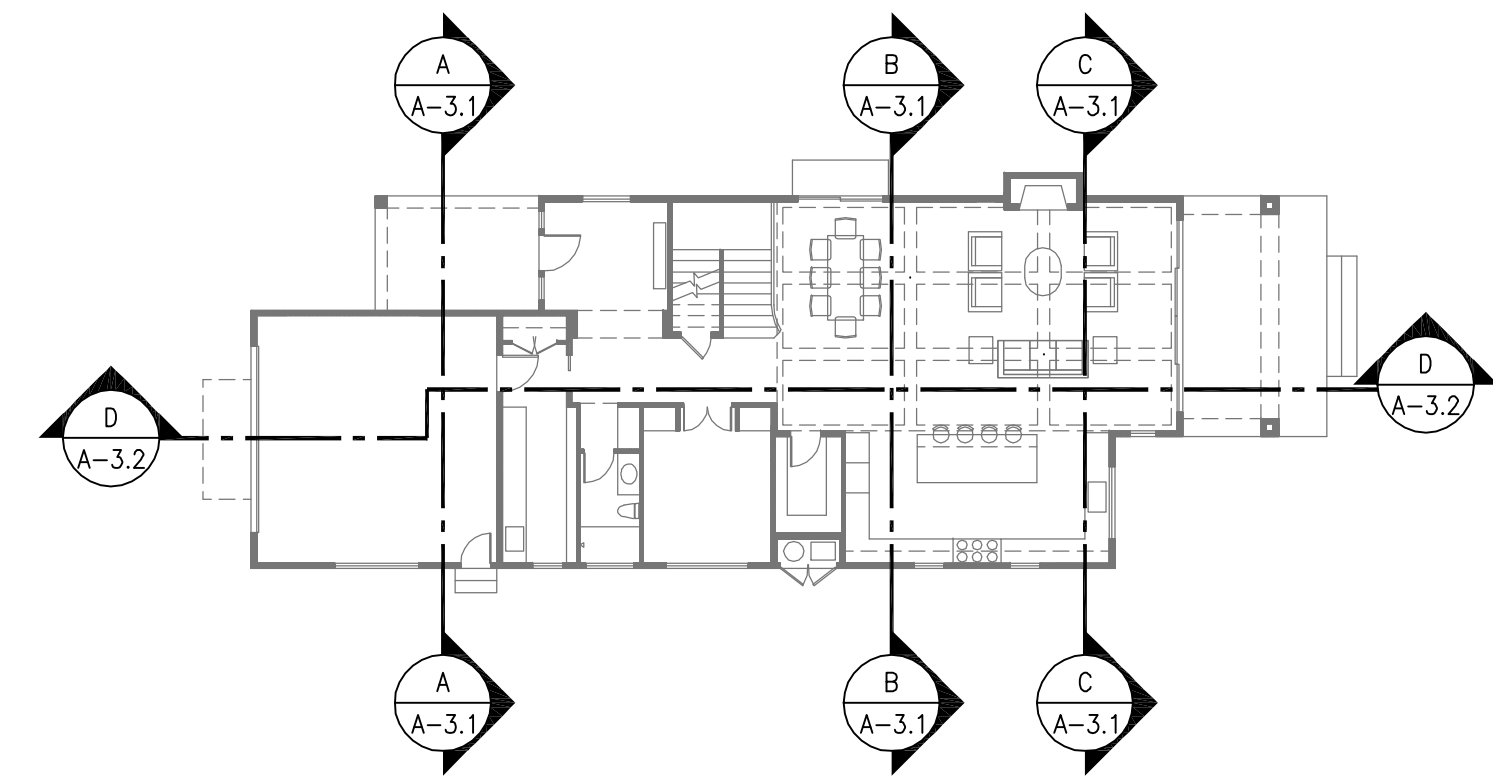
A - 3.1



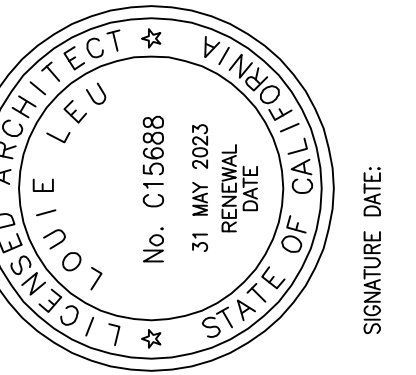
SECTION D
SCALE 1/4" = 1'-0"

GENERAL NOTES

- A. PROVIDE FIREBLOCKING IN SPACES OF WALLS AND PARTITIONS INCLUDING FURRED SPACES AT CEILING LEVELS @ 10' MAX. INTERVALS, HORIZONTALLY & VERTICALLY.
- B. SEE TITLE 24 ENERGY COMPLIANCE SHEET FOR INSULATION REQUIREMENTS.
- C. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- D. CONTRACTOR TO HAVE BLDG. ELEVATION HEIGHTS SURVEYED BY R.C.E. OR LLS OF RECORD FOR CONFORMANCE W/ HEIGHT RESTRICTIONS, PRIOR TO COMMENCEMENT OF UPPER FLOOR WALL AND ROOF FRAMING.
- E. INSTALL RESILIENT CHANNEL AT BOTTOM OF FLOOR JOISTS WHERE CEILINGS OF LIVING SPACE IS DIRECTLY BELOW.
- F. ATTIC ACCESS FOR THE FURNACE SHALL BE MINIMUM 30"x30". DISTANCE FROM PASSAGEWAY OPENING ACCESS TO THE APPLIANCE SHALL NOT EXCEED 20'. 24" WIDE SOLID FLOORING ACCESS WAY IS REQUIRED. 30"x30" WORKING PLATFORM OR GRADE SURFACE IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. A PERMANENT 120-VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE TO BE INSTALLED NEAR THE APPLIANCE



KEY PLAN
N.T.S.



Project No: 22007

CAMILLERI RESIDENCE

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Scale: 1/4" = 1'-0"

SECTIONS

Date/Revisions:
MARCH 08, 2021

Sheet No:

A - 3.2



EAST ELEVATION

SCALE 1/4" = 1'-0"



WEST ELEVATION

SCALE 1/4" = 1'-0"

EXTERIOR MATERIALS

- ① ROOF: CERTAINTED LANDMARK TL ASPHALT COMPOSITION SHINGLES
COLOR: COUNTRY GRAY
- ② SIDING: HARDI-SHINGLES STRAIGHT EDGE
COLOR: LIGHT MIST W/ ARCTIC WHITE TRIM
- ③ WINDOWS: CLAD WOOD WINDOWS BY MARVIN OR ANDERSEN OR EQUIVALENT
COLOR: WHITE EXTERIOR
- ④ EXTERIOR LIGHT FIXTURE: TROY BECKHAM EXTERIOR SCENCE W/ 1 TO 3 LIGHTS.
COLOR: BRONZE FINISH
- ⑤ COLUMNS: SQUARE W/ ARTIC WHITE TRIM



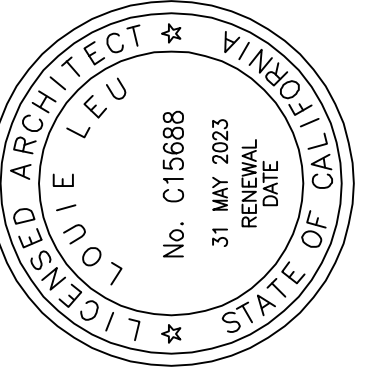
NORTH ELEVATION

SCALE 1/4" = 1'-0"



SOUTH ELEVATION

SCALE 1/4" = 1'-0"



Project No: 22007

CAMILLERI RESIDENCE

1450 EDGEWOOD ROAD, REDWOOD CITY, CA 94062

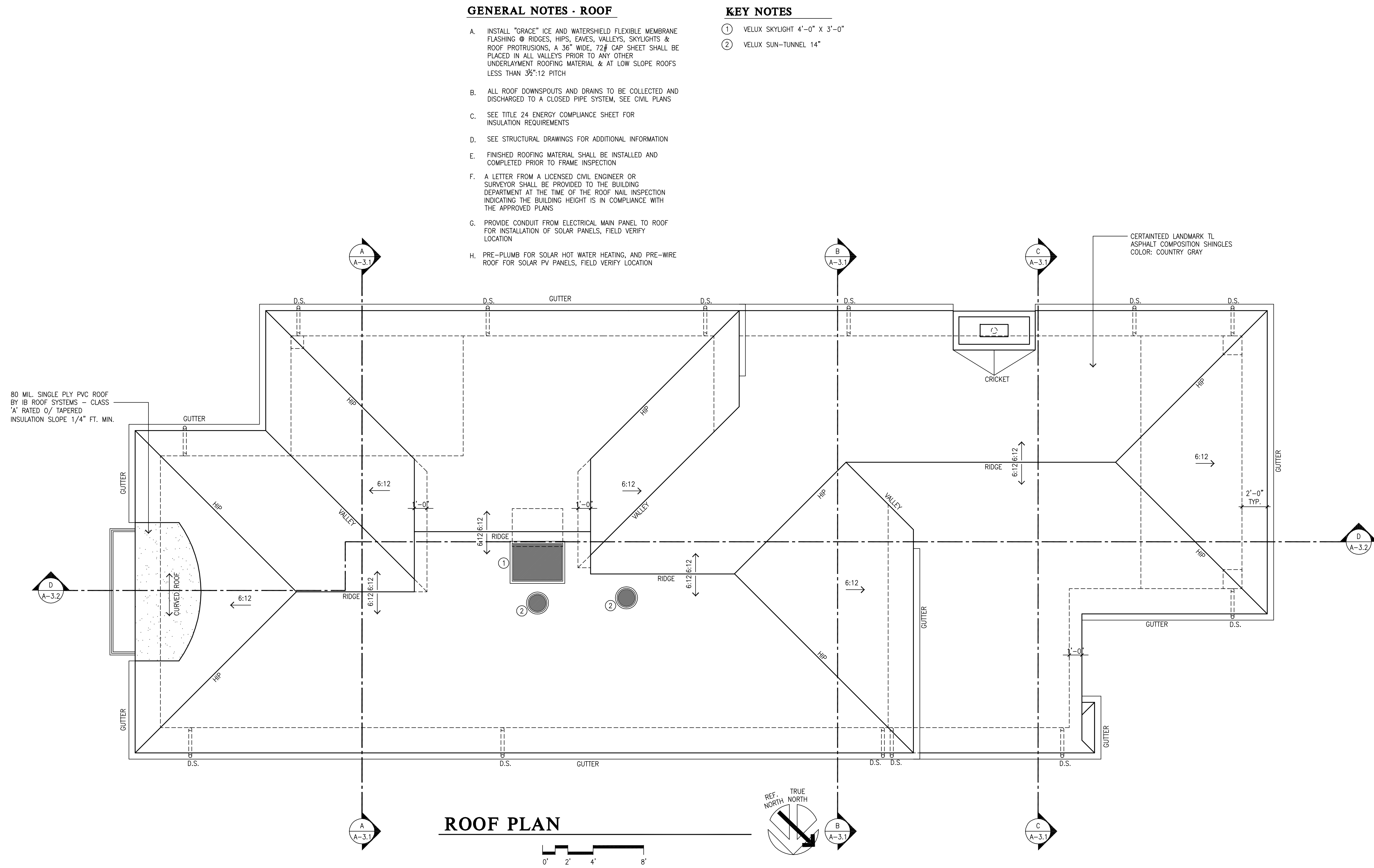
Scale: 1/4" = 1'-0"

ELEVATIONS

Date/Revisions:
MARCH 08, 2021

Sheet No:

A - 4.1



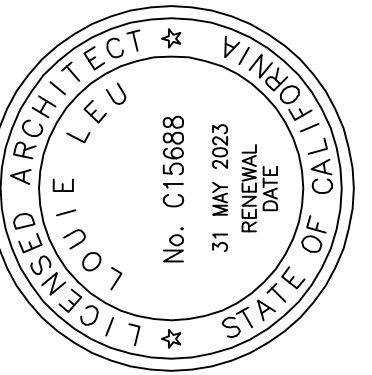
GENERAL NOTES - ROOF

- A. INSTALL "GRACE" ICE AND WATERSHIELD FLEXIBLE MEMBRANE FLASHING @ RIDGES, HIPS, EAVES, VALLEYS, SKYLIGHTS & ROOF PROTRUSIONS. A 36" WIDE, 72# CAP SHEET SHALL BE PLACED IN ALL VALLEYS PRIOR TO ANY OTHER UNDERLAYMENT ROOFING MATERIAL & AT LOW SLOPE ROOFS LESS THAN 3/4":12 PITCH
- B. ALL ROOF DOWNSPOUTS AND DRAINS TO BE COLLECTED AND DISCHARGED TO A CLOSED PIPE SYSTEM, SEE CIVIL PLANS
- C. SEE TITLE 24 ENERGY COMPLIANCE SHEET FOR INSULATION REQUIREMENTS
- D. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- E. FINISHED ROOFING MATERIAL SHALL BE INSTALLED AND COMPLETED PRIOR TO FRAME INSPECTION
- F. A LETTER FROM A LICENSED CIVIL ENGINEER OR SURVEYOR SHALL BE PROVIDED TO THE BUILDING DEPARTMENT AT THE TIME OF THE ROOF NAIL INSPECTION INDICATING THE BUILDING HEIGHT IS IN COMPLIANCE WITH THE APPROVED PLANS
- G. PROVIDE CONDUIT FROM ELECTRICAL MAIN PANEL TO ROOF FOR INSTALLATION OF SOLAR PANELS, FIELD VERIFY LOCATION
- H. PRE-PLUMB FOR SOLAR HOT WATER HEATING, AND PRE-WIRE ROOF FOR SOLAR PV PANELS, FIELD VERIFY LOCATION

KEY NOTES

- ① VELUX SKYLIGHT 4'-0" X 3'-0"
- ② VELUX SUN-TUNNEL 14"

ROOF PLAN



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CAMILLERI RESIDENCE

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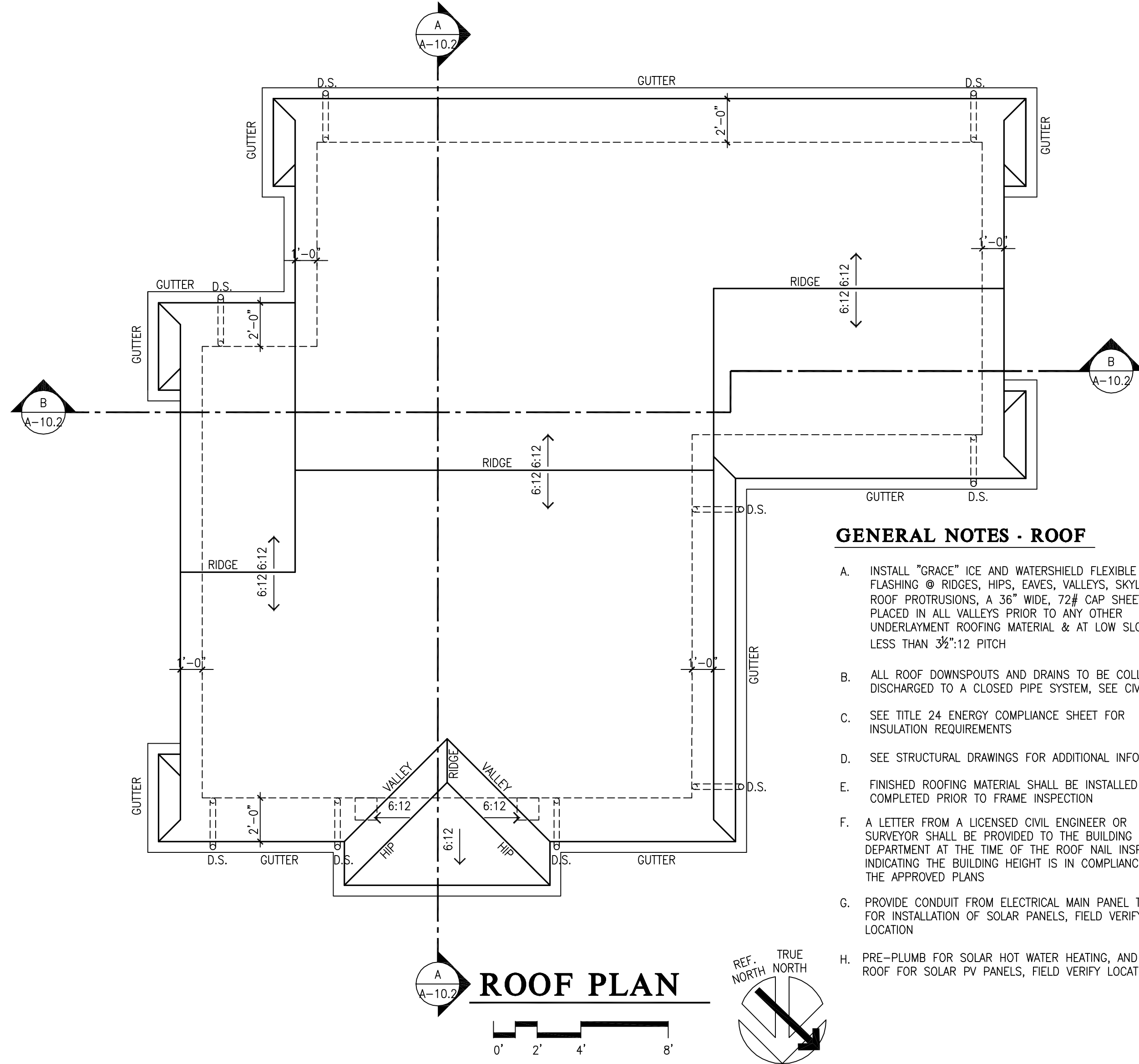
ROOF PLAN

Scale: 1/4" = 1'-0"

Date/Revisions:
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Sheet No:

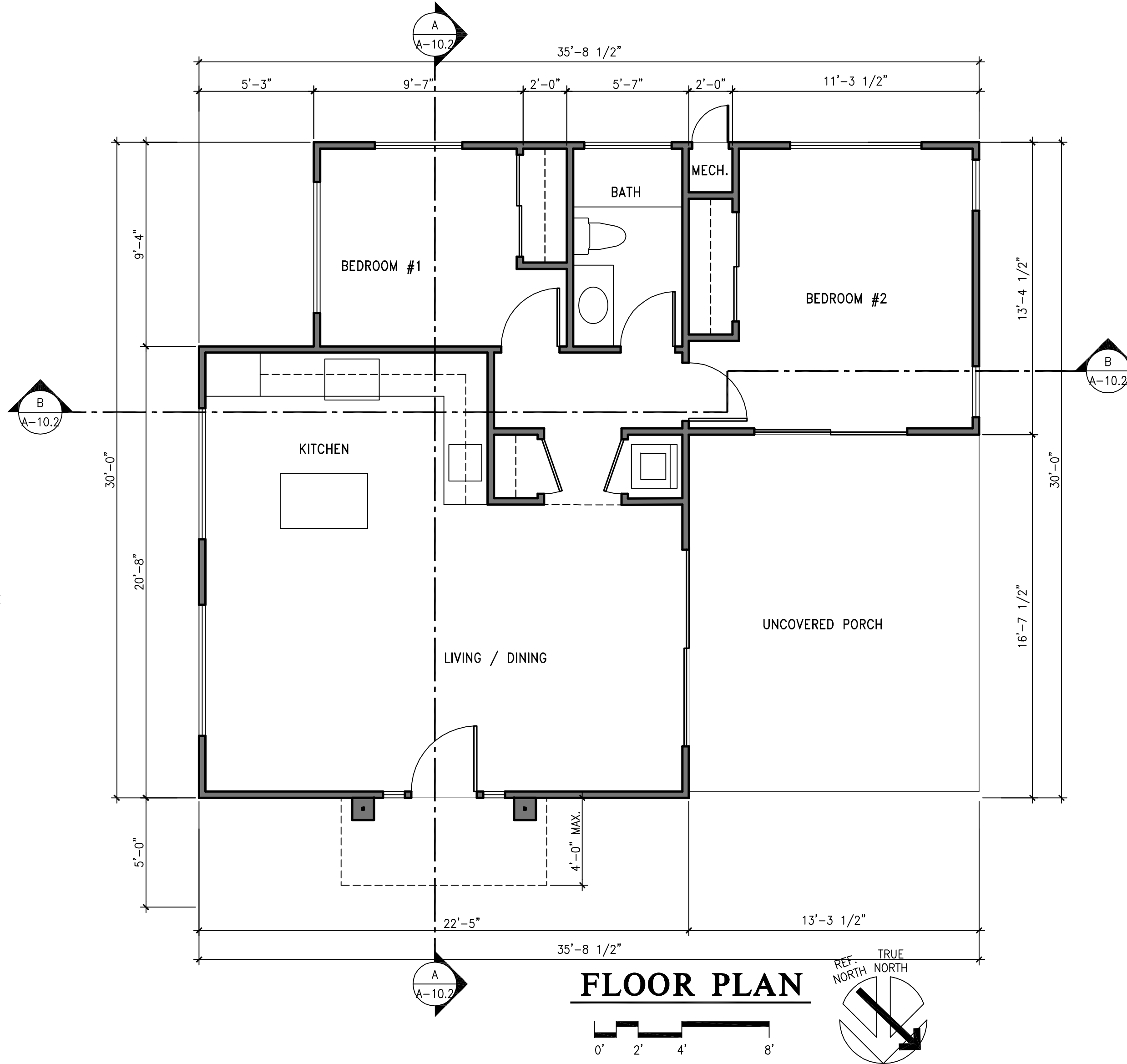
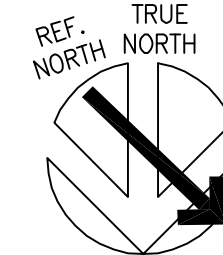
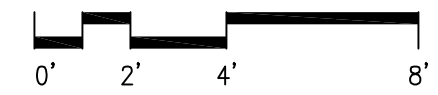
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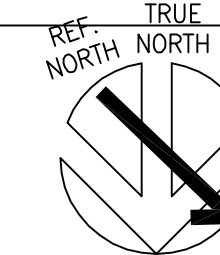
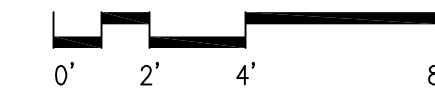
GENERAL NOTES - ROOF

- A. INSTALL "GRACE" ICE AND WATERSHIELD FLEXIBLE MEMBRANE FLASHING @ RIDGES, HIPS, EAVES, VALLEYS, SKYLIGHTS & ROOF PROTRUSIONS, A 36" WIDE, 72# CAP SHEET SHALL BE PLACED IN ALL VALLEYS PRIOR TO ANY OTHER UNDERLAYMENT ROOFING MATERIAL & AT LOW SLOPE ROOFS LESS THAN 3/4":12 PITCH
- B. ALL ROOF DOWNSPOUTS AND DRAINS TO BE COLLECTED AND DISCHARGED TO A CLOSED PIPE SYSTEM, SEE CIVIL PLANS
- C. SEE TITLE 24 ENERGY COMPLIANCE SHEET FOR INSULATION REQUIREMENTS
- D. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- E. FINISHED ROOFING MATERIAL SHALL BE INSTALLED AND COMPLETED PRIOR TO FRAME INSPECTION
- F. A LETTER FROM A LICENSED CIVIL ENGINEER OR SURVEYOR SHALL BE PROVIDED TO THE BUILDING DEPARTMENT AT THE TIME OF THE ROOF NAIL INSPECTION INDICATING THE BUILDING HEIGHT IS IN COMPLIANCE WITH THE APPROVED PLANS
- G. PROVIDE CONDUIT FROM ELECTRICAL MAIN PANEL TO ROOF FOR INSTALLATION OF SOLAR PANELS, FIELD VERIFY LOCATION
- H. PRE-PLUMB FOR SOLAR HOT WATER HEATING, AND PRE-WIRE ROOF FOR SOLAR PV PANELS, FIELD VERIFY LOCATION

ROOF PLAN

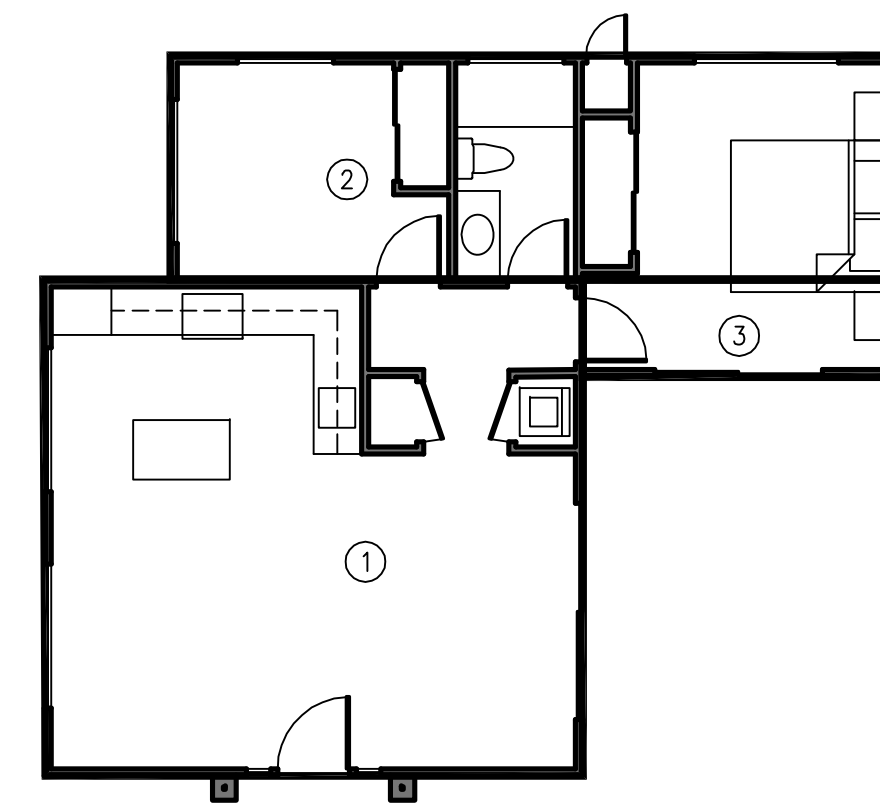


FLOOR PLAN



GENERAL NOTES

- A. LANDING AT EXT. DOORS SHALL BE THE WIDTH OF THE OPERABLE DOOR X 36" DEEP, THE LANDING SHALL NOT BE MORE THAN 7.75" BELOW THE TOP OF THE THRESHOLD. THRESHOLDS SHALL NOT EXCEED .5" MAX. DOWN FOR OUTWARD SWINGING DOORS, .75" FOR SLIDERS, AND 7.75" MAX. FOR INWARD SWING DOORS PER CRC SECTION R311
- B. ALL SLEEPING ROOMS TO BE PROVIDED WITH ONE EGRESS ESCAPE/ RESCUE WINDOW. EGRESS WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. MIN. CLR. HT. OF 24" AND A MIN. CLEAR WIDTH OF 20". BOTTOM OF THE CLEAR OPENING SHALL NOT BE MORE THAN 44" ABOVE FINISHED FLOOR PER CRC SECTION R310
- C. PROVIDE ANTI-SCALD BALANCING VALVES @ SHOWERS & TUBS/SHOWER
- D. SEE TITLE 24 FOR INSULATION REQUIREMENTS
- E. ALL HOSE BIBBS TO HAVE BACKFLOW PREVENTERS, TYP.
- F. 5/8" GYP. BOARD TYP. ON ALL INTERIOR WALLS. 5/8" TYPE "X" LEVEL 5 SMOOTH FINISH EXCEPT LEVEL 4 @ GARAGE & UTILITY ROOMS
- G. PROVIDE 6" HIGH BUILDING NUMBERS CLEARLY VISIBLE AND LEGIBLE FROM THE ADJACENT PUBLIC WAY OR STREET PER CRC SECTION R309. LOCATION & STYLE TO BE FIELD VERIFIED
- H. SEE CAL-GREEN SHEETS GB-1 FOR WATER CONSERVING PLUMBING FIXTURES AND FITTING REQUIREMENTS
- J. NO DOMESTIC DISHWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSER WITHOUT THE USE OF AN APPROVED DISHWASHER AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIR GAP'S SHALL BE INSTALLED WITH THE FLOOD-LEVEL (FL) MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DRAINBOARD, WHICHEVER IS HIGHER. CPC SECTION 807.3

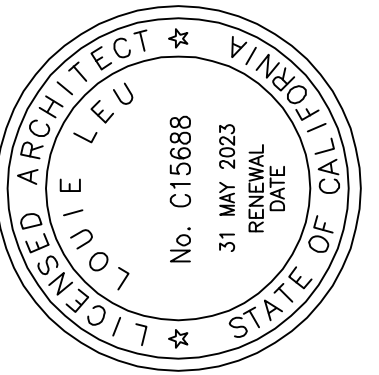


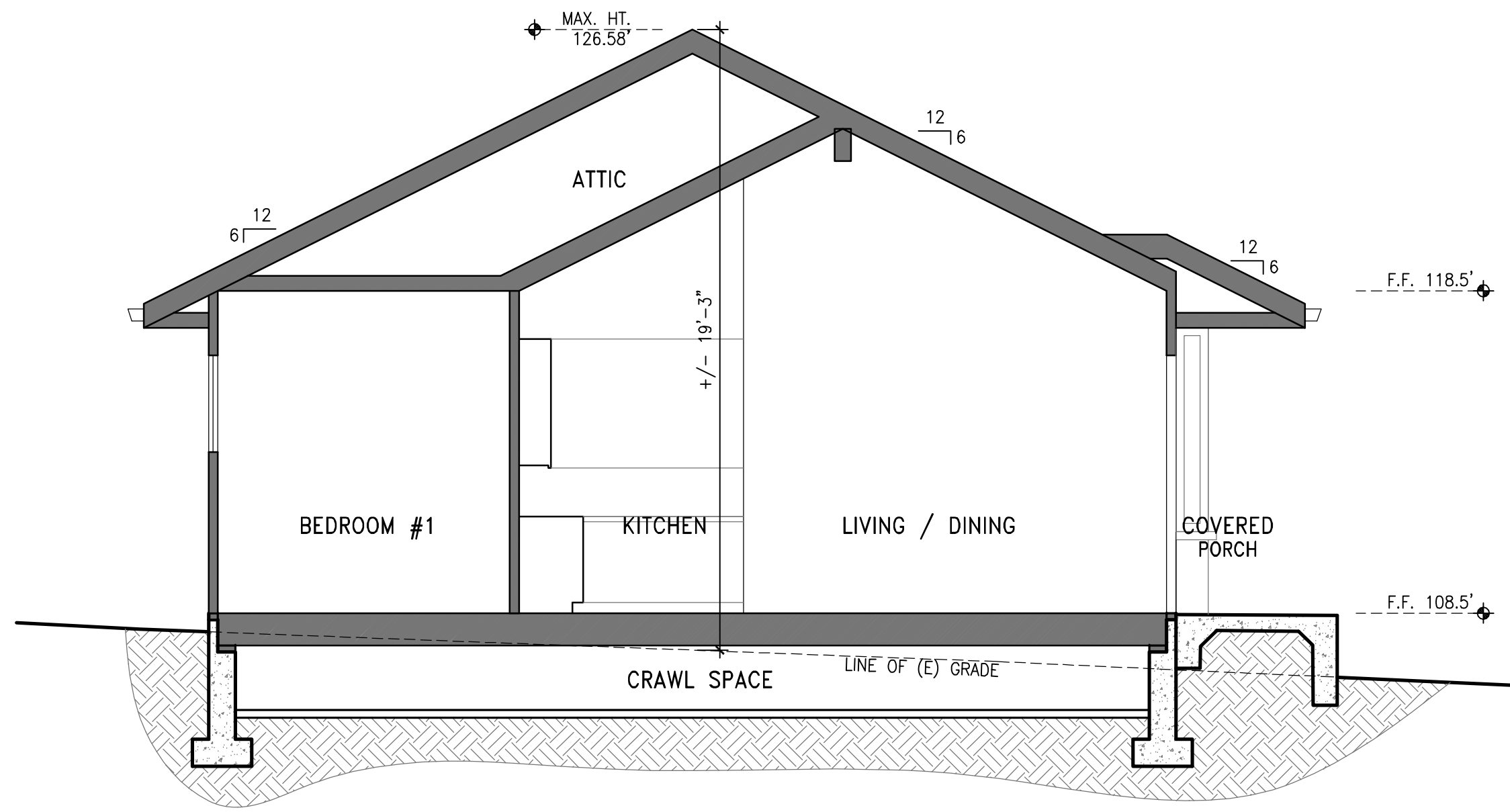
FLOOR AREA CALCULATION

1/8" = 1'-0"

AREA CALCULATIONS		
TAG #	CALCULATION	AREA
ADU FLOOR AREA		
1	22'-6" X 20'-8"	465 SQ. FT.
2	30'-6" X 9'-3"	283 SQ. FT.
3	13'-4" X 4'-0"	52 SQ. FT.
TOTAL ADU		800 SQ. FT.
TOTAL ADU PROPOSED		800 SQ. FT.
MAXIMUM ADU AREA ALLOWED		800 SQ. FT.

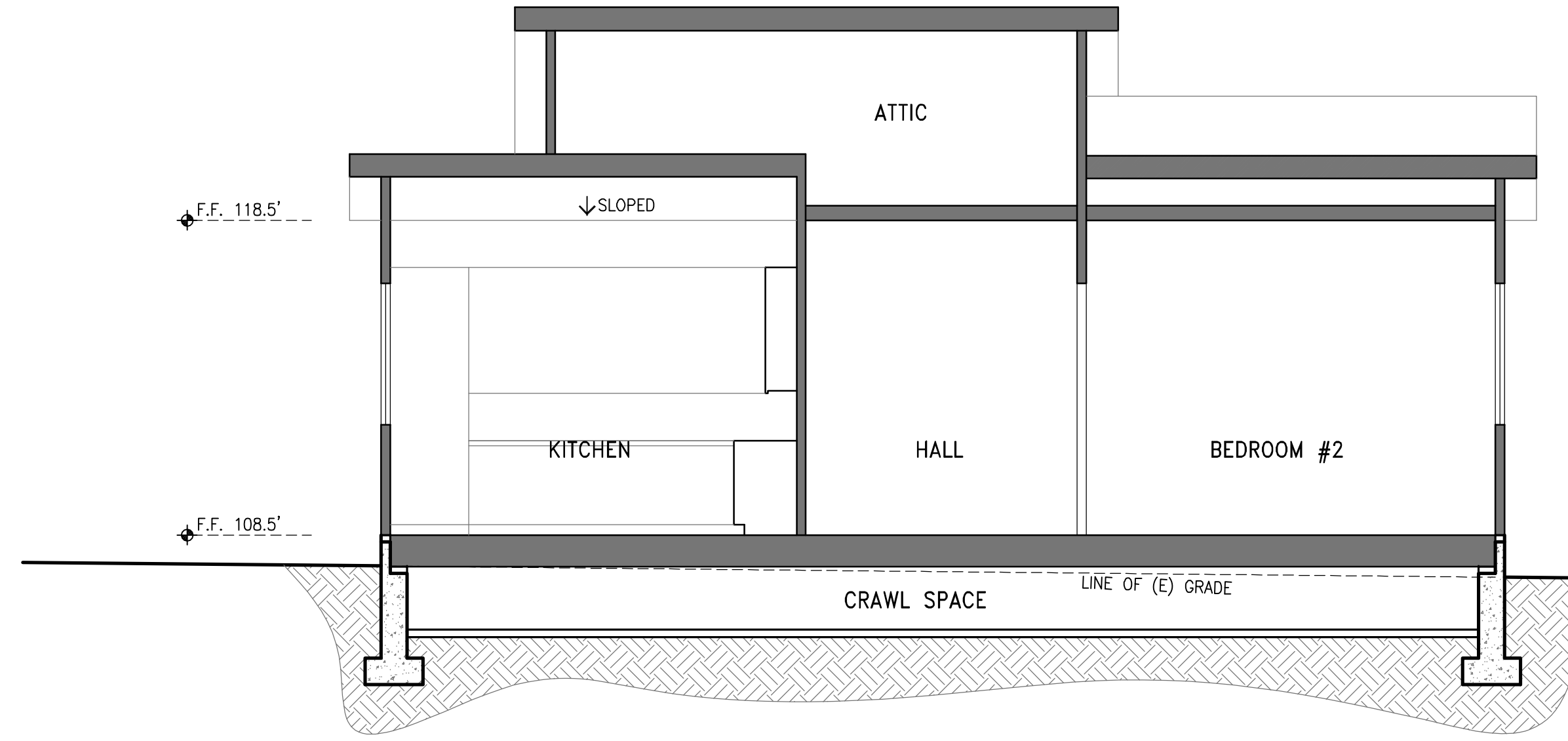
NOTE:
ADU IS NOT SUBJECT TO
DESIGN REVIEW





SECTION A

SCALE 1/4" = 1'-0"

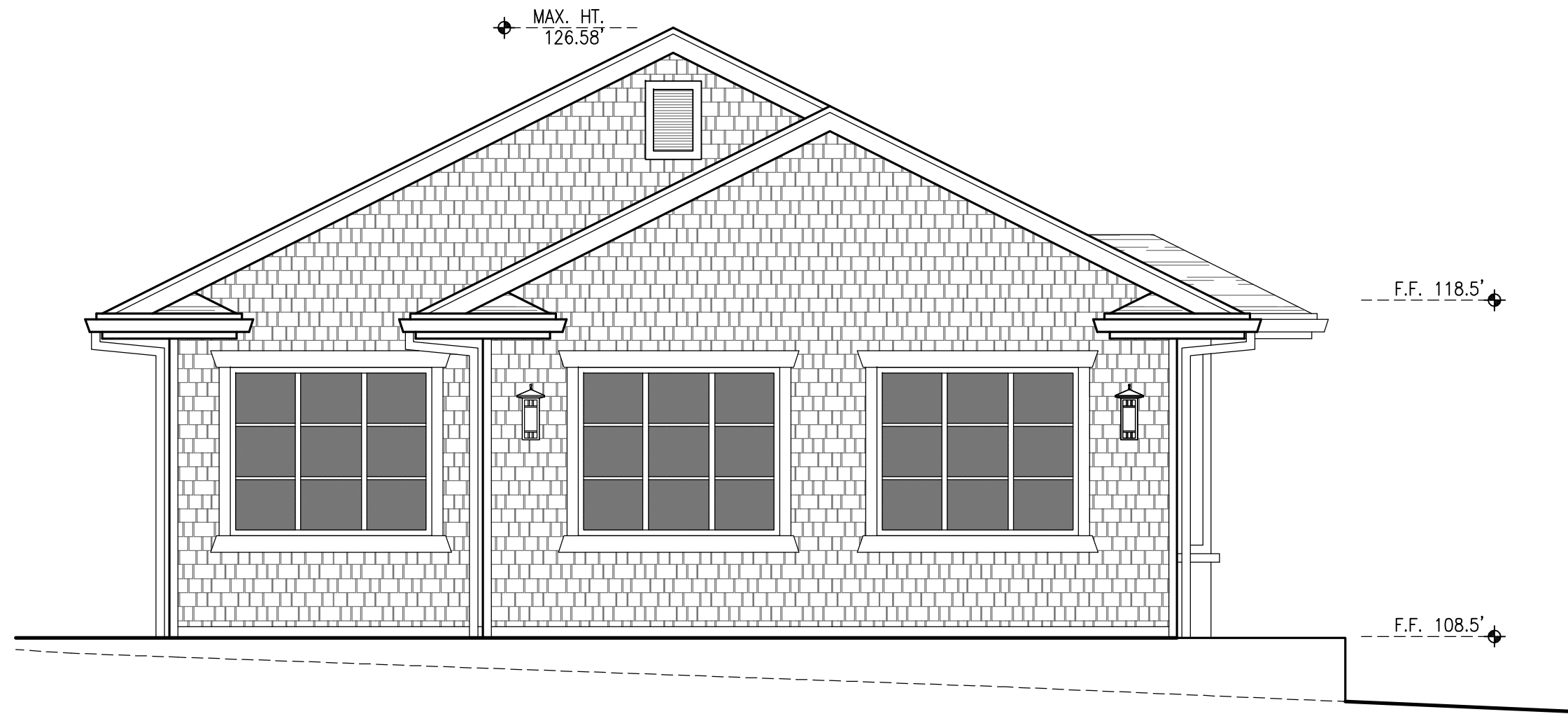


SECTION B

SCALE 1/4" = 1'-0"

GENERAL NOTES

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EAST ELEVATION

SCALE 1/4" = 1'-0"

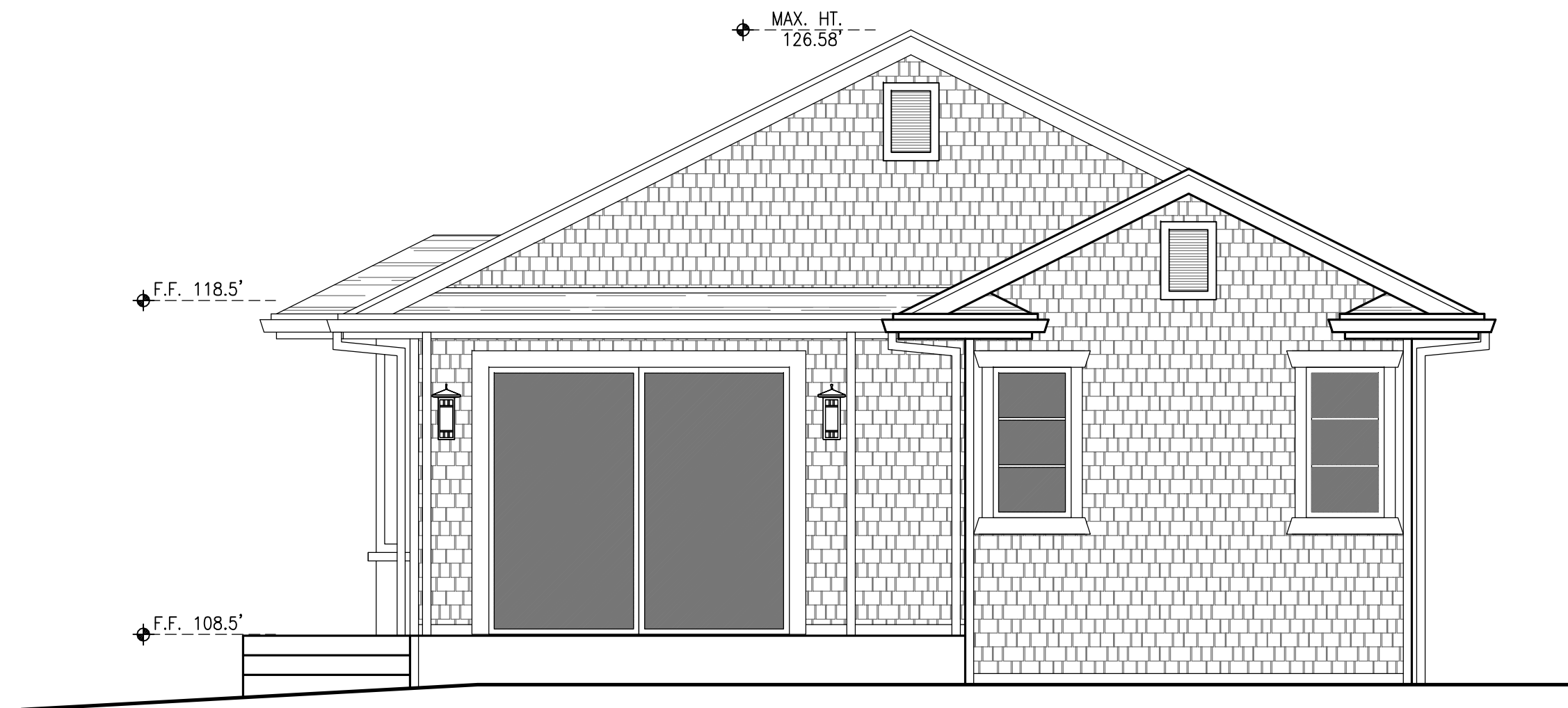


NORTH ELEVATION

SCALE 1/4" = 1'-0"

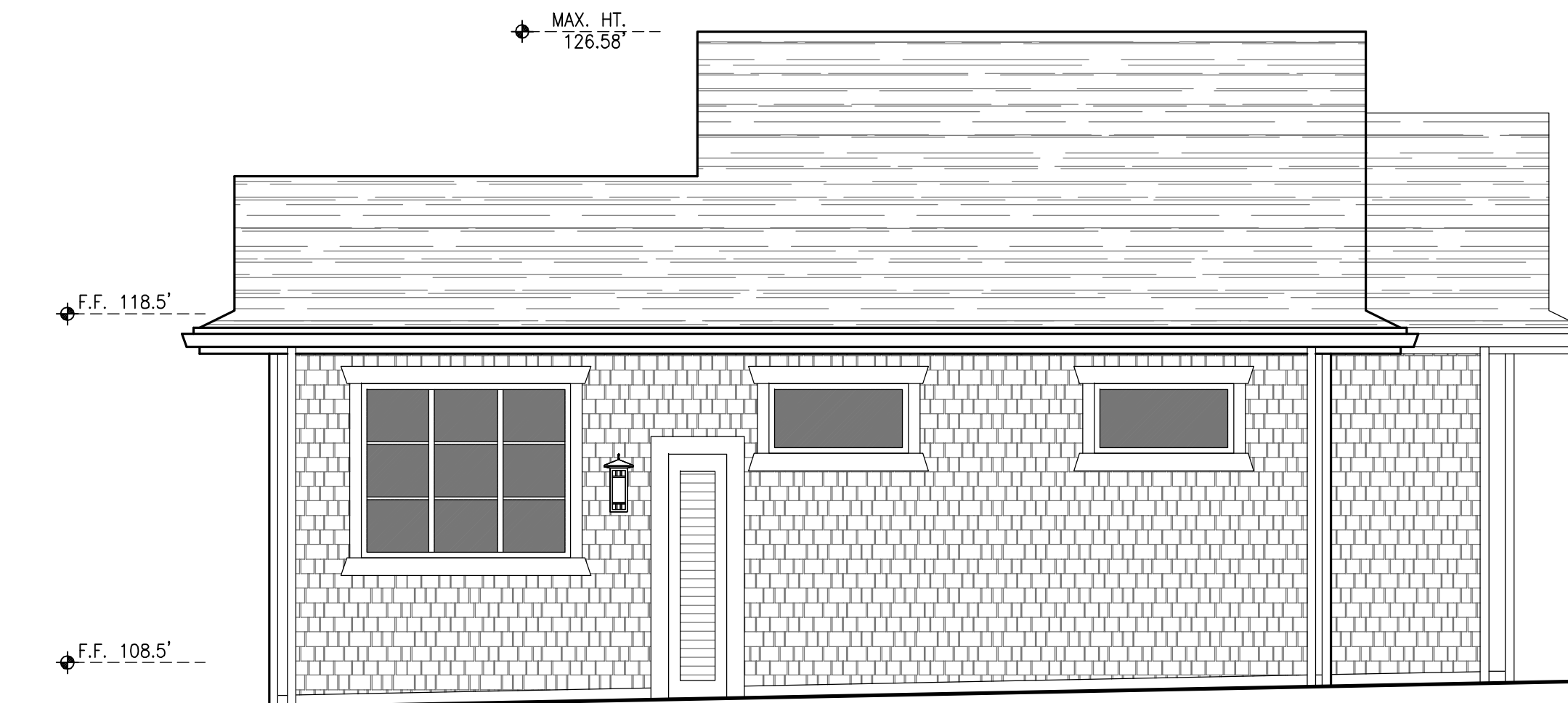
EXTERIOR MATERIALS

- ① ROOF: CERTAINTED LANDMARK TL ASPHALT COMPOSITION SHINGLES
COLOR: COUNTRY GRAY
- ② SIDING: HARDI-SHINGLES STRAIGHT EDGE
COLOR: LIGHT MIST W/ ARCTIC WHITE TRIM
- ③ WINDOWS: CLAD WOOD WINDOWS BY MARVIN OR ANDERSEN OR EQUIVALENT
COLOR: WHITE EXTERIOR
- ④ EXTERIOR LIGHT FIXTURE: TROY BECKHAM EXTERIOR SCONCE W/ 1 TO 3 LIGHTS.
COLOR: BRONZE FINISH
- ⑤ COLUMNS: SQUARE W/ ARCTIC WHITE TRIM



WEST ELEVATION

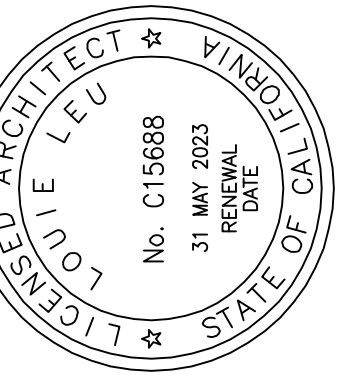
SCALE 1/4" = 1'-0"



SOUTH ELEVATION

SCALE 1/4" = 1'-0"

NOTE:
ADU IS NOT SUBJECT TO
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CAMILLERI RESIDENCE

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ADU SECTIONS & ELEVATIONS

Scale: 1/4" = 1'-0"

Date/Revisions:
MARCH 08, 2021

Sheet No:

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