

July 26, 2021

Tim Patterson  
3550 Cater Drive Apt.32  
South San Francisco, CA 94080

Dear Tim Patterson:

SUBJECT: Coastside Design Review Committee Continuance  
Cedar Avenue, Montara  
APN 036-132-210; County File No. PLN 2019-00362

At its meeting of July 8, 2021, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for a Design Review recommendation to allow the construction of a 2,450 sq. ft. two-story single-family residence with attached two-car, 480 sq. ft. garage on a legal 6,975 sq. ft. undeveloped parcel (PLN 2016-00222), associated with a staff-level Resource Management (RM) Permit, Coastal Development Permit (CDP) and a Variance to allow for 10-foot front and side setbacks, and a 12-foot rear setback, where a 50-foot front yard setback and 20-foot rear and side yard setbacks are required, due to the triangular shape of the parcel. The project includes minor grading and the proposed removal of 10 significant trees and is not appealable to the California Coastal Commission.

The CDRC was unable to make the findings for a design review approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of the Local Coastal Program and "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual is required. As such, the CDRC recommended consideration of the following items:

1. *Section 6565.20(D) ELEMENTS OF DESIGN; 1. Building Mass, Shape & Scale; c. Second Stories; Standards (a):* Locate the primary portion of the second stories toward the center of the first story and away from the property lines wherever feasible (i.e., the master bedroom above the garage).
2. *Section 6565.20(D) ELEMENTS OF DESIGN; 1. Building Mass, Shape & Scale; c. Second Stories; (2) Lowering the Eave Line; Standard:* Consider bringing some portions of the roof down to the gutter or eave line of the first story roof to reduce the apparent mass of the building. It would be suggested to add dormers to break up the roof line.
3. *Section 6565.20(D) ELEMENTS OF DESIGN; 1. Building Mass, Shape & Scale; d. Daylight Plane/Facade Articulation; Standards:* New Residential development shall conform to either daylight plane or facade articulation options...: (1) Daylight Plane Option ... as approved by the Design Review Committee (follow description in Section 6565.20(D)1(d);Standards (1))



- (2): Facade Articulation Option - Facade articulation shall be provided on all building sides and is subject to approval by the Design Review Committee. Facade articulation is intended to break up the appearance of shear walls through the placement of projecting and recessing architectural details.
4. *Section 6565.20(D) ELEMENTS OF DESIGN; 4. Exterior Materials and Colors; Standard c. Quantity:* Use a number of exterior materials and colors that is consistent with the neighborhood and architectural style of the house. Encourage the use of three or more colors, colors on larger homes to reduce the appearance of bulk by emphasizing architectural features and trim. Discourage the use of a single exterior material or color in a large unbroken surface.
  5. *Section 6565.20(E) ADDITIONAL SITE PLANNING AND DESIGN CONSIDERATIONS; Standards (1)(c):* Vary in design style ... rooflines, finish materials ... to avoid overly repetitive appearance.
  6. *Section 6565.20(F) LANDSCAPING, PAVED AREAS, GENCES, LIGHTING AND NOISE; 1. Landscaping; Standards (f):* All landscaping shall be drought-tolerant, and either native or non-invasive species.
  7. Building height should be accurately indicated, measured from average finished grade to average roofline, to be less than 28 feet. This must be demonstrated on the elevations and on a cross section through the highest point of the structure.
  8. Materials (including lighting) and colors must be shown on a rendered drawing and elevations.
  9. Note the North orientation on all drawings.
  10. Update Code dates on Sheet C1 to show 2019 vs 2016.
  11. Show Front Porch Sconce on Architectural Elevation Sheet E1, as indicated on Electrical Sheet EL1.
  12. Show Garage Door Lite on Electrical Sheet E1, as indicated on Architectural Elevation Sheet E1.
  13. All lighting must be Dark Sky Compliant.
  14. All drawings are required to be to scale.

As such, you were presented with the following available options at the end of the CDRC's deliberation of the project: (1) request for a recommendation from the CDRC on the plans presented or (2) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Please contact Kelsey Lang, Project Planner, at [klang@smcgov.org](mailto:klang@smcgov.org), if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link: <http://planning.smcgov.org/survey>.

Sincerely,

A handwritten signature in black ink, appearing to read "Ruemel Panglao". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

---

Ruemel Panglao, Design Review Officer

RSP:KGL:mda – KGLFF0733\_WMN.DOCX

TO: Kelsey Lang, Planner  
 FROM: Carolyn J. Lee, Esq., on behalf of Timothy Patterson, Owner  
 DATE: September 3, 2021  
 RE: Responses to Coastside Design Review Committee (“CDRC”) Continuance Letter dated July 26, 2021  
 Cedar Avenue, Montara  
 APN 036-132-201; County File No. PLN 2019-00362

Below please find responses to the CDRC’s letter dated July 26, 2021, along with an enclosed set of revised plans, elevations, and color renderings.

Response to Comment #1-3:

Dormers were added to break up the roofline and sheer wall where possible. The architect has stated that the roof cannot be lowered without making the proportions of the house unattractive. The façade specifically addresses views of Oceans, Hills and vistas. There are no views compromised by this building. The proposed façade is quite similar to several existing neighborhood homes (see SE 1 Neighborhood Homes) and is similar to the example provided in the Standards for Design for One-Family and Two-Family Residential Development in the Midcoast.

**FIGURE 1:** Example provided in the Standards for Design for One-Family and Two-Family Residential Development in the Midcoast

**Do This**



*This second story addition centered over the lower floor away from property lines appears less boxy.*

**Not This**



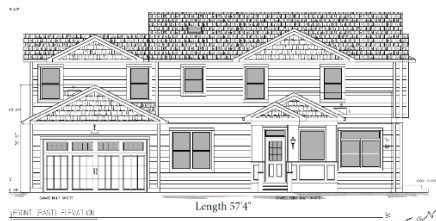
*This second story appears more boxy.*

**Not This**



*This second story located only over the garage appears out of balance.*

**FIGURE 2:** Proposed Project



Response to Comment # 4:

Done. See SE 1 Color Rendering and SE 1 attachments for elevations and material samples.

Response to Comment # 5:

Done. Roofline has additional breakups added.

Response to Comment # 6:

Done. There is no San Mateo Midcoast recommended plant list. All plants are drought resistant and noninvasive. On the Landscape Plan, a link has been added regarding invasive species. The proposed plants have been taken from the San Francisco Coastal area list which has a similar environment to the site.

Response to Comment # 7:

Done. Elevations have been checked again by the architect. All elevations are below 28 feet.

Response to Comment # 8:

Done. See SE 1 Color Rendering and SE 1 attachments for elevations and material samples.

Response to Comment # 9:

Done. North orientation has been added to all drawings.

Response to Comment # 10:

Done. Code dates on architectural plans have been updated from 2016 to 2019.

Response to Comment # 11:

Done. Front Porch Sconce has been added to all drawings.

Response to Comment # 12:

Done. Garage Door Lite is on Electrical Sheet E1.

Response to Comment # 13:

Done. All lighting is Dark Sky Compliant.

Response to Comment # 14:

Done. All drawings are to scale.



# SUBMITTAL INFORMATION

## GENERAL NOTES

STATE: CALIFORNIA  
 CODES: 2019 CALIFORNIA RESIDENTIAL BLDG. CODE  
 2019 CALIFORNIA MECHANICAL CODE  
 2019 CALIFORNIA PLUMBING CODE  
 2019 CALIFORNIA ELECTRIC CODE  
 2019 CALIFORNIA ENERGY CODE (TITLE 24)  
 2019 CALIFORNIA GREEN BUILDING STDS. CODE

## DESIGN CRITERIA

BUILDING TYPE: R-3  
 OCCUPANCY CATAGORY: II  
 SEISMIC DESIGN CATAGORY: E  
 CONSTRUCTION TYPE: 5B SPRINKLER PROTECTED

## GRAVITY LOAD PARAMETERS

|             | LIVE   | DEAD   | SNOW | TOTAL  |
|-------------|--------|--------|------|--------|
| ROOF LOAD:  | 20 PSF | 15 PSF |      | 35 PSF |
| FLOOR LOAD: | 40 PSF | 15 PSF |      | 55 PSF |
| WALL (INT): |        | 10 PSF |      | 10 PSF |
| WALL (EXT): |        | 15 PSF |      | 15 PSF |

WIND DESIGN SPEED: 110 MPH (EXPOSURE C)

ROOF PITCH: 6/12

NOTE: BUILDING IS FIRE SPRINKLERED AND THE INSPECTIONS BY THE AHJ OF THE SPRINKLER SYSTEM INCLUDING A ROUGH INSPECTION AT FRAME INSPECTION AND A FINAL INSPECTION SHALL BE COMPLETED AND APPROVED PRIOR TO REQUESTING THE CORRESPONDING BUILDING INSPECTION.

## SUBMITTAL DWG. INDEX

- C1 - COVER PAGE
- E1 - ELEVATIONS
- E2 - ELEVATIONS
- A1 - MAIN FLOOR FLOORPLAN
- A2 - UPPER FLOOR FLOORPLAN
- EL1 - MAIN FLOOR ELECTRIC LAYOUT
- EL2 - UPPER FLOOR ELECTRIC LAYOUT
- P1 - DWV/PLUMB SUPPLY SCHEMATICS
- SE1 - SECTIONS AND DETAILS

SUBMITTAL SPRINKLER INDEX  
 SUPPLIED BY PLANT

SUBMITTAL HVAC INDEX  
 SUPPLIED BY PLANT

SUBMITTAL TITLE 24 INDEX  
 SUPPLIED BY PLANT



## CALIFORNIA (WILDLAND-URBAN INTERFACE)

HOME WILL BE PLACED IN FIRE HAZARD SEVERITY ZONE  
 SEE CBC NOTES FROM CHAPTER 7A ON PAGE SE1

THIS HOME AND ALL ITS ENTIRETY SHALL BE BUILT TO THE HCD REQUIREMENTS OF THE FACTORY-BUILT HOUSING PROGRAM IN THE FACTORY AND ON-SITE

STATE AND THIRD PARTY LABELS ON PAGE A1 & A2

## SUBMITTAL STRUCTURAL INDEX

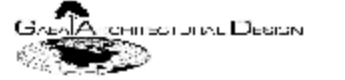
- ANY DEVIATIONS BY THE THIRD PARTY INSPECTOR TO THE SUBMITTED PLAN SET SHALL INCLUDE THE CORRESPONDING CODE REFERENCE IN THE WRITTEN DEVIATION.

- HCD GIVES AUTHORITY TO THE APPROVED THIRD PARTY INSPECTOR AND THE STATE OF CALIFORNIA INSPECTOR TO HAVE JURISDICTION OVER PLAN APPROVAL AND PLAN INSPECTORS. STATE STAMPED PLANS ARE FINAL AND CANNOT BE SUBJECT TO CHANGE BY LOCAL OR OTHER AGENCIES.

- PURSUANT TO SECTION 19981 (c) OF THE HEALTH & SAFETY CODE, NO FACTORY-BUILT HOUSING SHALL BE IN ANY WAY MODIFIED DURING INSTALLATION UNLESS APPROVED.

MANUFACTURER:

SUBMITTAL CONSULTANT:  
 GH DESIGN  
 POWER HOUSE DESIGN GROUP  
 6808 DEVON DRIVE  
 LIBERTY TOWNSHIP, OH 45044  
 (513) 444.0519



PROJECT NAME:  
 NEW MODULAR CONSTRUCTION  
 TIM PATTERSON  
 CEDAR STREET  
 MONTARA, CA  
 036-132-210

DRAWN BY: LCL

DATE: 4.27.17

SCALE: 1/4" = 1'-0"

REVISIONS:

| NO: | DATE:   | DESCRIPTION: |
|-----|---------|--------------|
| 1.  | 7.31.17 | REDLINES     |
| 2.  | 7.27.21 | CODE UPDATE  |
|     |         |              |
|     |         |              |

APPROVAL STAMPS:

SHEET TITLE

COVER PAGE

DRAWING NUMBER

C1

MANUFACTURER:

SUBMITTAL CONSULTANT:  
GH DESIGN  
POWER HOUSE DESIGN GROUP  
6608 DEVON DRIVE  
LIBERTY TOWNSHIP, OH 45044  
(513) 444.0519



PROJECT NAME:  
NEW MODULAR CONSTRUCTION  
TIM PATTERSON  
CEDAR STREET  
MONTARA, CA  
036-132-210

DRAWN BY: LQL

DATE: 5.19.17

SCALE: 1/4" = 1'-0"

REVISIONS:

| NO: | DATE:   | DESCRIPTION: |
|-----|---------|--------------|
| 1.  | 3.7.18  | WINDOWS      |
| 2.  | 7.27.21 | UPDATE       |

APPROVAL STAMPS:

SHEET TITLE

ELEVATIONS

DRAWING NUMBER

E1



BENCHMARK FROM PAGE C1 - BENCHMARK 221'-8 1/4"

FRONT (EAST) ELEVATION



BENCHMARK FROM PAGE C1 - BENCHMARK 221'-8 1/4"

RIGHT (NORTH) ELEVATION

ELEVATION NOTES:

IF APPLICABLE, HANDICAP RAMPS, STAIRS, AND HANDRAILS ARE SITE INSTALLED, DESIGNED BY OTHERS AND SUBJECT TO LOCAL CODES. THIS STRUCTURE IS A MODULAR (FACTORY BUILT) BUILDING WHICH IS TO BE CONSTRUCTED AND INSPECTED IN ACCORDANCE WITH AN APPROVED THIRD PARTY QUALITY ASSURANCE PROGRAM TO INSURE COMPLIANCE WITH THE REFERENCED CODES.

ALL ROOFING, VENTILATION, SOFFIT, EAVES AND DECKING THAT WILL BE SITE INSTALLED WILL MEET ALL FIRE RATING REQUIREMENTS.

HDD GIVES AUTHORITY TO THE APPROVED THIRD PARTY INSPECTOR TO HAVE JURISDICTION OVER PLAN APPROVALS AND PLAN INSPECTORS. THIRD PARTY STAMPED PLANS ARE FINAL AND CANNOT BE SUBJECT TO CHANGE BY OTHER AGENCIES.

EXTERIOR MATERIAL

|                           |                           |
|---------------------------|---------------------------|
| ROOF TILES:               | COMPOSITION SHINGLE       |
| EXTERIOR SIDING MATERIAL: | HARDI LAP. SHAKE IN EAVES |



TOP OF PEAK = 27'-8 7/8" BENCHMARK = 253'-8 3/8"  
 7'-6 1/8"  
 TOP WALL = 20'-2 3/4"  
 HEADER HEIGHT = 19'-2 3/4"  
 8'-0"  
 7'-0"  
 TOP 2ND FLOOR = 12'-2 3/4" BENCHMARK = 238'-2 3/4"  
 1'-7 1/4"  
 TOP WALL = 10'-7 1/2"  
 HEADER HEIGHT = 9'-7 1/2"  
 9'-0"  
 8'-0"  
 TOP FLOOR = 1'-7 1/2" - BENCHMARK 227'-7 1/2"  
 1 1/2"  
 1 1/2" SILL  
 TOP CONCRETE = 0'-8" - BENCHMARK 226'-8"  
 GARAGE FLOOR CONCRETE = 0'-0" - BENCHMARK 226'  
 (8" CONCRETE ABOVE GRADE)



REAR (WEST) ELEVATION

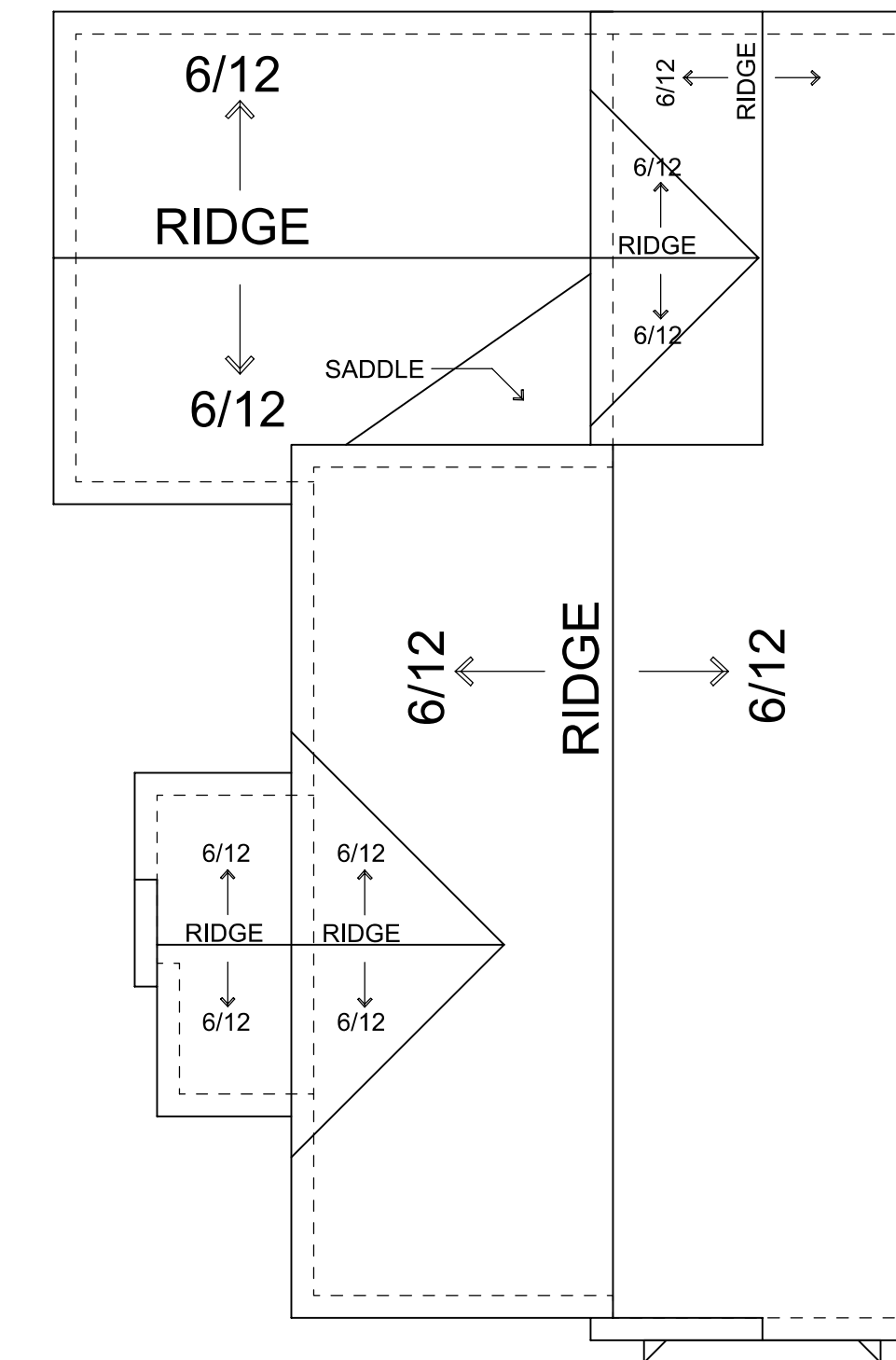
BENCHMARK FROM PAGE C1 - BENCHMARK 221'-8 1/4"

TOP OF PEAK = 27'-8 7/8" BENCHMARK = 253'-8 3/8"  
 7'-6 1/8"  
 TOP WALL = 20'-2 3/4"  
 HEADER HEIGHT = 19'-2 3/4"  
 8'-0"  
 7'-0"  
 TOP 2ND FLOOR = 12'-2 3/4" BENCHMARK = 238'-2 3/4"  
 1'-7 1/4"  
 TOP WALL = 10'-7 1/2"  
 HEADER HEIGHT = 9'-7 1/2"  
 9'-0"  
 8'-0"  
 TOP FLOOR = 1'-7 1/2" - BENCHMARK 227'-7 1/2"  
 1 1/2"  
 1 1/2" SILL  
 TOP CONCRETE = 0'-8" - BENCHMARK 226'-8"  
 GARAGE FLOOR CONCRETE = 0'-0" - BENCHMARK 226'  
 (8" CONCRETE ABOVE GRADE)



REAR (SOUTH) ELEVATION

BENCHMARK FROM PAGE C1 - BENCHMARK 221'-8 1/4"



ROOF OVERHEAD

1/8" = 1'-0"

MANUFACTURER:

SUBMITTAL CONSULTANT:  
 GH DESIGN  
 POWER HOUSE DESIGN GROUP  
 6608 DEVON DRIVE  
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 (513) 444.0519



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 TIM PATTERSON  
 CEDAR STREET  
 MONTARA, CA  
 036-132-210

DRAWN BY: LCL

DATE: 5.19.17

SCALE: 1/4" = 1'-0"

REVISIONS:

| NO: | DATE:   | DESCRIPTION: |
|-----|---------|--------------|
| 1.  | 3.7.18  | WINDOWS      |
| 2.  | 7.27.21 | DORMERS      |

APPROVAL STAMPS:

SHEET TITLE



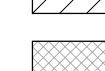
ELEVATIONS

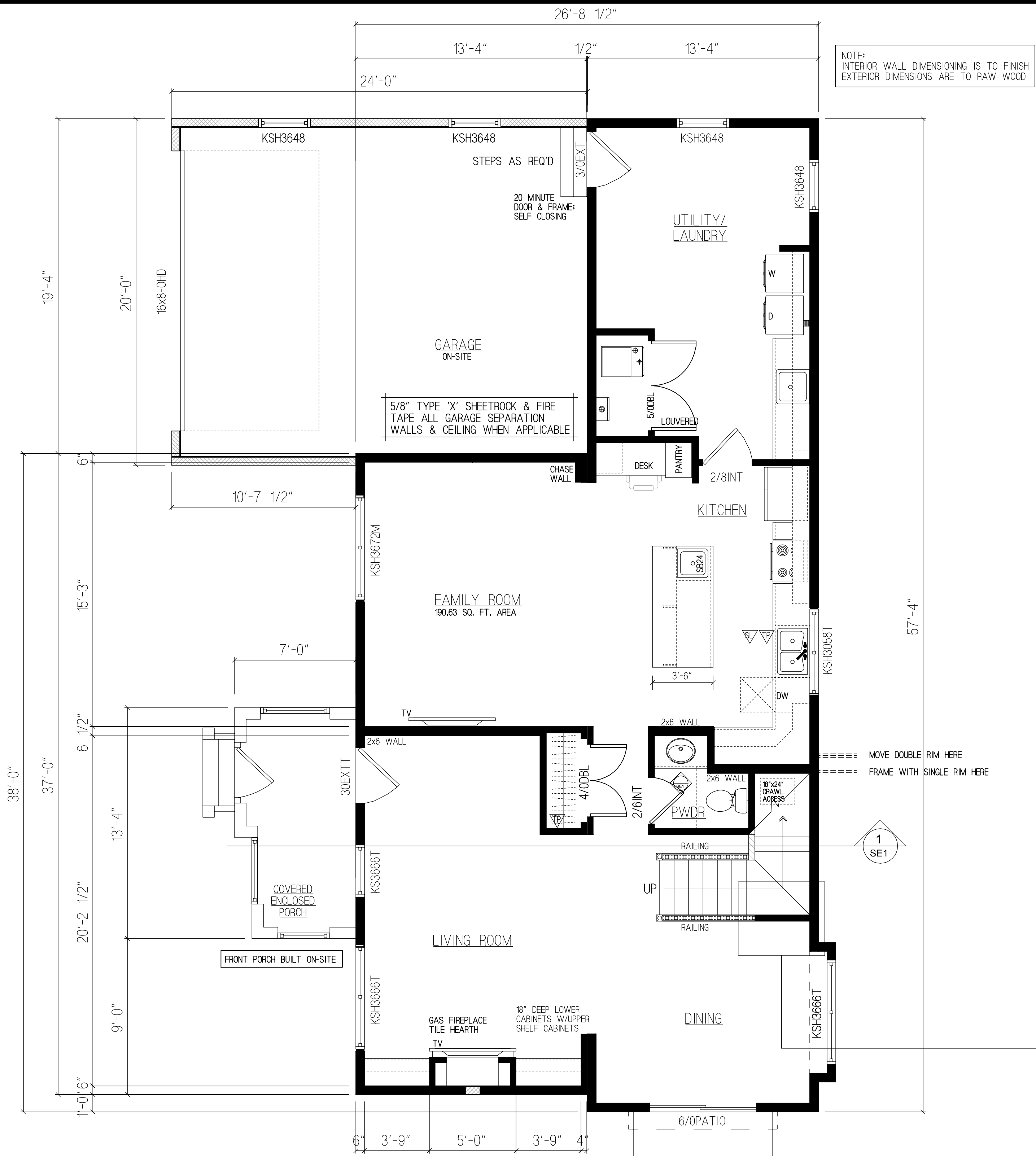
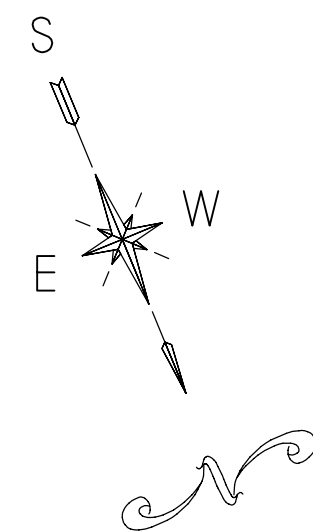
DRAWING NUMBER

E2

**GENERAL NOTES:**

- LABELS PER PRINT.
- THE SUPPORT AND FIRE STOPPING FOR FLUES AND DUCTS FOR SITE INSTALLED HEATING SYSTEMS, WATER HEATERS, FIREPLACES, ETC. SHALL BE INSTALLED BY OTHERS.
- THIS HOME MAY BE BUILT PARTIALLY OR COMPLETELY REVERSED.
- ALL HALLWAYS ARE 36" MIN. IN WIDTH.
- FURNACE, WATER HEATER, AND VENTS MAY BE SITE INSTALLED. (COMBUSTION AIR & FRESH AIR TO BE SUPPLIED ON SITE BY OTHERS.
- ALL FIREPLACES TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND BE PROVIDED WITH GLASS DOORS.
- ALL HOSE BIBS AND LAWN SPRINKLER SYSTEMS SHALL HAVE BACKFLOW PREVENTION DEVICES.
- ALL SHOWER AND BATHTUB SLIDING OR SWINGING DOORS SHALL BE TEMPERED.
- PROVIDE OUTSIDE COMBUSTION AIR AT EXTERIOR WALL AT ALL FIREPLACES.
- BATHTUB AND SHOWER FLOORS AND WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE UP TO A HEIGHT OF 6'-0" ABOVE THE FLOOR PER CRC 307.2.
- EXTERIOR LIGHTS MAY BE SHIPPED LOOSE FOR ON-SITE INSTALLATION BY OTHERS.
- SIDING FOR ENDS IS SHIPPED LOOSE FOR ON-SITE INSTALLATION BY OTHERS.
- BOTTOM ROW OF SIDING MAY BE SHIPPED LOOSE FOR ON-SITE INSTALLATION BY OTHERS.
- SMOKE ALARMS/DETECTORS SHALL BE HARDWIRED INTERCONNECTED, AND HAVE BATTERY BACK-UP.


-  = FACTORY BUILT WOOD FRAMED WALLS (TYP.)
-  = 1/2-WALLS
-  = SITE BUILT WALLS




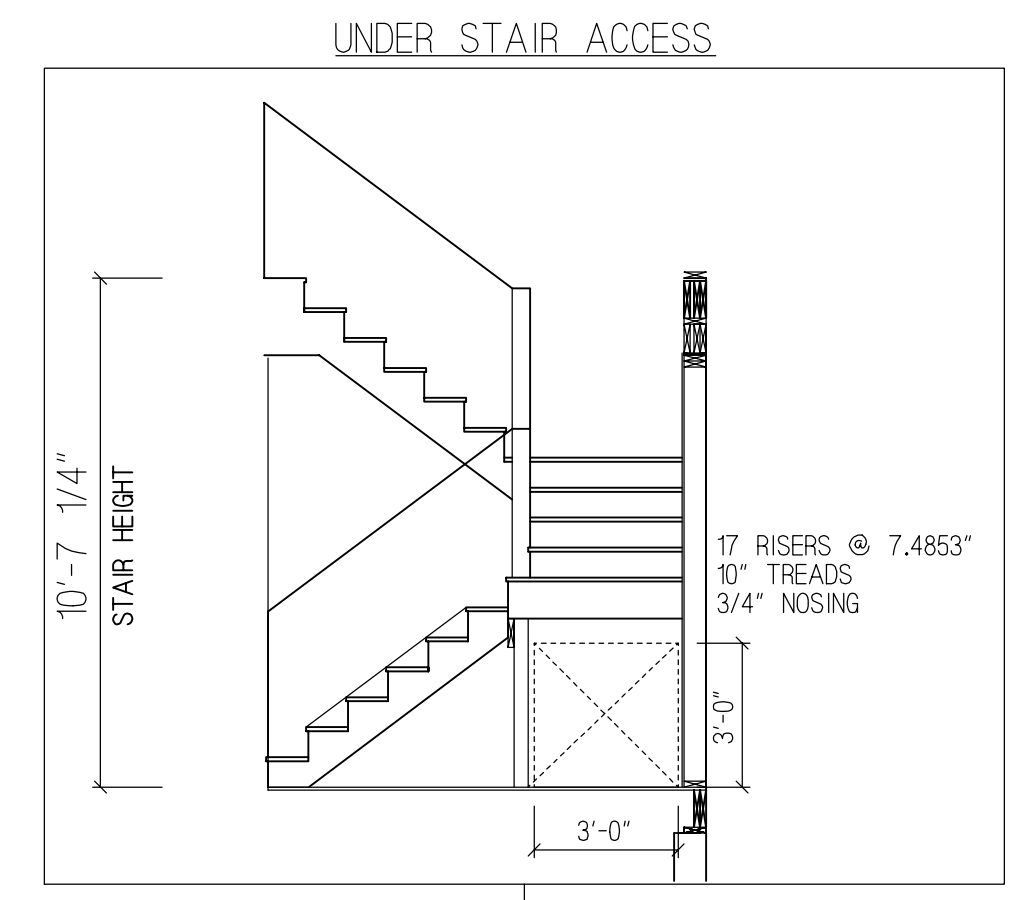
NOTE:  
INTERIOR WALL DIMENSIONING IS TO FINISH  
EXTERIOR DIMENSIONS ARE TO RAW WOOD

FLOOR: 13'-4" X 37'-0"  
13'-4" X 57'-4"

2X10 FLOOR SYS. STD.  
9'-0" CL.G. HGT. 1ST FLOOR  
8'-0" CL.G. HGT. 2ND FLOOR

 THIRD PARTY INSPECTOR INSIGNIA

 STATE LABEL



**MAIN LEVEL PLAN**

1,259.32 MAIN FLOOR SQ. FT. LIVING AREA  
1,191.39 UPPER FLOOR SQ. FT. LIVING AREA  
2,450.71 TOTAL SQ. FT. LIVING AREA  
87.5 SQ. FT. FRONT PORCH  
471 SQ. FT. GARAGE


| ROUGH OPENING SCHEDULE |               |      |           |            |               |   |
|------------------------|---------------|------|-----------|------------|---------------|---|
| NAME                   | TYPE          | QTY. | WIDTH     | HEIGHT     | HEADER HEIGHT | DESCRIPTION                             |
| 6/OPATIO               | EXTERIOR DOOR | 1    | 6'-2"     | 6'-10"     | 6'-10"        | 6'-0 STANDARD SLIDING PATIO             |
| 16x8-OHD               | EXTERIOR DOOR | 1    | 16'-2"    | 8'-2"      | 8'-2"         | 16' X 8' OVERHEAD DOOR (GARAGE)         |
| 3/0EXT                 | EXTERIOR DOOR | 2    | 3'-2 1/2" | 6'-11 1/4" | 6'-11 1/4"    | 3-0 EXTERIOR DOOR                       |
| 3/0EXT                 | EXTERIOR DOOR | 1    | 3'-2 1/2" | 6'-11 1/4" | 6'-11 1/4"    | 3-0 EXTERIOR DOOR (GARAGE)              |
| 3/0EXT                 | EXTERIOR DOOR | 1    | 3'-2 1/2" | 8'-3"      | 8'-3"         | 3'-0 EXTERIOR DOOR W/TRANSOM            |
| 2/6INT                 | INTERIOR DOOR | 1    | 2'-8"     | 6'-10 1/2" | 6'-10 1/2"    | 2'-6" INTERIOR SWINGING DOOR            |
| 2/8INT                 | INTERIOR DOOR | 1    | 2'-10"    | 6'-10 1/2" | 6'-10 1/2"    | 2'-8" INTERIOR SWINGING DOOR            |
| 4/0DBL                 | INTERIOR DOOR | 1    | 4'-2"     | 6'-11"     | 6'-11"        | 4'-0" INTERIOR DOUBLE DOOR              |
| 5/0DBL                 | INTERIOR DOOR | 1    | 5'-2"     | 6'-10 1/2" | 6'-10 1/2"    | 5'-0" INTERIOR DOUBLE DOOR              |
| KSH3648                | WINDOW        | 2    | 3'-1/2"   | 4'-1/4"    | 6'-8"         | KINRO SINGLE HUNG                       |
| KSH3648                | WINDOW        | 2    | 3'-1/2"   | 4'-1/4"    | 6'-8"         | KINRO SINGLE HUNG (GARAGE)              |
| KS3666T                | WINDOW        | 1    | 3'-1/2"   | 5'-6 1/2"  | 8'-3 1/2"     | KINRO SINGLE HUNG WINDOW W/TRANSOM      |
| KSH3058T               | WINDOW        | 1    | 5'-1/2"   | 4'-10 1/2" | 8'-3 1/2"     | KINRO SINGLE HUNG MULL WINDOW W/TRANSOM |
| KSH3666T               | WINDOW        | 2    | 6'-1/2"   | 5'-6 1/2"  | 8'-3 1/2"     | KINRO SINGLE HUNG MULL WINDOW W/TRANSOM |
| KSH3672M               | WINDOW        | 1    | 6'-1/2"   | 6'-1/2"    | 8'-0"         | KINRO SINGLE HUNG MULL WINDOW           |

ROUGH OPENING SIZES ARE LISTED ON SCHEDULE  
ALL EXTERIOR DOORS TO GARAGE WILL BE FACTORY LABELED FOR A MIN. 20 MIN. FIRE RATING  
ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ. FT., 5'-0" SQ. FT. ALLOWABLE AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH SHALL BE 20 INCHES. FINISH SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR OR LESS THAN 18" ABOVE FINISHED FLOOR (UNLESS TEMPERED).  
ADDITIONAL REQUIREMENTS MAY BE NEEDED IF WINDOWS ARE INSTALLED IN CERTAIN WUIC AREAS.

MANUFACTURER:

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SUBMITTAL CONSULTANT:  
GH DESIGN  
POWER HOUSE DESIGN GROUP  
6608 DEVON DRIVE  
LIBERTY TOWNSHIP, OH 45044  
(513) 444.0519



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PROJECT NAME:  
NEW MODULAR CONSTRUCTION  
TIM PATTERSON  
CEDAR STREET  
MONTARA, CA  
036-132-210

---

DRAWN BY: LQL  
DATE: 7.27.17  
SCALE: 1/4" = 1'-0"

REVISIONS:

| NO: | DATE:   | DESCRIPTION: |
|-----|---------|--------------|
| 1.  | 5.5.17  | REDLINES     |
| 2.  | 5.16.17 | REDLINES     |
| 3.  | 7.31.17 | REDLINES     |
| 4.  | 3.7.18  | REDLINES     |
| 5.  | 8.11.21 | REDLINES     |

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APPROVAL STAMPS:

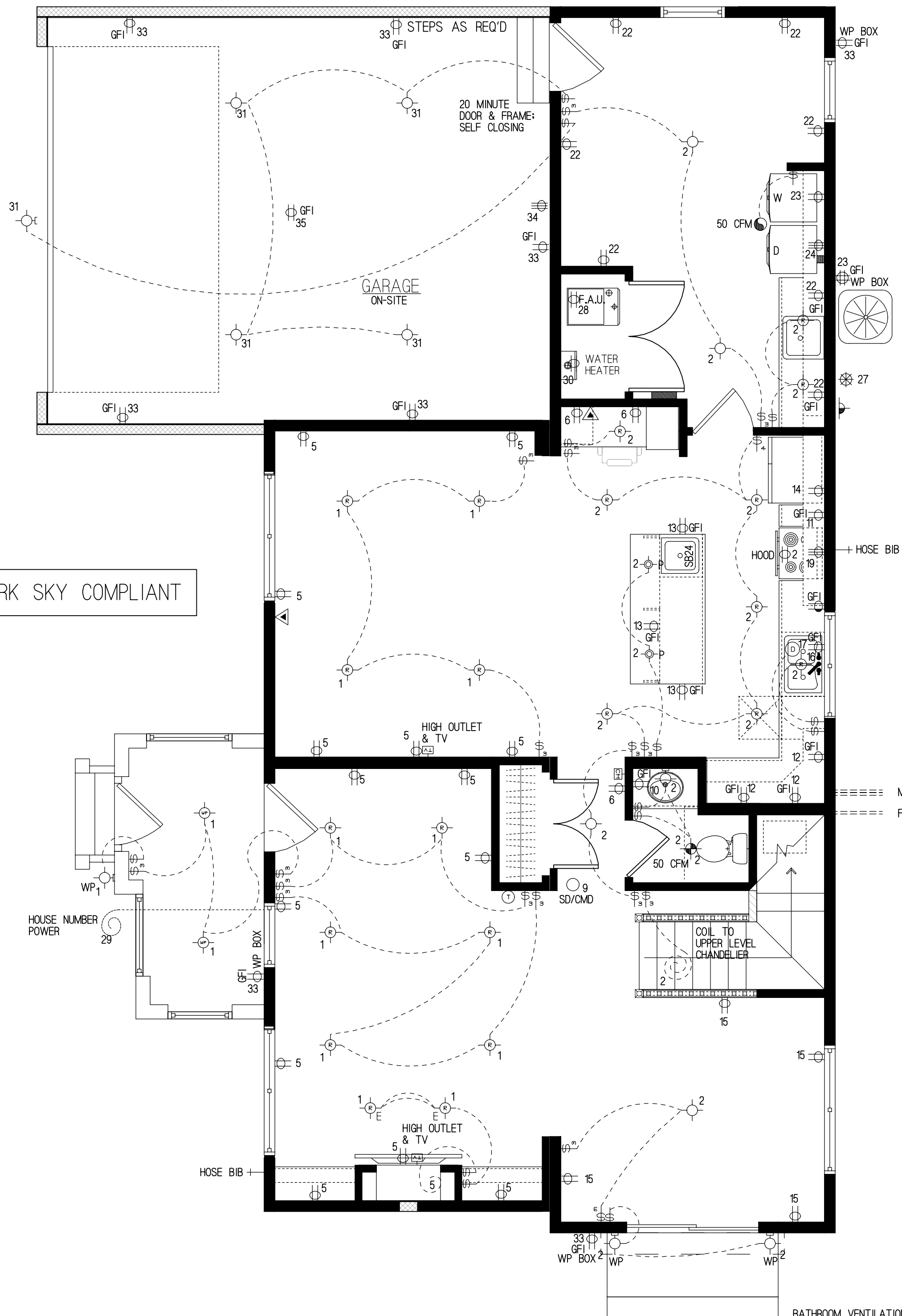
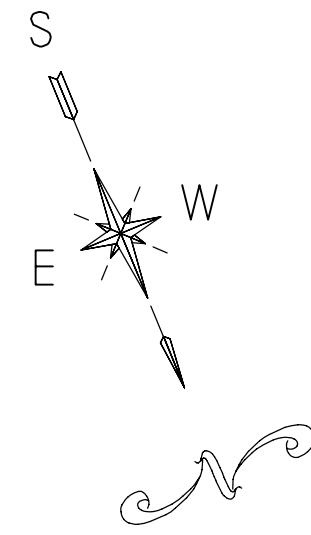
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SHEET TITLE  
MAIN FLOOR  
FLOORPLAN

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DRAWING NUMBER  
A1





ALL LIGHTING MUST BE DARK SKY COMPLIANT

**CEC ELECTRICAL NOTES:**

4.08.4.1 NEW ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES WITH ATTACHED PRIVATE GARAGES, FOR EACH DWELLING UNIT INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 NOMINAL 1-INCH INSIDE DIAMETER. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENDS, UNLESS ACCESSIBLE OR CONCEALED AREAS AND SPACES. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACES RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.

4.08.4.1.1 IDENTIFICATION, THE SERVICE PANEL OR SUBPANEL DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACES RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".

ALL CONDUCTORS AND CABLES MUST BE PROPERLY TERMINATED IN APPROVED BOXES BEFORE CONNECTING THE CIRCUIT TO THE BREAKER AND BEFORE RECEIVING FINAL INSPECTION APPROVAL IN THE FACTORY. NEC300.5

ALL 15 & 20 AMP RECEPTACLES TO BE TAMPER RESISTANT. NEC 210.52

ALL 15 AND 20 AMP BRANCH CIRCUITS IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SLEEPING PORCHES, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS SHALL BE AFCI PROTECTED. NEC 210.12(B)

A MINIMUM OF 50% OF THE KITCHEN LIGHTING IS REQUIRED TO BE HIGH EFFICIENCY. DINING ROOMS AND NOOKS ARE CONSIDERED PART OF THE KITCHEN AREA) 50.0 IK3

A MINIMUM OF ONE HIGH EFFICIENCY LUMINAIRE SHALL BE INSTALLED IN EACH BATHROOM, AND ALL OTHER LIGHTING INSTALLED IN EACH BATHROOM SHALL BE HIGH EFFICIENCY OR CONTROLLED BY VACANCY SENSORS. 50.0 IK6

LIGHTING INSTALLED IN ATTACHED AND DETACHED GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS SHALL BE HIGH EFFICIENCY LUMINAIRES AND CONTROLLED BY VACANCY SENSORS. 50.0 IK6

ALL OTHER ROOMS (OTHER THAN KITCHENS, BATHROOMS, GARAGES, AND UTILITY ROOMS) SHALL BE HIGH EFFICIENCY LIGHTING OR CONTROLLED BY DIMMERS OR VACANCY SENSORS. 50.0 IK7

OUTDOOR LIGHTING SHALL BE HIGH EFFICIENCY.

BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT WITH HUMIDISTAT CONTROLS.

| ELECTRICAL LEGEND |   |
|-------------------|---|
|                   | SWITCH  |
|                   | 3-WAY SWITCH                                  |
|                   | 4-WAY SWITCH                                  |
|                   | CEILING LIGHT                                 |
|                   | RECESSED LIGHT                                |
|                   | REC. EYE LIGHT                                |
|                   | WALL LIGHT                                    |
|                   | BATH FAN                                      |
|                   | BATH FANLIGHT                                 |
|                   | 10V OUTLET                                    |
|                   | 220V OUTLET                                   |
|                   | 10V SWITCHED OUTLET                           |
|                   | TELEVISION                                    |
|                   | TELEPHONE                                     |
|                   | SMOKE DETECTOR                                |
|                   | SMOKE DETECTOR/CARBON MONOXIDE DETECTOR COMBO |
|                   | THERMOSTAT                                    |
|                   | GARbage DISPOSAL                              |
|                   | CEILING FANLIGHT                              |
|                   | ELECTRIC PANEL                                |
|                   | CHIMES  |
|                   | CARBON MONOXIDE DETECTOR                      |
|                   | GFI   |
|                   | WEATHER PROOF                                 |
|                   | CAT 5 PORT/TV COMBO                           |
|                   | AC DISCONNECT                                 |
|                   | PUCK LIGHT UNDER KITCHEN CABINET              |
|                   | PENDULUM LIGHT                                |
|                   | JUNCTION BOX                                  |

MANUFACTURER:

SUBMITTAL CONSULTANT:  
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PROJECT NAME:  
NEW MODULAR CONSTRUCTION  
TIM PATTERSON  
CEDAR STREET  
MONTARA, CA  
036-132-210

DRAWN BY: LCL

DATE: 5.23.17

SCALE: NONE

REVISIONS:

| NO. | DATE:   | DESCRIPTION: |
|-----|---------|--------------|
| 1.  | 3.7.18  | REDLINES     |
| 2.  | 7.27.21 | GARAGE LIGHT |

APPROVAL STAMPS:

| ELECTRIC CIRCUIT SCHEDULE |            |                     |         |                      |            |      | 200 AMP |
|---------------------------|------------|---------------------|---------|----------------------|------------|------|---------|
| AMPS                      | WIRE-CU    | DESCRIPTION         | CIRCUIT | DESCRIPTION          | WIRE-CU    | AMPS |         |
| 15                        | NM 14-2/WG | MAIN LIGHTING       | 1       | MAIN LIGHTING        | NM 14-2/WG | 15   |         |
| 15                        | NM 14-2/WG | UPPER LIGHTING      | 3       | UPPER LIGHTING       | NM 14-2/WG | 15   |         |
| 15                        | NM 14-2/WG | MAIN RECPTS.        | 5       | MAIN RECPTS.         | NM 14-2/WG | 15   |         |
| 15                        | NM 14-2/WG | UPPER RECPTS.       | 7       | UPPER RECPTS.        | NM 14-2/WG | 15   |         |
| 15                        | NM 14-2/WG | SMOKE DETECTORS/CMD | 9       | BATH GFIS            | NM 12-2/WG | 20   |         |
| 20                        | NM 12-2/WG | KITCHEN APPLIANCE   | 11      | KITCHEN APPLIANCE    | NM 12-2/WG | 20   |         |
| 20                        | NM 12-2/WG | KITCHEN APPLIANCE   | 13      | REFRIGERATOR         | NM 12-2/WG | 20   |         |
| 20                        | NM 12-2/WG | DINING ROOM         | 15      | DISHWASHER           | NM 12-2/WG | 20   |         |
| 20                        | NM 12-2/WG | DISPOSAL            | 17      | EXTRA                |            |      |         |
| 40                        | NM 8-3/WG  | ELECTRIC RANGE      | 19      | EXTRA                |            |      |         |
| "                         | "          | "                   | 21      | LAUNDRY ROOM         | NM 12-2/WG | 20   |         |
| 40                        | NM 8-2/WG  | AC DISCONNECT       | 23      | ELECTRIC DRYER       | NM 10-3/WG | 30   |         |
| "                         | "          | "                   | 25      | "                    | "          | "    |         |
| 15                        | NM 14-2/WG | SPRINKLER POWER     | 27      | GAS FAU              | NM 12-2/WG | 20   |         |
| 20                        | NM 12-2/WG | OPT. EXT. POWER     | 29      | GAS WATER HEATER     | NM 12-2/WG | 20   |         |
| 15                        | NM 14-2/WG | GARAGE LIGHTING     | 31      | CRAWLSPACE           | NM 14-2/WG | 15   |         |
| 20                        | NM 12-2/WG | GARAGE RECPTS.      | 33      | ELECTRIC CAR CHARGER | NM 8-3/WG  | 40   |         |
| 15                        | NM 14-2/WG | GARAGE DOOR OPENER  | 35      | "                    | "          | "    |         |
| "                         | "          | "                   | 37      | "                    | "          | "    |         |
| "                         | "          | "                   | 39      | "                    | "          | "    |         |

MAIN LEVEL ELECTRIC PLAN

NOTE: ALL GAS LINES TO BE DESIGNED, APPROVED, AND INSTALLED ON-SITE BY OTHERS TO ALL LOCAL AND ADOPTED CODES.

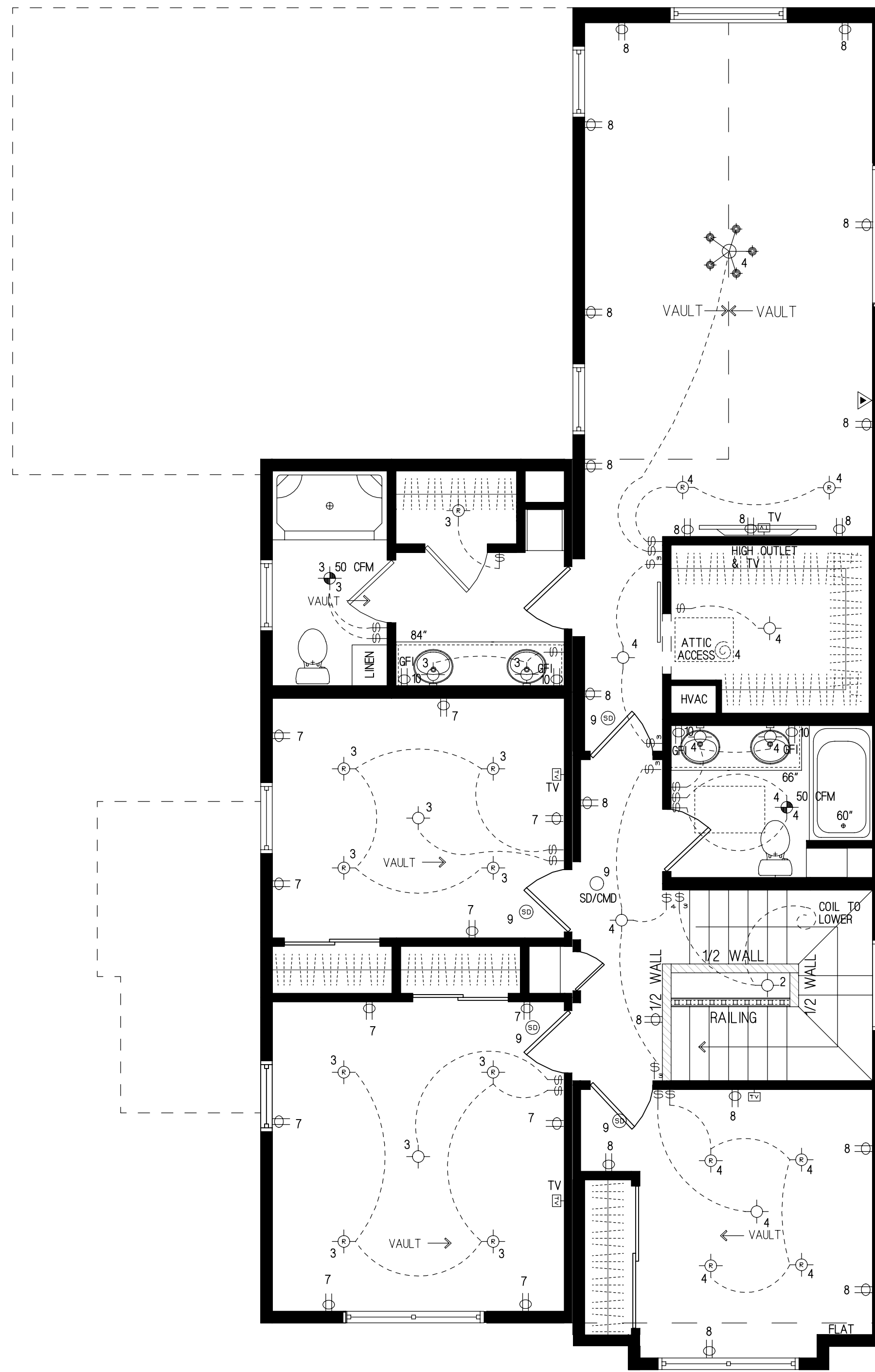
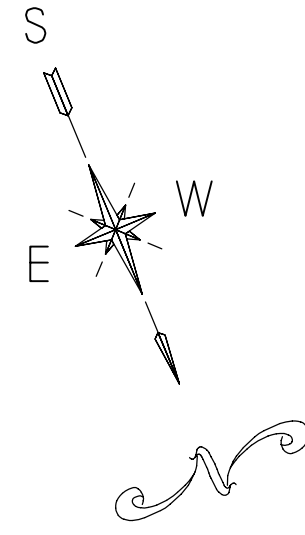
BATHROOM VENTILATION REQUIREMENTS:  
A) MINIMUM VENTILATION RATE OF 50 CFM  
B) MINIMUM DUCT DIAMETER 4" (INCHES)  
C) MAXIMUM ALLOWABLE DUCT LENGTH (FT) ACCORDING TO TABLE 7.1  
D) PROVIDE MAKE AND MODEL OF EXHAUST FAN TO MEET THE STANDARDS.

WHOLE BUILDING VENTILATION REQUIREMENTS:  
A) THE EXHAUST FAN WILL BE RATED FOR SOUND AT A MAXIMUM OF 1 SONE.  
B) OPERATIONAL SWITCH MUST BE LABELED TO INFORM THE OCCUPANT THAT THE FAN WILL RUN CONTINUALLY.  
C) PROVIDE THE LOCATION OF THE WHOLE BUILDING VENTILATION EXHAUST FAN AND SWITCH.

| LOAD CALCULATIONS                       |                        |
|---|------------------------|
| 2450 SQ. FT. @ 3 WATTS/SQ. FT.          | 7.3 KW                 |
| 3 - 20 AMP APPL. CIRCUITS               | 5.1 KW                 |
| LAUNDRY CIRCUIT                         | 1.5 KW                 |
| ELECTRIC RANGE CIRCUIT                  | 4.0 KW                 |
| ELECTRIC DRYER CIRCUIT                  | 5.0 KW                 |
| STD. ELECTRIC WATER HEATER              | 5.5 KW                 |
| DISHWASHER                              | 2.0 KW                 |
| DISPOSAL                                | .8 KW                  |
| TOTAL                                   | 31.2 KW                |
| 10 KW @ 100% REMAINDER 40% ASSUMED HVAC | 10.0<br>10.22<br>20.00 |
| TOTAL LOAD                              | 38.70                  |
| 38700 W/240 V.=161.25 AMPERES           |                        |
| 200 AMP SERVICE STANDARD                |                        |

SHEET TITLE  
FIRST FLOOR  
ELECTRIC PLAN

DRAWING NUMBER  
EL1



| ELECTRICAL LEGEND |   |
|-------------------|---|
| [Symbol]          | SWITCH  |
| [Symbol]          | 3-WAY SWITCH                                  |
| [Symbol]          | 4-WAY SWITCH                                  |
| [Symbol]          | CEILING LIGHT                                 |
| [Symbol]          | RECESSED LIGHT                                |
| [Symbol]          | REC. EYE LIGHT                                |
| [Symbol]          | WALL LIGHT                                    |
| [Symbol]          | BATH FAN                                      |
| [Symbol]          | BATH FANLIGHT                                 |
| [Symbol]          | 120V OUTLET                                   |
| [Symbol]          | 220V OUTLET                                   |
| [Symbol]          | 120V SWITCHED OUTLET                          |
| [Symbol]          | TELEVISION                                    |
| [Symbol]          | TELEPHONE                                     |
| [Symbol]          | SMOKE DETECTOR                                |
| [Symbol]          | SMOKE DETECTOR/CARBON MONOXIDE DETECTOR COMBO |
| [Symbol]          | THERMOSTAT                                    |
| [Symbol]          | GARAGE DISPOSAL                               |
| [Symbol]          | CEILING FANLIGHT                              |
| [Symbol]          | ELECTRIC PANEL                                |
| [Symbol]          | CARBON MONOXIDE DETECTOR                      |
| [Symbol]          | CHIMES  |
| [Symbol]          | GFI   |
| [Symbol]          | WEATHER PROOF                                 |
| [Symbol]          | CAT 5 PORT/TV COMBO                           |
| [Symbol]          | AC DISCONNECT                                 |
| [Symbol]          | PUCK LIGHT (UNDER KITCHEN CABINET)            |
| [Symbol]          | PENDULUM LIGHT                                |
| [Symbol]          | JUNCTION BOX                                  |

MANUFACTURER:

SUBMITTAL CONSULTANT:  
 GAEA DESIGN  
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PROJECT NAME:  
 NEW MODULAR CONSTRUCTION  
 TIM PATTERSON  
 CEDAR STREET  
 MONTARA, CA

DRAWN BY: LCL

DATE: 7.16.15

SCALE: 1/4" = 1'-0"

REVISIONS:

| NO: | DATE: | DESCRIPTION: |
|-----|-------|--------------|
| 1.  |       |              |
|     |       |              |
|     |       |              |
|     |       |              |
|     |       |              |
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|     |       |              |

APPROVAL STAMPS:

ELECTRICAL NOTES:

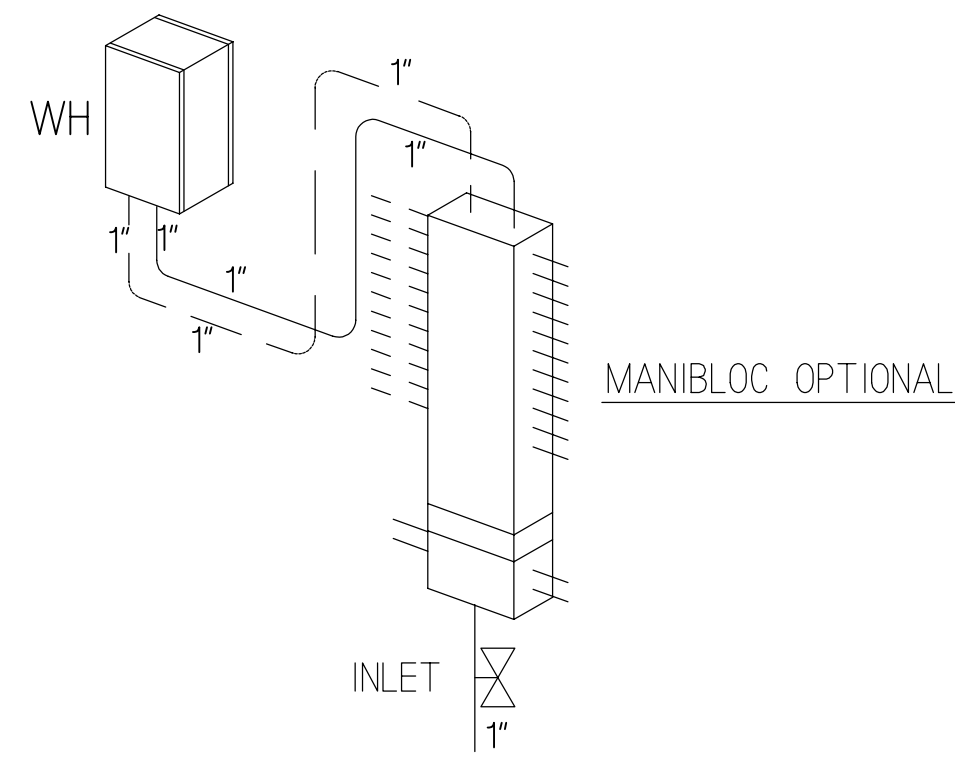
- ALL CONDUCTORS WILL BE COPPER.
- RECEPTACLE OUTLET SPACING CONFORMS TO 2016 CA. ELEC. CODE.
- ALL RECEPTACLES PLACED IN CRAWL SPACE WILL BE GFCI.
- SMOKE DETECTORS SHALL BE WIRED SO THAT ACTUATION OF ONE ALARM WILL ACTUATE ALL SMOKE DETECTOR ALARMS IN THE HOME. \*IN MODELS WITH A BASEMENT, A JUNCTION BOX WILL BE INSTALLED UNDER THE FLOOR AND A SMOKE DETECTOR WILL BE SHIPPED LOOSE FOR SITE INSTALLATION.
- CEILING LIGHTS MAY BE REPLACED WITH CEILING FANLIGHT COMBINATIONS IF THEY ARE INSTALLED PER MANUFACTURERS INSTRUCTIONS AND CODE REQUIREMENTS.
- LIGHTING FIXTURES INSTALLED IN CLOSETS WILL BE IN ACCORDANCE WITH THE 2013 CA. ELEC. CODE.
- \*LIGHTS AND ELECTRICAL CIRCUITS FOR BASEMENT, CRAWL SPACE, AND/OR GARAGE ARE TO BE PROVIDED ON SITE BY OTHERS.
- SPACES ARE PROVIDED IN THE PANEL BOX FOR EXPANSION.
- \*ELECTRICAL INTERCONNECTION BETWEEN MODULES SHALL BE MADE IN THE BASEMENT OR CRAWL SPACE USING JUNCTION BOXES BY A QUALIFIED ELECTRICIAN ON SITE. JUNCTION BOXES AT THE MATE-LINES SHALL BE IDENTIFIED BY CIRCUIT.
- ELECTRICAL BOXES SHALL BE LISTED FOR THE SPECIFIC PURPOSE. BOXES FOR FIXTURE ATTACHMENTS SHALL BE DESIGNED FOR THAT PURPOSE WITH PROPER FIXTURE ATTACHMENT MEANS. ALL FIXTURES SHALL BE ADEQUATELY SUPPORTED PER THE FIXTURE MANUFACTURERS INSTRUCTIONS AND THEIR LISTING REPORT.
- THE METHOD OF MOUNTING FIXTURES AND WIRING INSTALLATION SHALL BE PER THE LISTING REPORT AND THE MANUFACTURERS INSTALLATION INSTRUCTIONS.
- SMOKE DETECTORS SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING AREA AND MUST BE INSTALLED IN EACH BEDROOM. AT LEAST ONE (1) SMOKE DETECTOR MUST BE INSTALLED ON EACH LEVEL, INCLUDING BASEMENTS. ALL SMOKE DETECTORS WITHIN A DWELLING UNIT SHALL BE AC/DC AND INTERCONNECTED TO PROVIDE SIMULTANEOUS ACTIVATION.
- ALL BRANCH CIRCUITS THAT SUPPLY 125-V SINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED IN DWELLING LIVING AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
- ALL 15 AND 20 AMP RECEPTACLES ARE TO BE TAMPER RESISTANT.
- BATHROOM EXHAUST FANS SHALL BE CONTROLLED BY HUMIDISTAT.

UPPER LEVEL ELECTRIC PLAN

NOTE:  
 -ALL BRANCH CIRCUITS SUPPLYING 15 AND 20 AMP OUTLETS IN LIVING AREAS MUST BE AFCI PROTECTED  
 -ALL SWITCHES IN LIVING AREAS TO HAVE DIMMER SWITCHES TYP PER TITLE 24.

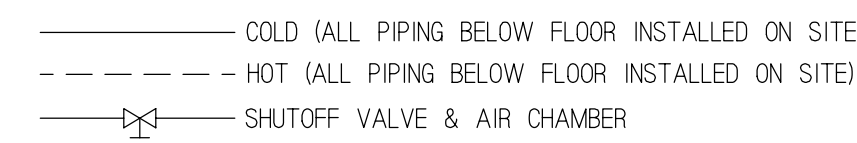
SHEET TITLE  
 UPPER FLOOR  
 ELECTRIC PLAN

DRAWING NUMBER  
 EL2



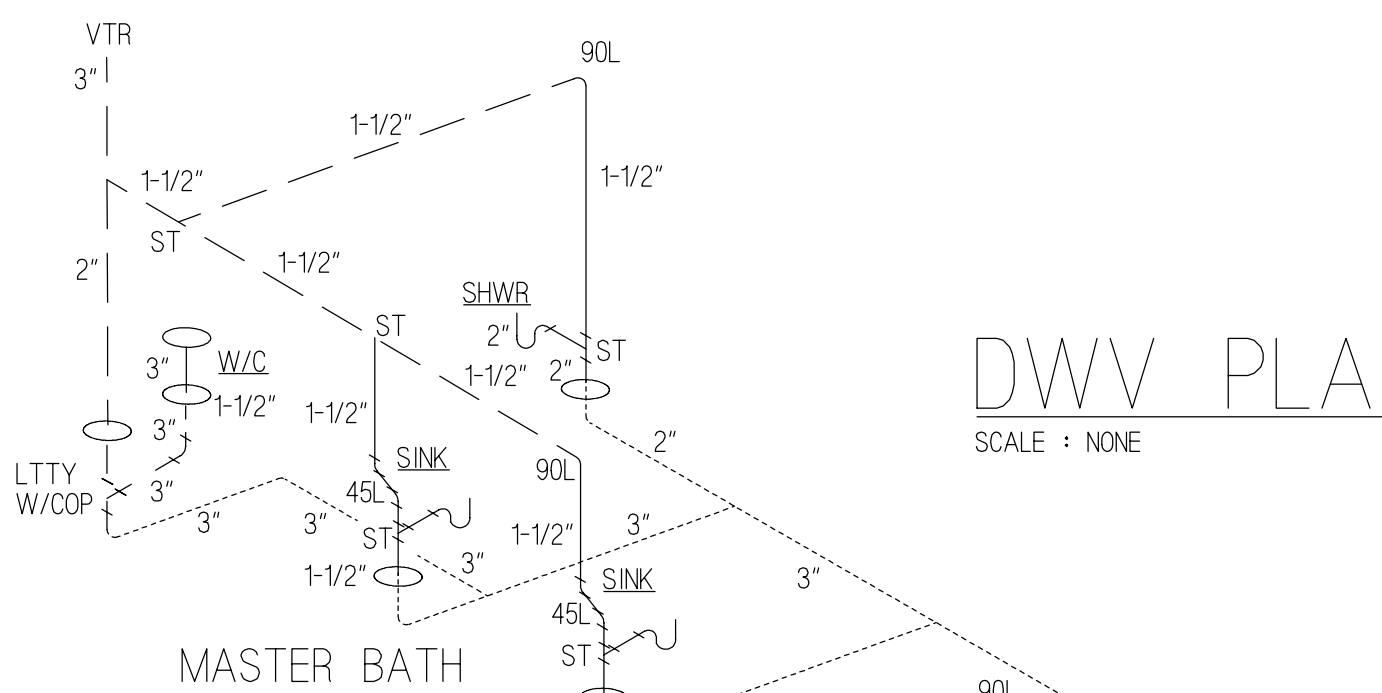
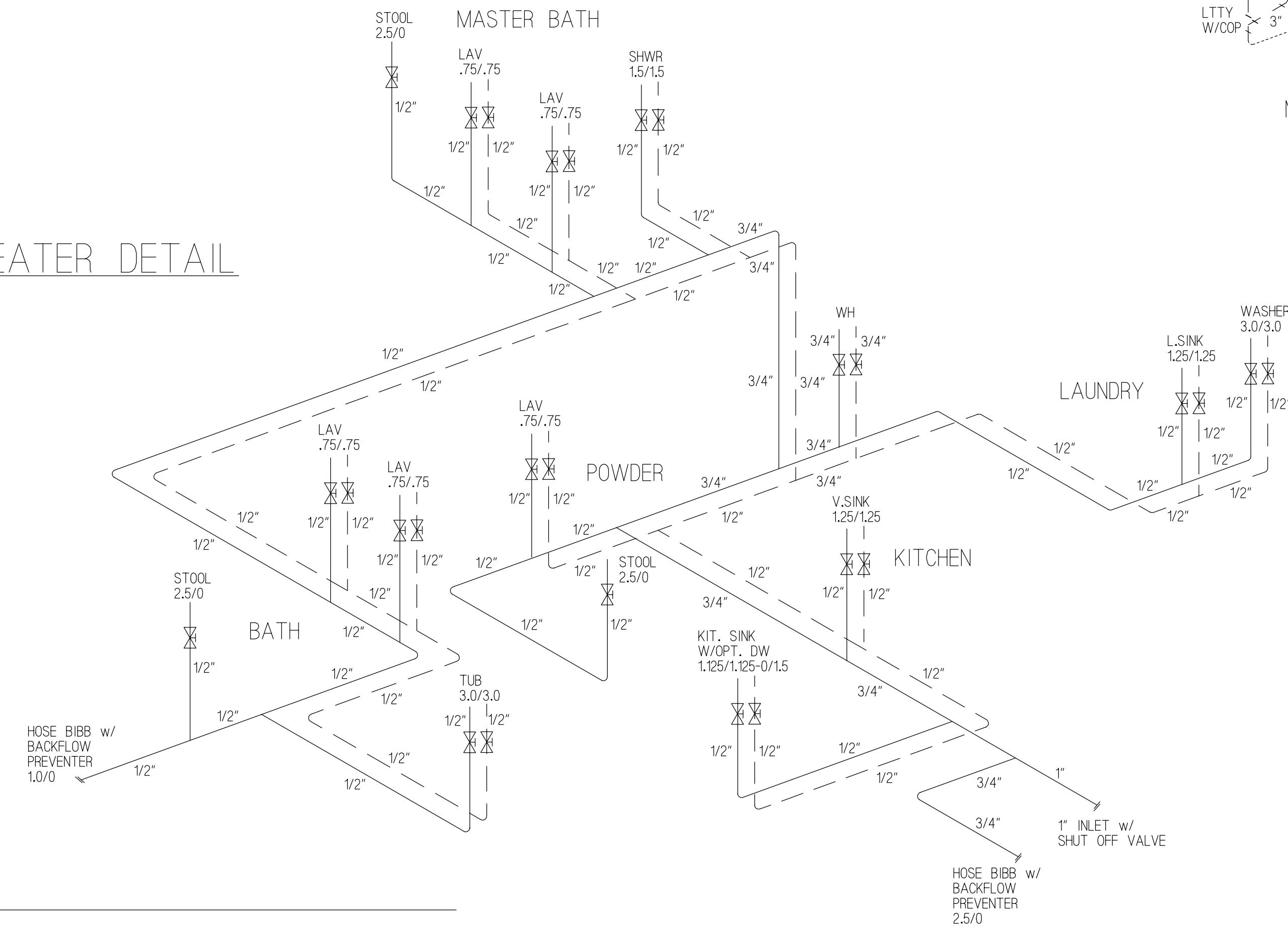
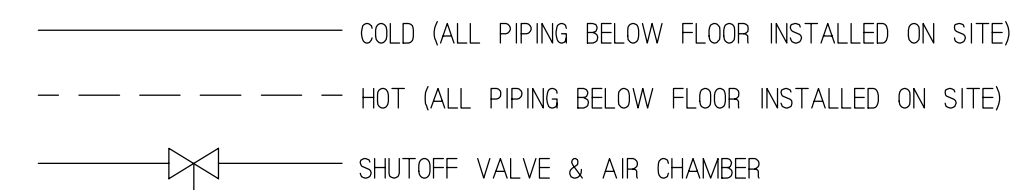
## TYPICAL TANKLESS WATER HEATER DETAIL

ALL SUPPLY LINES WILL CONSIST OF PEX AND BE COMPLIANT WITH ALL STATE CODES.



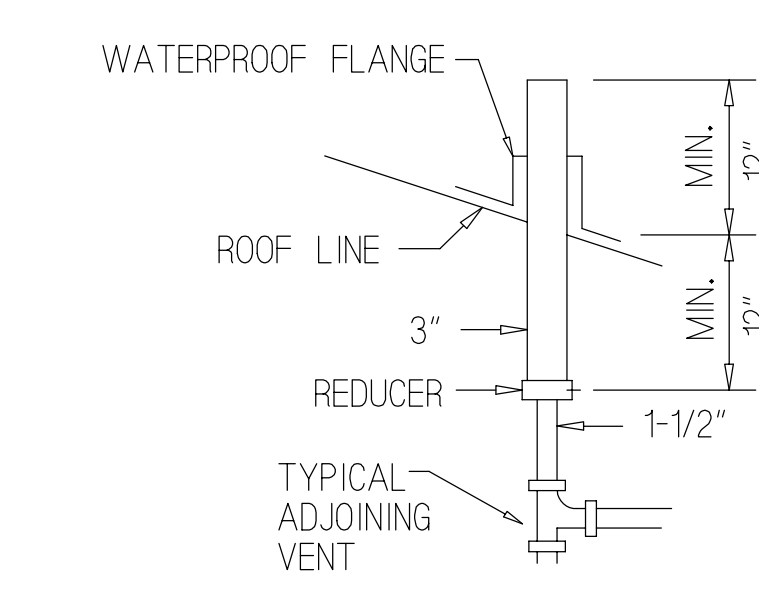
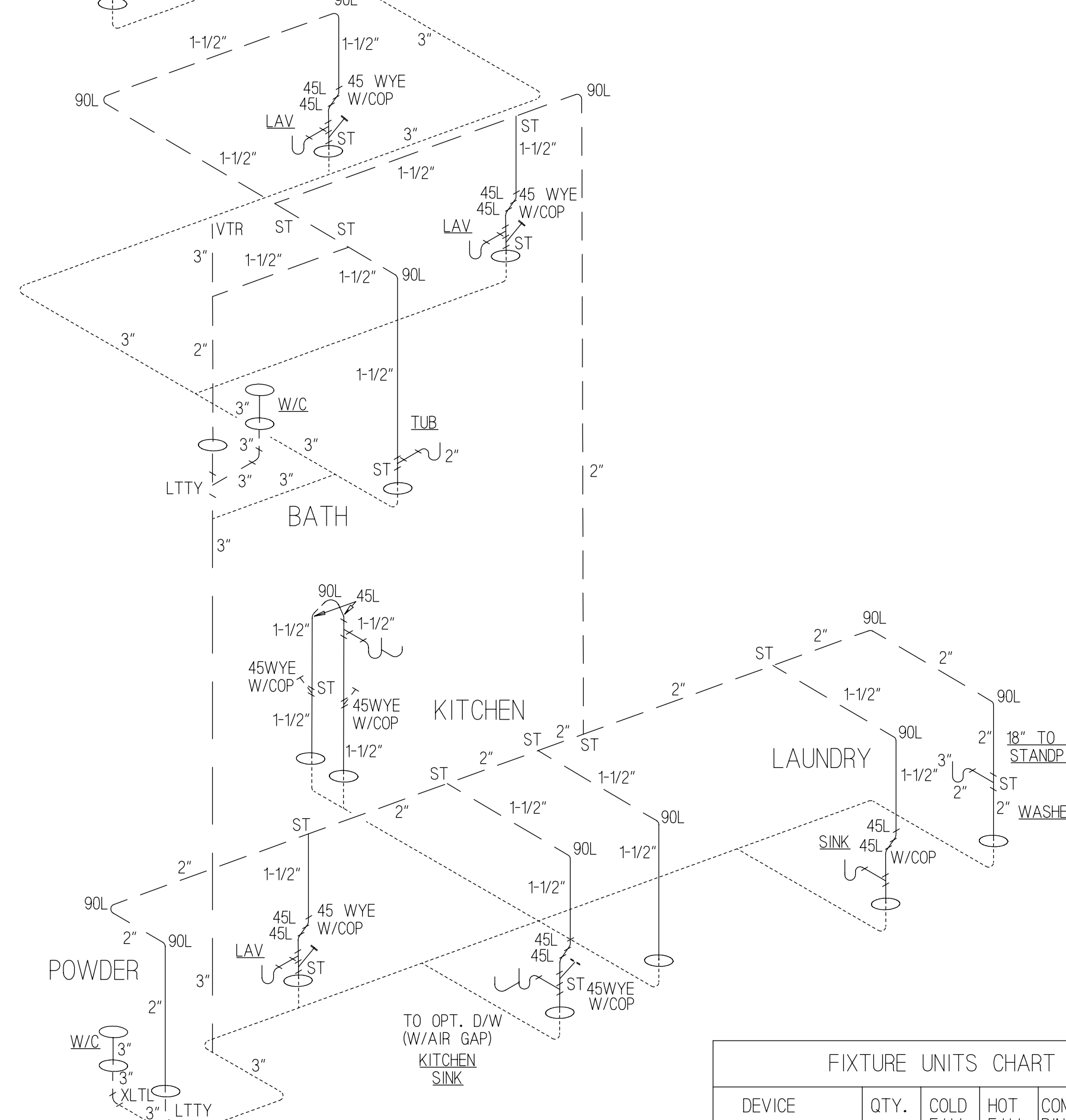
## SUPPLY PLAN

SCALE: NONE



## DWV PLAN

SCALE: NONE



## PLUMBING NOTES:

- WHEN WATER HEATERS OR HOT WATER STORAGE TANKS ARE INSTALLED IN LOCATIONS WHERE TANK OR CONNECTION LEAKAGE COULD CAUSE DAMAGE, THE TANK OR THE WATER HEATER SHALL BE INSTALLED IN A GALVANIZED STEEL OR OTHER METAL PAN OF EQUAL CORROSION RESISTANCE HAVING A MINIMUM THICKNESS OF 24 GAUGE, 0.0276 INCH, ELECTRICAL WATER HEATERS SHALL BE INSTALLED IN A METAL PAN AS REQUIRED OR IN A HIGH-IMPACT PLASTIC PAN OF AT LEAST 0.0625 INCH THICKNESS.
- THE PAN SHALL NOT BE LESS THAN 1 1/2 DEEP AND SHALL BE OF SUFFICIENT SIZE AND SHAPE TO RECEIVE ALL DRIPPING OR CONDENSATE FROM THE TANK OR WATER HEATER. THE PAN SHALL BE DRAINED BY AN INDIRECT WASTE PIPE HAVING A MINIMUM DIAMETER OF 1 INCH OR THE OUTLET DIAMETER OF THE REQUIRED RELIEF VALVE, WHICHEVER IS LARGER.
- THE PAN SHALL EXTEND FULL-SIZE AND TERMINATE OVER A SUITABLY LOCATED INDIRECT WASTE RECEPTOR OR FLOOR DRAIN OR EXTEND TO THE EXTERIOR OF THE BUILDING AND TERMINATE NOT LESS THAN 6 INCHES AND NOT MORE THAN 24 INCHES ABOVE THE ADJACENT GROUND SURFACE.
- IN CONCEALED LOCATIONS WHERE PIPING IS INSTALLED THROUGH HOLES OR NOTCHES IN STUDS, JOISTS, RAFTERS OR SIMILAR MEMBERS LESS THAN 1 1/2 INCHES FROM THE NEAREST EDGE OF THE MEMBER, THE PIPE SHALL BE PROTECTED BY SHIELD PLATES. PROTECTIVE SHIELD PLATES SHALL BE A MINIMUM OF 1/16 INCH THICK STEEL, SHALL COVER THE AREA OF THE PIPE WHERE THE MEMBER IS NOTCHED OR BORED, AND SHALL EXTEND A MINIMUM OF 2 INCHES ABOVE SOLE PLATES AND BELOW TOP PLATES.
- FIXTURES, INCLUDING P TRAPS, WITH CONCEALED SLIP-JOINT CONNECTIONS SHALL BE PROVIDED WITH ON ACCESS PANEL OR UTILITY SPACE AT LEAST 12 INCHES IN ITS SMALLEST DIMENSION OR OTHER APPROVED ARRANGEMENT SO AS TO PROVIDE ACCESS TO THE SLIP CONNECTIONS FOR INSPECTION AND REPAIR.
- THE DISCHARGE FROM AN AUTOMATIC CLOTHES WASHER SHALL BE THROUGH AN AIR BREAK AND CONNECTED TO A STANDPIPE.
- STANDPIPES SHALL BE INDIVIDUALLY TRAPPED. STANDPIPES SHALL EXTEND A MINIMUM OF 18 INCHES AND A MAXIMUM OF 30 INCHES ABOVE THE TRAP. ACCESS SHALL BE PROVIDED TO ALL STANDPIPE TRAPS AND DRAINS FOR ROODING.
- THE PUMP SHALL BE ACCESSIBLE ON ALL WHIRLPOOL BATHTUBS.
- SHOWER AND TUB-SHOWER COMBINATION VALVES SHALL BE BALANCED PRESSURE, THERMOSTATIC OR COMBINATION MIXING VALVES. SUCH VALVES SHALL BE EQUIPPED WITH HANDLE POSITION STOPS THAT ARE FIELD ADJUSTED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS TO A MAXIMUM HOT WATER SETTING OF 120 DEGREES F.
- THE FLOW VELOCITY OF THE WATER DISTRIBUTION SYSTEM SHALL BE CONTROLLED TO REDUCE THE POSSIBILITY OF WATER HAMMER. A WATER HAMMER ARRESTER SHALL BE INSTALLED WHERE QUICK CLOSING VALVES ARE UTILIZED, UNLESS OTHERWISE APPROVED. THE ARRESTER SHALL BE LOCATED WITHIN AN EFFECTIVE RANGE OF A QUICK CLOSING VALVE. WATER HAMMER ARRESTERS SHALL CONFORM TO ASSE 1010. ACCESS SHALL BE PROVIDED TO WATER HAMMER ARRESTERS.
- HOSE BIBB VALVES INSTALLED IN PLANT AND SHALL BE IDENTIFIED WITH A HANG TAG. WASHER AND HOSE BIBS SHALL HAVE A VACUUM BREAKER INSTALLED.
- DRAIN WASTE AND VENT LINES SHALL MEET ASTM D2662-89A REQUIREMENTS AND BE COMPLIANT WITH ALL APPLICABLE STATE CODES.
- ALL PLUMBING VENTS TO BE A MINIMUM OF 10 FEET AWAY FROM DR AT LEAST 3'-0" ABOVE ANY OPERABLE SKYLIGHTS.
- CLEANOUTS IN BUILDING SEWERS SHALL BE PROVIDED IN ACCORDANCE WITH THE RULES, REGULATIONS AND ORDINANCES OF THE CITY. ALL CLEANOUTS SHALL BE MAINTAINED WATERTIGHT.
- WATER DISTRIBUTION SYSTEM SUPPLY LINES WILL BE COMPLIANT WITH ALL STATE CODES.

\*\*ALL PLUMBING IS STUBBED THRU\*\*

## DWV GENERAL NOTES:

- CPC 101.3 - PIPES WILL CONSIST OF ABS AND BE COMPLIANT WITH ALL APPLICABLE STATE CODES.
- ALL PIPES AND FITTINGS TO BE 1 1/2 DIA. UNLESS SPECIED OTHERWISE
- A COPY OF THIS DRAWING SHALL BE INCLUDED IN THE INSTALLATION INSTRUCTIONS FOR SITE INSTALLATION OF PIPE AND FITTINGS.
- DRAIN DUMP MAY BE DTLT OR 90 DEGREES DBL. L OR WYE.
- DENOTES SHIP LOOSE FOR ON SITE INSTALLATION. CPC 507.4
- STOOL TRAP ARM MAX. 6.
- DENOTES PLBG. THRU FLOOR.
- MIN. HORIZONTAL SLOPE FOR DRAIN LINES IS 1/4" PER 1'-0".
- ALL 1 1/2" P-TRAPS TO HAVE A MAXIMUM LENGTH OF 42" FOR TRAP ARM PER CPC CHAPTER 10
- ALL 2" P-TRAPS TO HAVE A MAXIMUM LENGTH OF 60" FOR TRAP ARM PER CPC CHAPTER 10

ALL PLUMBING BELOW SHIPPED FLOOR IS INSTALLED ON SITE BY OTHERS.

## SUPPLY GENERAL NOTES:

- ALL SUPPLY LINES WILL CONSIST OF PEX PIPE / FLAIR-IT FITTINGS (PEX SHALL NOT BE USED WITHIN THE FIRST 18" OF PIPING CONNECTED TO THE WATER HEATER PER CPC 604.13)
- EXTERIOR FAUCETS TO BE PROVIDED WITH ANTI-SIPHON DEVICES AND FROST PROOF.
- PROVIDE A WATERTIGHT PAN OF CORROSION RESISTANT MATERIALS SHALL BE INSTALLED BENEATH THE WATER HEATER WITH A MINIMUM THREE-QUARTER INCH (20 mm) DIAMETER DRAIN TO AN APPROVED LOCATION CPC 507.4
- SHOWERS AND TUBS: SHOWERS IN ALL BUILDINGS SHALL BE PROVIDED INDIVIDUAL CONTROL VALVES THAT LIMIT TEMPERATURE TO A MAXIMUM OF 120° (49°C). THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A SUITABLE CONTROL CPC 408.3
- WATER CONSERVING PLUMBING FIXTURES ARE REQUIRED BY CAL GREEN 4.303.  
TOILETS: 1.28 GPF  
SHOWER HEADS: 2.0 GPM @ 80 PSI  
LAVY FAUCETS: 1.5 GPM @ 60 PSI  
KITCHEN FAUCETS: 1.8 GPM @ 60 PSI
- ALL COLD WATER PIPING SHALL BE LOCATED WITHIN CONDITIONED SPACE OR OTHERWISE PROTECTED FROM FREEZING IN ACCORDANCE WITH LOCAL ADOPTED CODES. - CPC 312.6
- ALL DOMESTIC HOT WATER PIPING CONDITIONS LISTED BELOW MUST BE INSULATED AND THE INSULATION THICKNESS SHALL BE BASED ON THE CONDUCTIVITY RANGE IN TABLE 120.3-A AND THE INSULATION LEVEL SHALL BE SELECTED FROM THE FLUID TEMPERATURE RANGE. 150.0 (C)  
THE FIRST 5 FEET OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK  
ALL PIPING WITH A NOMINAL DIAMETER OF 3/4" OR LARGER  
ALL HOT WATER PIPING FROM THE HEATING SOURCE TO THE KITCHEN FIXTURES  
FLUID TEMPERATURE RANGE = 105° - 140° F  
CONDUCTIVITY RANGE = 0.22 - 0.28  
REQUIRED THICKNESS -  
1" INSULATION FOR PIPES LESS THAN 1" NOMINAL DIAMETER -  
1-1/2" INSULATION FOR PIPES 1" TO 1-1/2" NOMINAL DIAMETER -  
SEE WATER HEATER CUT SHEETS FOR REQUIRED ENERGY EFFICIENT WATER HEATER
- STRAP WATER HEATER FOR SEISMIC RESTRAINT-CPC 507.2
- STORAGE GAS WATER HEATERS WITH AN ENERGY FACTOR EQUAL TO OR LESS THAN THE FEDERAL MINIMUM STANDARDS SHALL BE EXTERNALLY WRAPPED WITH INSULATION HAVING AN INSTALLED THERMAL RESISTANCE OF R-12 OR GREATER. 150.0 J

## FIXTURE UNITS CHART

| DEVICE              | QTY. | COLD F.U.'s | HOT F.U.'s | COM-BINED | INLET TOTAL |
|---------------------|------|-------------|------------|-----------|-------------|
| WATER CLOSET        | 3    | 2.5         | 0          | 2.5       | 7.5         |
| LAV *               | 5    | 0.75        | 0.75       | 1.0       | 5.0         |
| TUB/SHOWER *        | 1    | 3.0         | 3.0        | 4.0       | 4.0         |
| SHOWER *            | 1    | 1.5         | 1.5        | 2.0       | 2.0         |
| TUB *               | 0    | 3.0         | 3.0        | 4.0       | 0.0         |
| SINK *              | 1    | 1.25        | 1.25       | 1.5       | 1.5         |
| OPT. DISHWASHER     | 1    | 0           | 1.5        | 1.5       | 1.5         |
| WASHER *            | 1    | 3.0         | 3.0        | 4.0       | 4.0         |
| MISC.               | 0    | 0           | 0          | 0         | 0           |
| OPT. H.B. (ONE)     | 1    | 2.5         | 0          | 2.5       | 2.5         |
| OPT. H.B. (ADD'L)   | 1    | 1.0         | 0          | 1.0       | 1.0         |
| OPT. L SINK *       | 1    | 1.25        | 1.25       | 1.5       | 1.5         |
| OPT. SINK *         | 1    | 1.25        | 1.25       | 1.5       | 1.5         |
| OPT. LAV *          | 0    | 0.75        | 0.75       | 1.0       | 0           |
| OPT. BAR SINK *     | 0    | 0.75        | 0.75       | 1.0       | 0           |
| TOTAL FIXTURE UNITS |      |             |            |           | 32.0        |

TABLE 610.3 UPC  
\* = VALUE SHOWN FOR FIXTURES W/BOTH HOT & COLD WATER IS 75% OF THE VALUE LISTED IN UPC TABLE 610.3 (FOOTNOTE 3)

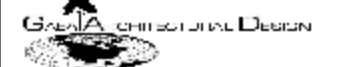
| PIPE SIZE (ID) | MAX. F.U.'s |
|----------------|-------------|
| 1/2"           | 6           |
| 3/4"           | 19          |
| 1"             | 36          |
| 1 1/4"         | 39          |

TABLE 610.4 UPC  
46-60 PSI PRESSURE - 80" MAX. LENGTH  
3/4" METER SERVICE  
1" BUILDING SERVICE

RESIDENCE WILL HAVE A MINIMUM DESIGN PRESSURE OF 40 PSI FOR A MAXIMUM DEVELOPED LENGTH OF 55 FEET

MANUFACTURER:

SUBMITTAL CONSULTANT:  
GH DESIGN  
POWER HOUSE DESIGN GROUP  
6608 DEVON DRIVE  
LIBERTY TOWNSHIP, OH 45044  
(513) 444.0519



PROJECT NAME:  
NEW MODULAR CONSTRUCTION  
TIM PATTERSON  
CEDAR STREET  
MONTARA, CA  
036-132-210

DRAWN BY: BHS

DATE: 5.22.17

SCALE: AS SHOWN

REVISIONS:

| NO. | DATE: | DESCRIPTION: |
|-----|-------|--------------|
| 1.  |       |              |

APPROVAL STAMPS:

SHEET TITLE

PLUMBING & WATER LINES

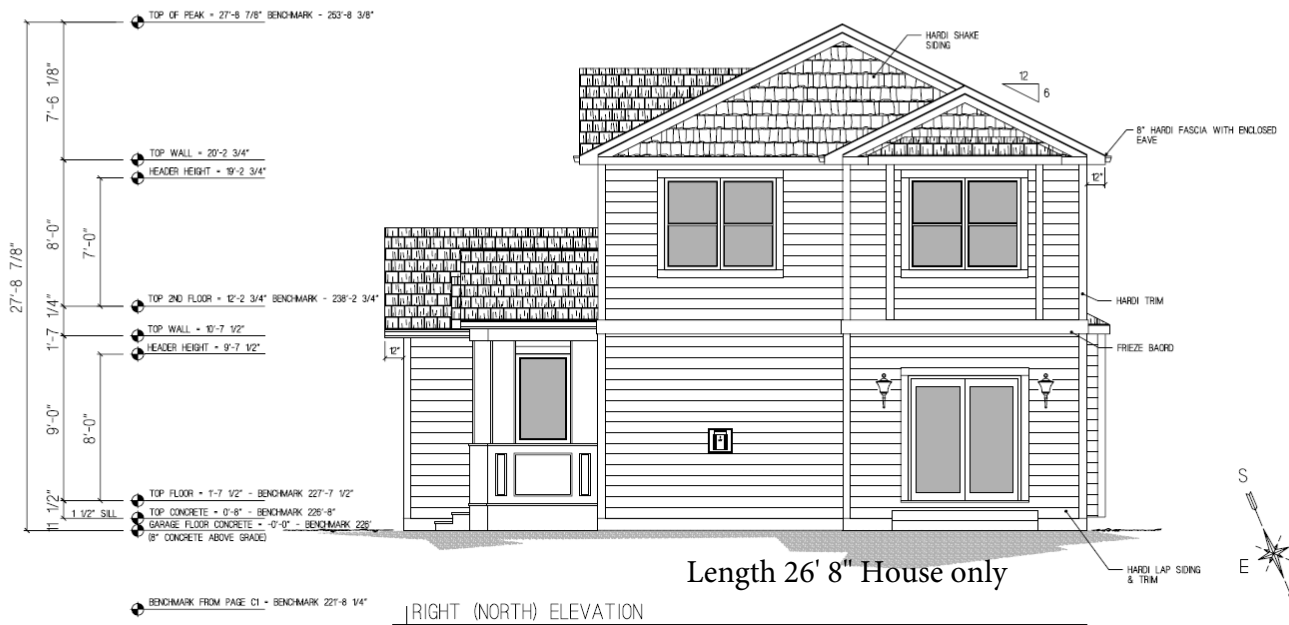
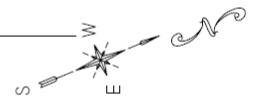
DRAWING NUMBER

P1





FRONT (EAST) ELEVATION



RIGHT (NORTH) ELEVATION

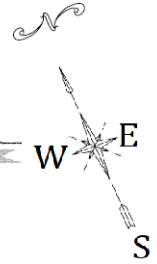




TOP OF PEAK = 27'-8 7/8" BENCHMARK = 253'-8 3/8"  
 7'-6 1/8"  
 TOP WALL = 20'-2 3/4"  
 HEADER HEIGHT = 19'-2 3/4"  
 8'-0"  
 7'-0"  
 TOP 2ND FLOOR = 12'-2 3/4" BENCHMARK = 238'-2 3/4"  
 1'-7 1/4"  
 TOP WALL = 10'-7 1/2"  
 HEADER HEIGHT = 9'-7 1/2"  
 9'-0"  
 8'-0"  
 TOP FLOOR = 1'-7 1/2" - BENCHMARK 227'-7 1/2"  
 1 1/2"  
 1 1/2" SILL  
 TOP CONCRETE = 0'-8" - BENCHMARK 226'-8"  
 GARAGE FLOOR CONCRETE = -0'-0" - BENCHMARK 226'  
 8" CONCRETE ABOVE GRADE



Length 37' 4"



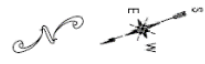
BENCHMARK FROM PAGE C1 - BENCHMARK 221'-8 1/4"

REAR (SOUTH) ELEVATION

TOP OF PEAK = 27'-8 7/8" BENCHMARK = 253'-8 3/8"  
 7'-6 1/8"  
 TOP WALL = 20'-2 3/4"  
 HEADER HEIGHT = 19'-2 3/4"  
 8'-0"  
 7'-0"  
 TOP 2ND FLOOR = 12'-2 3/4" BENCHMARK = 238'-2 3/4"  
 1'-7 1/4"  
 TOP WALL = 10'-7 1/2"  
 HEADER HEIGHT = 9'-7 1/2"  
 9'-0"  
 8'-0"  
 TOP FLOOR = 1'-7 1/2" - BENCHMARK 227'-7 1/2"  
 1 1/2"  
 1 1/2" SILL  
 TOP CONCRETE = 0'-8" - BENCHMARK 226'-8"  
 GARAGE FLOOR CONCRETE = -0'-0" - BENCHMARK 226'  
 8" CONCRETE ABOVE GRADE



Length 57' 4"

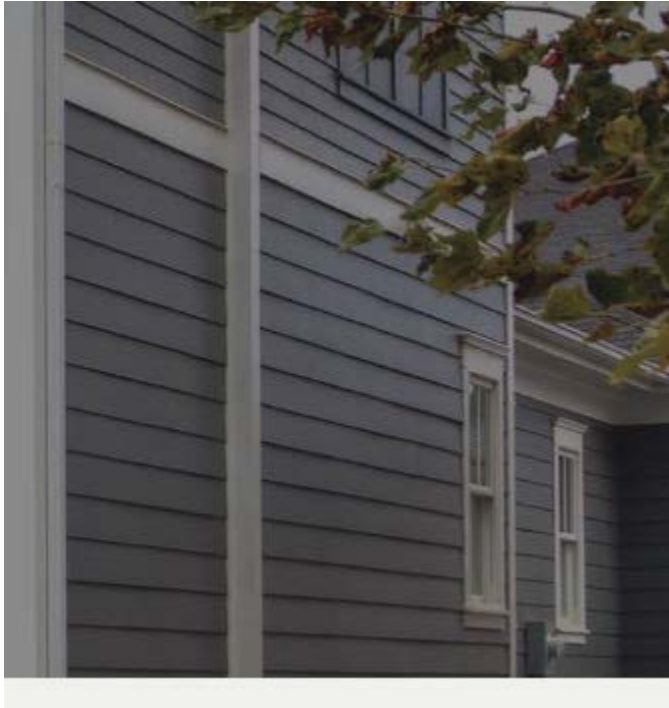


BENCHMARK FROM PAGE C1 - BENCHMARK 221'-8 1/4"

REAR (WEST) ELEVATION

LAP SIDING TYPE

<https://www.jameshardie.com/products/hardieplank-lap-siding>



SHINGLE TYPE/ COLOR

<https://www.homedepot.com/p/GAF-Timberline-Natural-Shadow-Charcoal-Algae-Resistant-Architectural-Shingles-33-33-sq-ft-per-Bundle-21-pieces-0601180/100658149>



GARAGE DOOR STYLE/ WIND/ FIRE RATED/STEEL

<https://www.clopaydoor.com/classic>

## STEEL INSULATED GARAGE DOORS



PAINT BODY COLOR

<https://www.ppgpaints.com/color/color-families/neutrals/ufo>



[chevron\\_leftBack](#)

## UFO

PPG1011-4



UFO is a midtone, cool, ashen gray with a blue-gray undertone. It is a perfect paint color for the exterior of your home. Pair it with deep burgundy red. If you'd like to [get a house painter](#) to complete your painting project, please click on the link below.

R: 152 G: 159 B: 163 LRV: 35

ORDER FREE SWATCH

BUY PEEL & STICK SWATCH

BUY ONLINE

FIND IN STORE



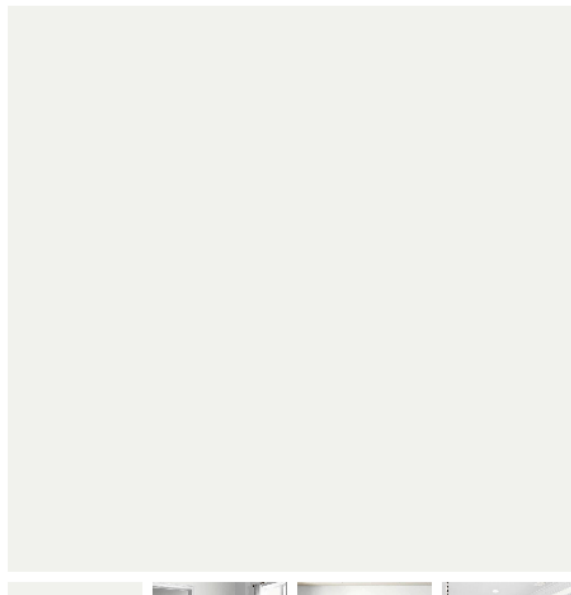
Hire a quality local painter for your paint project needs.

### SHADES



## PAINT COLOR TRIM

<https://www.ppgpaints.com/color/color-families/neutrals/delicate-white>



[chevron\\_left](#)Back

### Delicate White

PPG1001-1



Delicate White is a pale, true, winter white with a non-existent undertone. It is a perfect paint color for a main wall, trim or accent for your project. Pair it with almost any color. Looking to [hire a painter](#) to help with your project? Please click on the link below.

R: 241 G: 242 B: 238 LRV: 88

BUY ONLINE

FIND IN STORE



Hire a quality local painter for your paint project needs.

#### SHADES



## STEEL DOORS ( TYPICAL STEEL CLAD)

<https://www.homedepot.com/p/36-in-x-80-in-6-Panel-Primed-Premium-Steel-Front-Door-Slab-THDJW166100317/202036386>

Internet #202036386 Model #THDJW166100317 Store SKU #776781



Hover Image to Zoom

## KINRO WINDOWS (TYPICAL)

Kinro 30" x 60" White Vinyl Vertical Sliding Window, Item # KVS3060V |

### Standard Features

- Vinyl construction provides high thermal performance
- Frame and sash corners are welded for added strength and water tight corners
- Deep pocket sill for added window strength and weather resistance
- Spiral balance system provides near effortless sash operation
- Frame designed with multiple hollow areas for maximum strength and energy efficiency
- Bottom window sash can be removed for easy cleaning on any level of the home
- Reinforcement bars in the meeting rails provide added strength
- Positive integral lock at the meeting rail for increased home security and weather resistance
- Dual weather seal to reduce drafts and enhance energy efficiency
- Nominal 3/4" insulating glass provides superior thermal performance
- Integral "J" trim eliminates the need for additional exterior frame accessories and covers the raw edge of the siding for a clean appearance
- Flush mount pre-punched flange for easy installation.
- Made in the USA

Specifications: Note: will meet WUI standards, Window Type Single Hung

Manufacturer Color/Finish White,

Rough Opening Width (Inches) 30.25, Rough Opening Height (Inches) 60.25

Mounting Flange Width (Inches) 1.25

Manufacturer's Warranty (Parts) 5 Year Limited, Manufacturer's Warranty (Labor) N/A

Removable Screen Yes

U-Factor 0.49

Solar Heat Gain Coefficient 0.63

Visible Transmittance 0.68

Tilting Top Sash No

Tilting Bottom Sash Yes

Internal Grids No

HUD Compliant Yes

AAMA Compliant to West Coast Guidelines

Yes



[https://www.lampsplus.com/products/sage-ridge-12-and-three-quarter-inch-high-dark-sky-outdoor-wall-light\\_48261.html](https://www.lampsplus.com/products/sage-ridge-12-and-three-quarter-inch-high-dark-sky-outdoor-wall-light_48261.html)



### [Sage Ridge 12 3/4" High Dark Sky Outdoor Wall Light - #48261 | Lamps Plus](https://www.lampsplus.com/products/sage-ridge-12-and-three-quarter-inch-high-dark-sky-outdoor-wall-light_48261.html)

Elegant scroll accents and a vintage rust finish bring a warm Mediterranean style to your home's exterior with this outdoor wall light by Minka. 12 3/4" high x 6 1/2" wide. Extends 8 1/4" from the wall. Uses one maximum 60 watt standard-medium base A-15 bulb (not included). Style # 48261 at Lamps Plus.

[www.lampsplus.com](http://www.lampsplus.com)

[https://www.lampsplus.com/products/ripley-collection-9-inch-high-dark-sky-outdoor-wall-light\\_\\_k8377.html](https://www.lampsplus.com/products/ripley-collection-9-inch-high-dark-sky-outdoor-wall-light__k8377.html)



### **Ripley Collection 9" High Dark Sky Outdoor Wall Light**

This outdoor wall light design by Kichler is simple and refined.

#### **Additional Info:**

The Ripley Collection of outdoor lighting brings clean lines to a rustic look. An old bronze finish warms the smooth cone shape of this outdoor wall light. All of Kichler's Ripley Collection fixtures are Dark Sky compliant.

**KICHLER**

[www.lampsplus.com](http://www.lampsplus.com)

# LANDSCAPE PLAN

SCALE: 12' PER INCH

All plants, including fruit plants, are drought tolerant, and either native or noninvasive species.

Notes: San Mateo Midcoast has no recommended plant list. Plants chosen were picked from the SFDPW suggested plant list for coastal and fog areas.

For California invasive species list see <https://www.cal-ipc.org/plants/inventory>

All plants are 2 to 3 gallons unless otherwise noted.

Plants that tolerate Shade, Part Shade, Wind, Seacoast and Fog (suited for Zone 1 in SF Climate Zone Map)

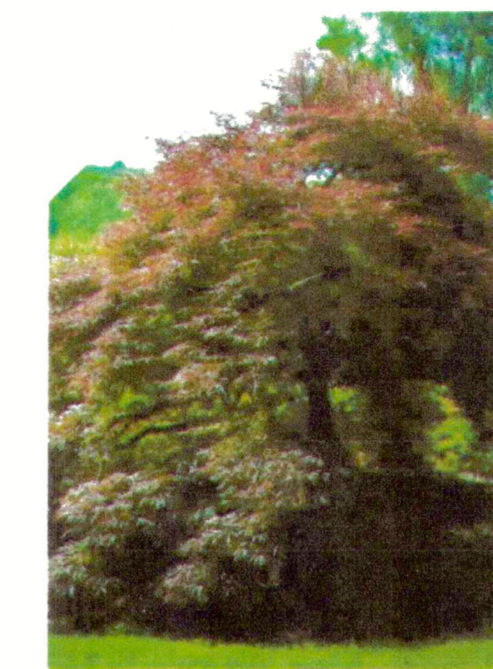
| Photo               | Name   | Suitable Site Conditions |            |       |                   |                  | Plant Size<br>Height x Width |
|---------------------|--|--------------------------|------------|-------|-------------------|------------------|------------------------------|
|                     |  | Sun                      | Part Shade | Shade | Seacoast Fog/Wind | Number of Plants |                              |
| <b>BORDER GRASS</b> |  |                          |            |       |                   |                  |                              |
|                     | <i>Elymus magellanicus</i><br>Blue Wheatgrass<br>Magellan Wheatgrass | X                        | X          |       | X                 | 100              | Up to 1.5 ft x 1.5 ft        |
|                     | <i>Fragaria chiloensis</i><br>Beach Strawberry                       | X                        | X          | X     | X                 | 10               | 4-8" x 12-18", spreading     |
|                     | <i>Helleborus foetidus</i><br>Bear's foot hellebore                  | X                        | X          |       |                   | 10               | 2.5 ft x 2.5 ft              |
|                     | <i>Helleborus orientalis</i><br>Lenten Rose                          | X                        | X          |       |                   | 10               | up to 1.5 ft tall            |
|                     | <i>Iris douglasiana</i>  | X                        | X          |       | X                 | 5                | 1.5 - 3 ft Tall              |
|                     | <i>Pelargonium peltatum</i><br>Ivy Geranium                          | X                        | X          |       | X                 | 5                | 1-1.5 ft x 3-6 ft trailing   |
|                     | <i>Phormium 'Dusky Chief'</i><br>New Zealand Flax                    | X                        | X          |       | X                 | 5                | 3-4 ft x 3-4 ft              |
|                     | <i>Phormium 'Jack Pratt'</i>   | X                        | X          |       | X                 | 10               | 1.5 ft x 1.5 ft              |
|                     | <i>Phormium 'Tiny Tiger'</i>   | X                        | X          |       | X                 | 10               | U to 1 ft x 1 ft             |

| Photo | Name   | Suitable Site Conditions |            |       |                   |                  | Plant Size<br>Height x Width |
|-------|--|--------------------------|------------|-------|-------------------|------------------|------------------------------|
|       |  | Sun                      | Part Shade | Shade | Seacoast Fog/Wind | Number of Plants |                              |
|       | <i>Acanthus mollis</i><br>Bear's Breech                        |                          | X          | X     |                   | 5                | 2-4 ft x 3-4 ft              |
|       | <i>Agave attenuata 'Nova'</i>                                  | X                        | X          | X     | X                 | 5                | 3-4 ft x 3-4 ft              |
|       | <i>Arcostaphylos 'Emerald Carpet'</i><br>Groundcover Manzanita | X                        |            |       | X                 | 10               | 8-14" x 3-5 ft               |
|       | <i>Arcostaphylos uva ursi 'Radiant'</i><br>Radiant Bearberry   | X                        | X          |       | X                 | 10               | 3-6" x 10 ft                 |
|       | <i>Calamagrostis nutkaensis</i><br>Pacific Reed Grass          |                          | X          | X     | Fog only          | Alternate only   | 2-3 ft x 2-3 ft              |
|       | <i>Coprosma 'Verde Vista'</i>                                  | X                        | X          |       | X                 | Alternate only   | 1-3 ft x 4-6 ft              |
|       | <i>Corna 'Dusky Bells'</i><br>Australian fuchsia               | X                        | X          | X     | X                 | 3                | 2-3 ft x 6-8 ft              |
|       | <i>Delosperma cooperi</i><br>Hardy iceplant                    | X                        | X          |       | X                 | 5                | 3 in. x 1.5 ft               |
|       | <i>Diets bicolor</i><br>Fortnight Lily                         | X                        | X          |       | X                 | 3                | 2-3 ft x 2-3 ft              |
|       | <i>Diets indidoides</i><br>African Iris                        | X                        | X          |       | X                 | 3                | 3 ft x 3 ft                  |



Crape myrtle

## TREE OPTIONS



Crimson Queen Japanese Maple ★★★★★  
1 tree to be planted only



Bloodgood Japanese Maple ★★★★★  
1 tree to be planted



Purple Ghost Japanese Maple ★★★★★  
Alternative option



Emperor Japanese Maple ★★★★★  
1 tree to be planted



Improved Dwarf Meyer Lemon Trees  
1 tree to be planted

## Citrus Trees



Ornamental crabapple  
Alternative option

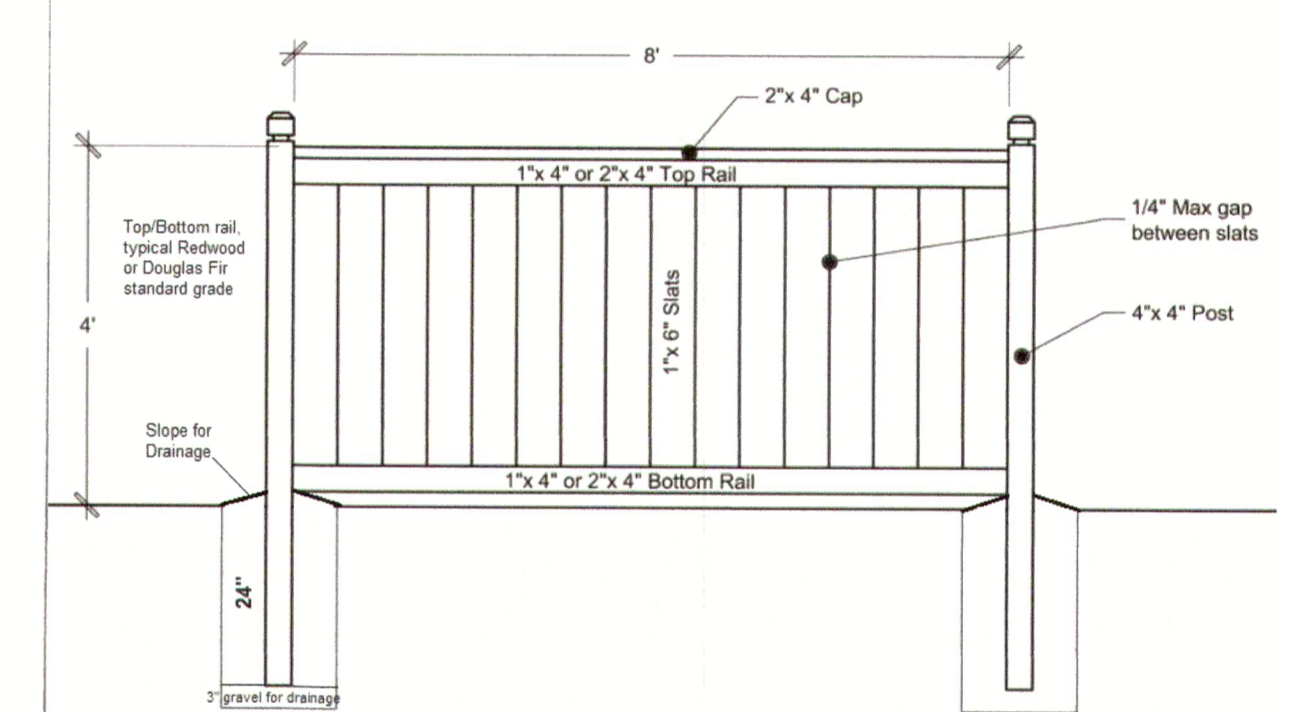
# PATTERSON SFD

Montara, California  
San Mateo County

NEW CONSTRUCTION  
SINGLE FAMILY RESIDENCE  
TIM PATTERSON

CEDAR STREET  
MONTARA, CA  
036-132-210

## Recommended Wood Fence Detail



## 4-FT HIGH FENCE DETAIL

The construction of wood fences, six feet or less in height and not supporting any other superimposed loads such as those resulting from the self weight of chain link fences, etc., does not require a building permit.

### Wood Fences

Details for typical board fences are shown on pages 1 and 2. Additional requirements below:

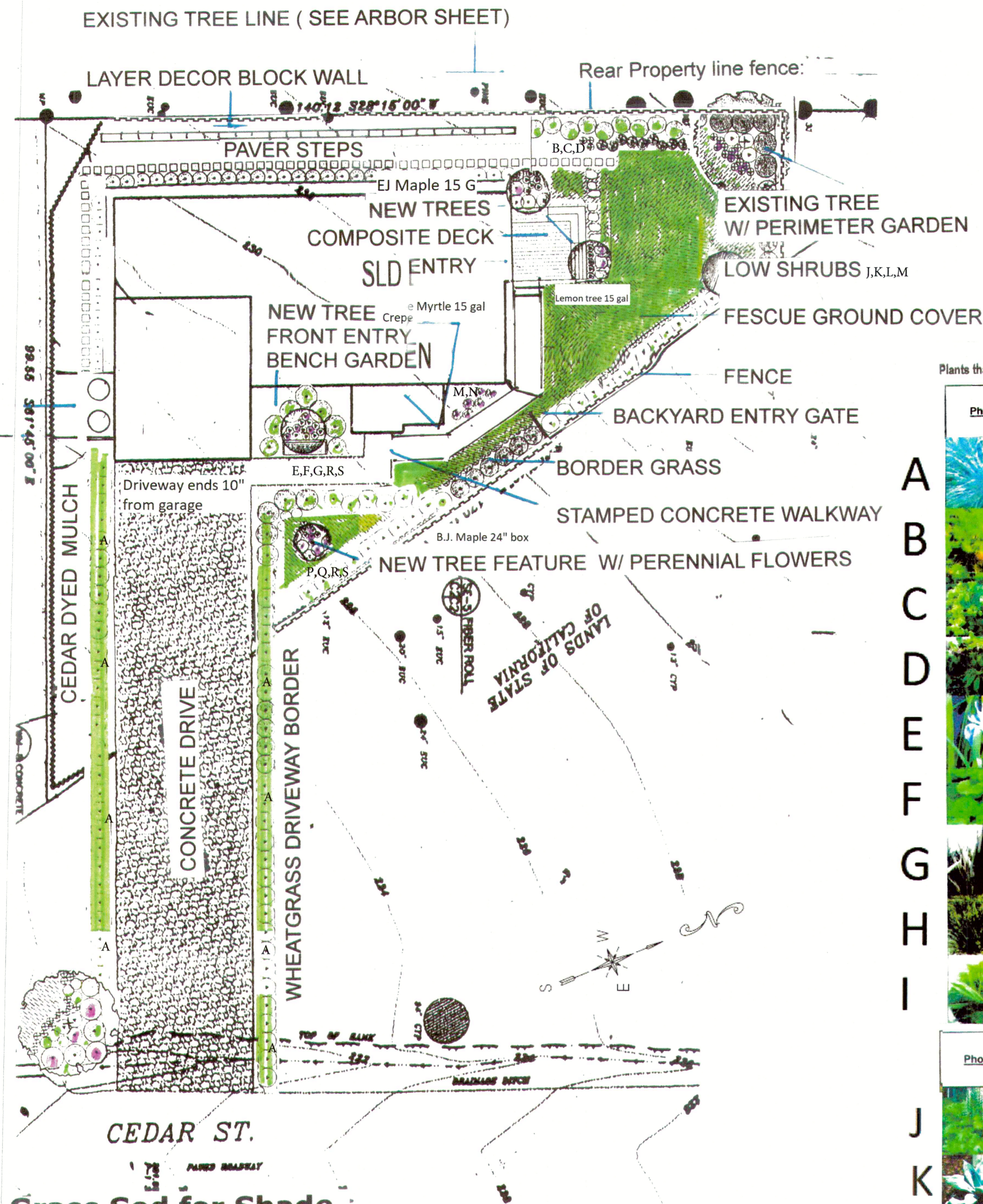
- Wood posts shall be of naturally durable or preservative-treated wood (CBC 23 Wood posts shall be No. 2 foundation-grade redwood, or pressure-treated Dou No. 2 or better.
- Preservative treatment must be applied to the ends of wood posts buried in the
- Set posts/pipes in 12-inch diameter concrete footing extending at least 24 inches undisturbed natural ground or properly compacted fill. Footings should be placed in inches of loose gravel. Wood posts should extend through concrete footings to below.
- Use galvanized nails or screws at all wood-to-wood connections.

SECTION 6412. Fences, walls and hedges shall be subject to the following regulations, except as provided in Section 6412.1:

- Fences, walls, and hedges not exceeding four (4) feet in height may occupy any front yard area.
- Fences, walls, and hedges not exceeding six (6) feet in height may occupy any side or rear yard area, provided:
  - That they do not extend into any required front yard.
  - That, in the case of a corner lot, they do not extend into the side yard required along a side street or into that portion of the rear yard abutting such side street which is equal to the width of the side yard required on said side street.
- On any parcel of land having a street frontage of one hundred (100) feet or more, and located in any "S" District requiring a minimum building site of twenty thousand (20,000) square feet or more, fences, hedges, or walls not exceeding six (6) feet in height may be erected in any part of the yard area, except as limited by Paragraph (d).
- On any corner lot, the maximum height of fences, walls, hedges, and growth located within fifty (50) feet of the intersected street lines shall not exceed four (4) feet in height; provided that nothing in this section shall prevent any fence, wall, or hedge from occupying any portion of the lot area that a main residence may occupy under the terms of this Part.
- Where trees are located within fifty (50) feet on the intersected street lines, the main trunks of such trees shall be trimmed free of branches to a height of seven and a half (7.5) feet above the curb grade.

GARBAGE STORAGE SLAB FOR ENTRY TO GARAGE

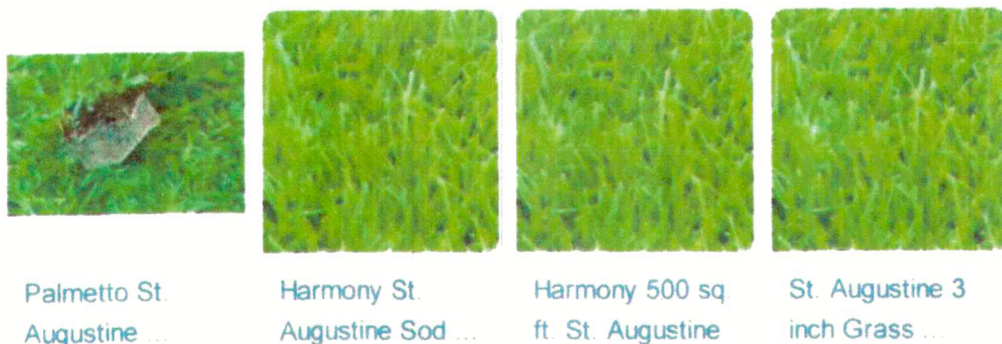
SIDEYARD ENTRY GATE



## Grass Sod for Shade

### Coastal Conditions

Coastal weather provides a relatively kind environment for grass: not too hot, not too cold and not too dry. St. Augustine and Manilagrass top the list for full shade sites and zoysiagrass is a good choice for shady beach properties because it is also salt-tolerant. The best St. Augustine varieties are "Seville," "Delmar" and "Captive," and the least shade-tolerant is "Floritam." St. Augustine is a good solution for a lawn that includes both full sun and full shade. Palmetto does well in partial or dappled shade. In north coastal climates, try Colonial bentgrass or tall fescue in partial shade and creeping red fescue or velvet bentgrass in full shade.



## Retaining Wall Installation

non Ground Alliance, to have utilities marked before starting your project.

prior to installation. Refer to last page for reference images of installation materials and tools.

1. Stake Out Wall and Create Trench. Begin by using stakes with a string line for a garden hose for curved walls) to mark the location of the desired location of the back of blocks as the guide. Use the information below to determine the size of the trench needed, and then:

The width of the trench should be twice the depth (front to back) at the block.

Example: For block that is 6 inches deep make the trench 12 inches wide.

The depth of the trench should be equal to the height of the block plus compacted base depth (Table 1).

Example: For an exposed wall height of 1'6" and using a 6" high block, dig the trench a total of 9 inches in depth.

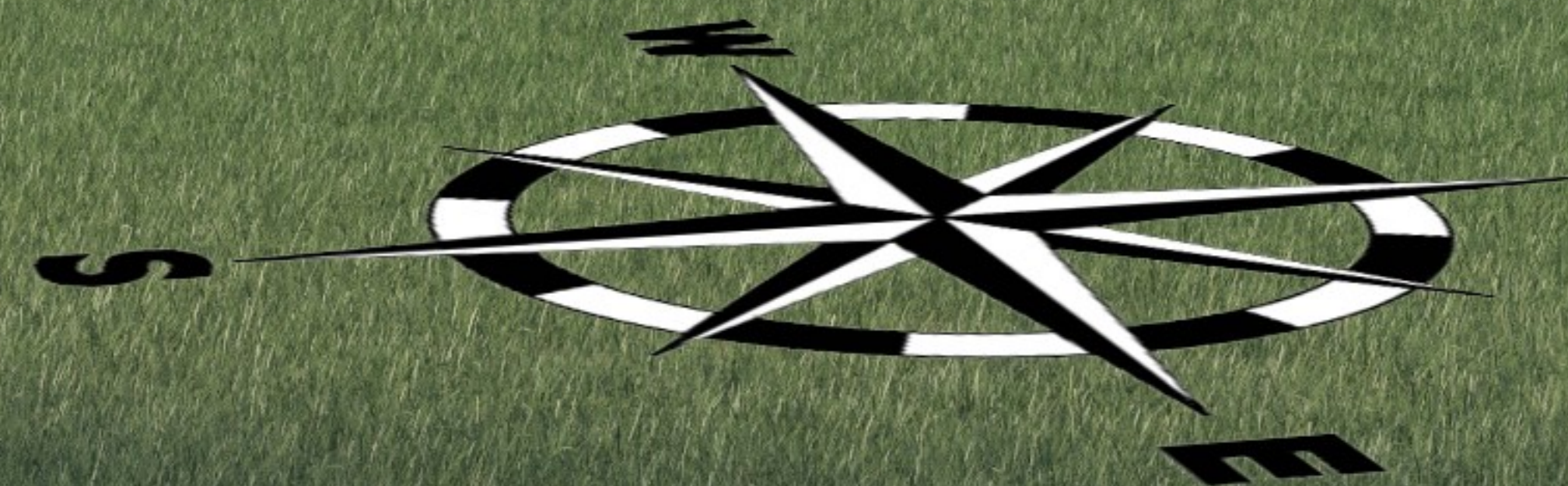
| Block Height | Exposed Wall Height |    |      |     |      |     |
|--------------|---------------------|----|------|-----|------|-----|
|              | ≤ 1'6"              | 2' | 2'6" | 3'  | 3'6" | 4'  |
| 6"           | 3"                  | 9" | 4"   | 10" | 6"   | 12" |
| 5"           | 3"                  | 8" | 4"   | 9"  | N/A  | N/A |
| 4"           | 3"                  | 7" | N/A  | N/A | N/A  | N/A |
| 3"           | 3"                  | 6" | N/A  | N/A | N/A  | N/A |



This wall is stepped up to fit the contours of the slope.



Note: This rendering is proportionately and accurately scaled to the engineering drawings.



**NORTH**



MANUFACTURER:

**SKYLINE**

1720 E BEAMER STREET  
WOODLAND, CA. 95776  
1-530-666-0974

SUBMITTAL CONSULTANT:  
GAEA DESIGN  
POWER HOUSE DESIGN GROUP  
6608 DEVON DRIVE  
LIBERTY TOWNSHIP, OH 45044  
(513) 444.0519



**EXTERIOR NOTES**

- Exterior
- Semi-gloss exterior paint with three color design featuring high-quality PPG paint
- Class "A" fire-rated architectural shingles with Manufacturer's 30-Year Limited Warranty
- High wind nailing pattern on all shingles (6 nails per shingle vs. 4 staples from other manufacturers)
- (2) exterior GFI protected patio outlets (locations vary per plan)
- 1.6" front overhang
- Sidelwall eaves per plan (construction modifications can affect standard eave design)

DRAWN BY: LCL

DATE: 7.16.15

SCALE: NONE

REVISIONS:

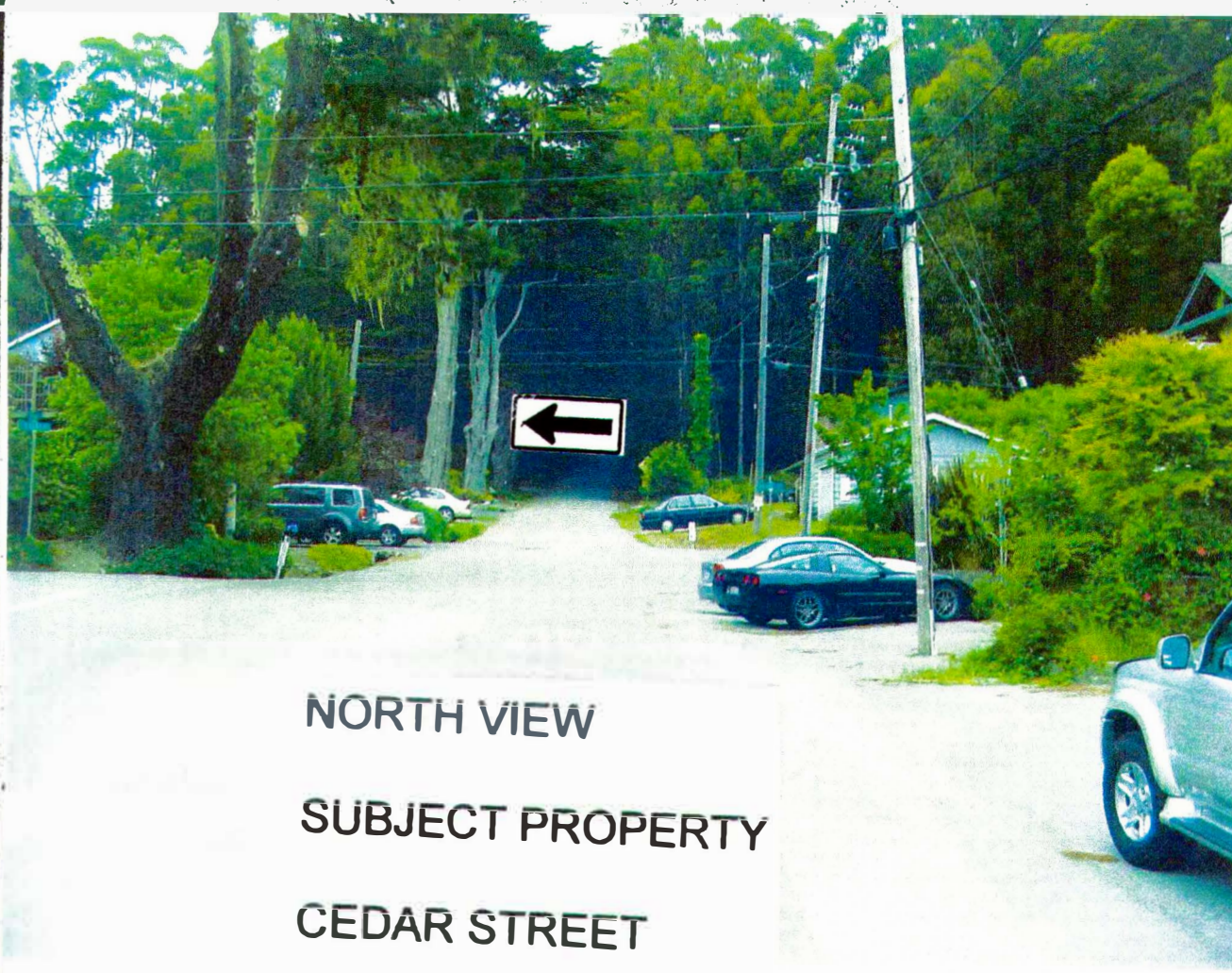
| NO: | DATE: | DESCRIPTION: |
|-----|-------|--------------|
| 1.  |       |              |
|     |       |              |
|     |       |              |
|     |       |              |
|     |       |              |

APPROVAL STAMPS:

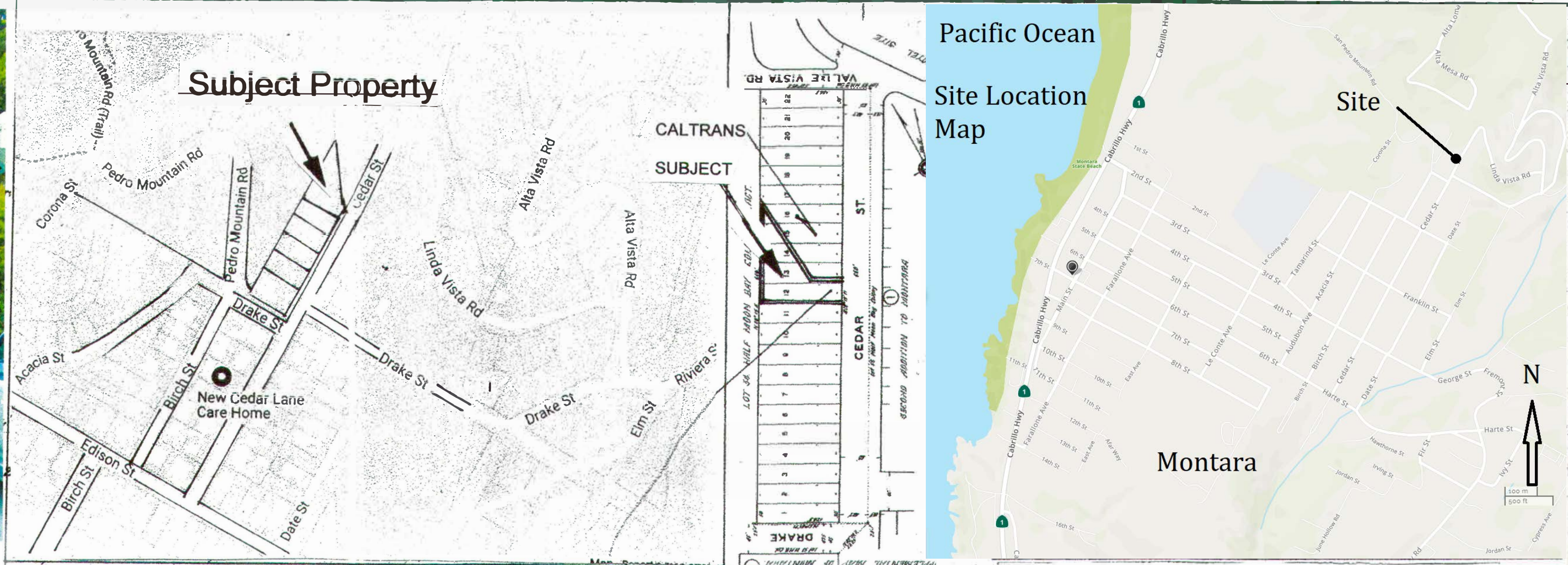
**OWNER/APPLICANT**  
**TIM PATTERSON**  
**3550 CARTER DR. #32**  
**SOUTH SAN FRANCISCO,**  
**CA. 94080**

SHEET TITLE  
**SECTION VIEW**

DRAWING NUMBER  
**SE1**



**NORTH VIEW**  
**SUBJECT PROPERTY**  
**CEDAR STREET**



**Pacific Ocean**  
**Site Location Map**

**Site**

**Montara**

**Neighborhood Homes**



**CEDAR STREET HOMES WITHIN 500'**



**Adjacent Home on South Property Line**



**SUBJECT PROPERTY**

Proposed Exterior  
Materials and Colors

**NEW CONSTRUCTION**  
**SINGLE FAMILY RESIDENCE**  
**TIM PATTERSON**  
**CEDAR STREET**  
**MONTARA, CA**  
**036-132-210**

**PATTERSON SFD**  
**Montara, California**  
**San Mateo County**