

# DRAWING INDEX

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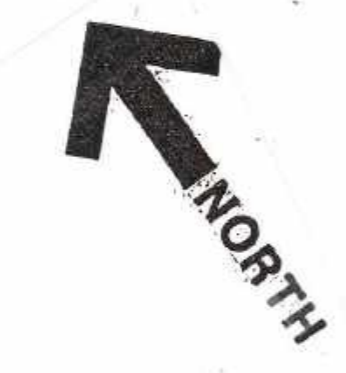
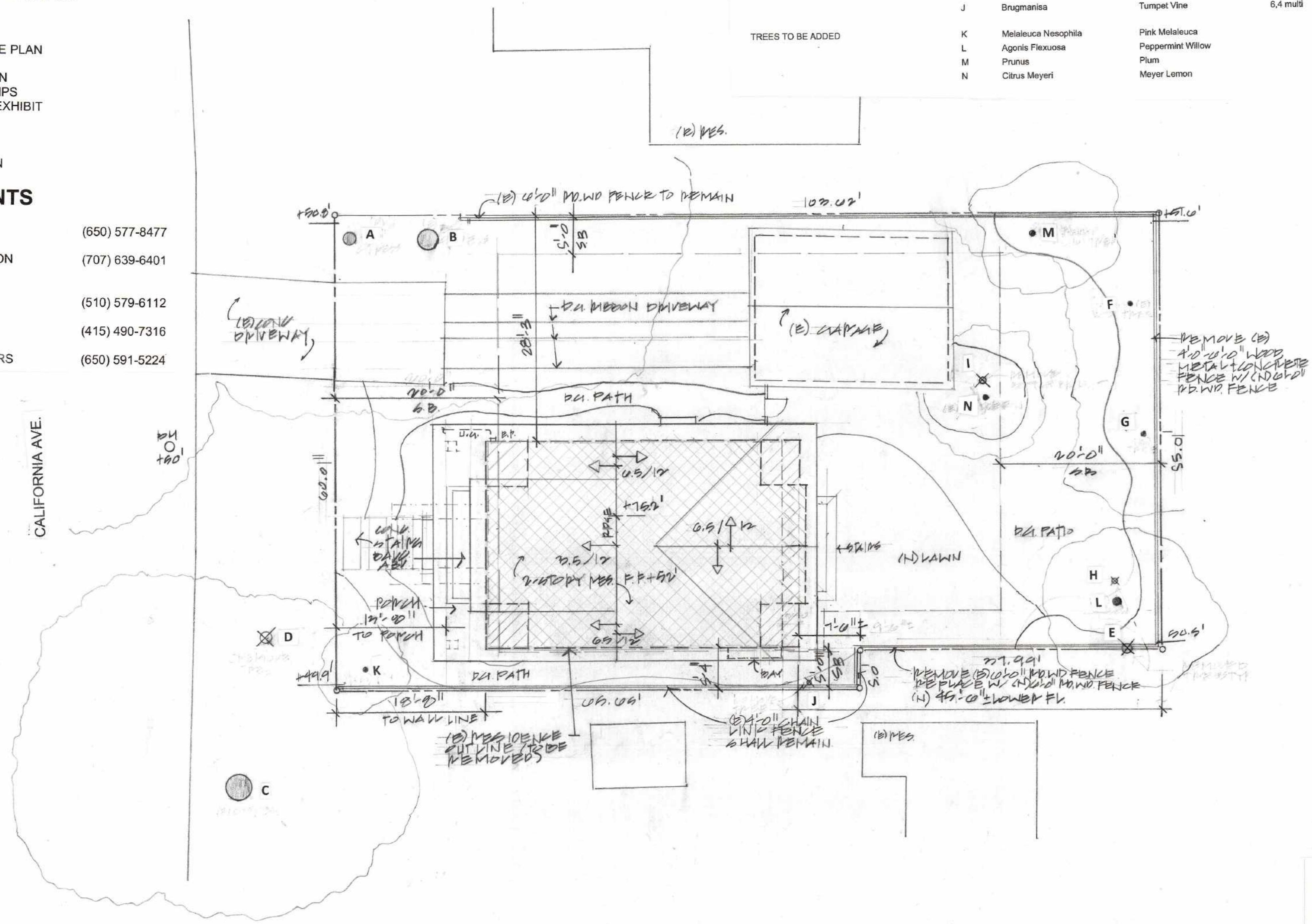
## LIST OF CONSULTANTS

- ARCHITECT: ROBERT MEDAN (650) 577-8477  
 OWNER: STEVE AND RUTH CLAWSON (707) 639-6401  
 SURVEYOR/CIVIL ENGINEER: WADE HAMMOND (510) 579-6112  
 ARBORIST: JAMES GOODRUM (415) 490-7316  
 SOILS ENGINEER: ROMIG ENGINEERS (650) 591-5224

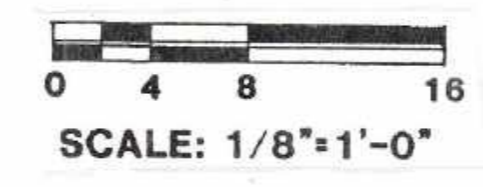
TREES:	Tag #	botanical name	common name	DBH (inches)	quantity
EXISTING TREES TO KEEP	A*	Hesperocyparis macrocarpa	Monterey Cypress	23.5	1
	B*	Hesperocyparis macrocarpa	Monterey Cypress	39.5	1
	C*	Hesperocyparis macrocarpa	Monterey Cypress	43.5	1
(this is on county property but dripline is affected)	F	Prunus	Plum	6,6 multi	1
	G	Prunus	Plum	8,4,4 multi	1
EXISTING TREES FOR REMOVAL	D*	Acacia melanoxylon	Blackwood Acacia	25	1
	E*	Salix	Willow	15	1
	H	Malus domestica	Apple	6	1
	I	Callistemon	Bottle Brush	6,6 multi	1
	J	Brugmanisa	Tumpet Vine	6,4 multi	1
TREES TO BE ADDED	K	Melaleuca Nesophila	Pink Melaleuca		1 15 gallon
	L	Agonis Flexuosa	Peppermint Willow		1 24 inch box
	M	Prunus	Plum		1 15 gallon
	N	Citrus Meyerii	Meyer Lemon		1 15 gallon

## PLANNING DATA

LOT:	6,092 S.F.	ZONE:	R-1/S17
APN:	037-228-020		
SETBACKS REQUIRED:	EXISTING	PROPOSED	
FRONT:	20'-0"	13'-8" PORCH, 18'-9" WALL	
REAR:	20'-0"	47'-5"	45'-6"
SIDES:	5'-0"		
LEFT:		28'-3"	28'-3"
RIGHT:		5'-4"	5'-4"
COVERAGE:			
EXISTING:	HOUSE-GARAGE-TOTAL:	994	TO BE DEMOLISHED
		447	
		1441	
PROPOSED:	HOUSE-PORCH-TOTAL:	1027	
		130	
		1157	
	GARAGE-TOTAL:	447	
	GRAND TOTAL:	1604	
PROPOSED:		1604	
ALLOWED AT 35%:		2132	
COVERAGE:		0.26	
FLOOR AREA:			
EXISTING:	FIRST FLOOR-SECOND FLOOR-TOTAL:	994	
		848	TO BE DEMOLISHED
		1842	
	GARAGE-TOTAL:	447	
	GRAND TOTAL:	2289	
F.A.R.:		0.37	
PROPOSED:	FIRST FLOOR-SECOND FLOOR-TOTAL:	1027	
		896	
		1923	
	GARAGE-TOTAL:	447	
		2370	
	PORCH-TOTAL:	130	
	GRAND TOTAL:	2500	
F.A.R.:		0.41	
HEIGHT:	EXISTING-PROPOSED:	22'-6"	
		25'-0"	
MAX. ALLOWED:		28'-0"	
PARKING:			
EXISTING:	2 COVERED		
PROPOSED:	2 COVERED		



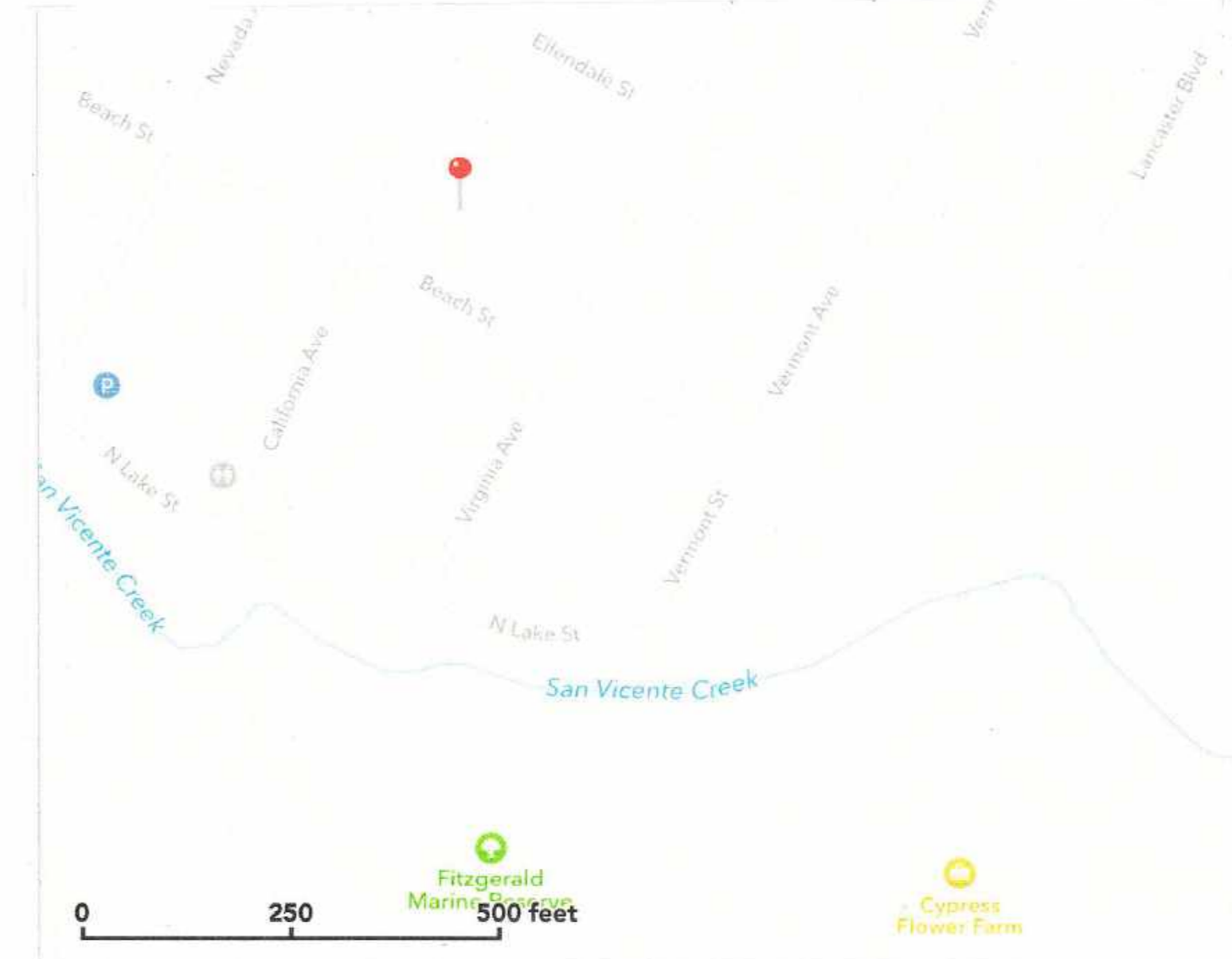
SITE PLAN



**LEGEND**

LOWER FLOOR	[Hatched pattern]
UPPER FLOOR	[Hatched pattern]

## LOCATION MAP



REVISIONS	BY
1	RM

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 ARCHITECT  
 1936 LOS ALTOS DRIVE  
 SAN MATEO, CA 94402  
 T 650.577.8477  
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 robertmedan@earthlink.net

**CLAWSON RESIDENCE**  
 NEW RESIDENCE  
 322 CALIFORNIA AVE.  
 MOSS BEACH, CALIFORNIA

Date	7.11.19
Scale	1/8"=1'-0"
Drawn	PM
Job	2019.04
Sheet	<b>A1</b>
Of	Sheets



COASTSIDE FIRE PROTECTION DISTRICT

10001 Street, Half Moon Bay, CA 94019 | Website: HYPERLINK
http://www.coastsidefire.org | www.coastsidefire.org
(650) 728-5213 | Fax: (650) 728-0132 | Email: HYPERLINK
mailto:coastfireadmin@fire.co.gov | castfire@fire.co.gov

Aug 11, 2020

Clawson Ruth
810 Cavalier Court
Fairfield, Ca. 94534-0000

SUBJECT: P192020-00485 -322 California Ave.
SFD

Your building plans have been reviewed with the following comments & conditions completed prior to a building permit issued by the Building Department. It is your responsibility to make contact with the fire department if you do not understand any of the following project conditions.

- 1. ADD Note to plans: Smoke Detectors which are hard wired: As per the California Building Code, State Fire Marshal regulations, and Coastside Fire District Ordinance 2019-03, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery back-up. These detectors are required to be placed in each new and recondition sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final. Date of installation must be added to exterior of the smoke alarm and will be checked at final.
2. ADD Note to plans: Smoke alarm/detector are to be hardwired, interconnected, or with battery back-up. Smoke alarms to be installed per manufactures instruction and NFPA 72.
3. ADD Note to plans: Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet, 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor. (CFC 1630).
4. Identify rescue windows in each bedroom and verify that they meet all requirements. Add this to plans.
5. ADD Note to plans: As per Coastside Fire District Standard CI-013, building identification shall be conspicuously posted and visible from the street. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 1/2-inch stroke. Such letters/numerals shall be internally illuminated and facing the direction of access. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire District. This remote signage shall consist of a 6 inch by 18 inch green

reflective metal sign with 3 inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent shall be placed at the entrance from the nearest public roadway.

- 6. ADD Note to plans: New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 1/2-inch stroke. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire District. This remote signage shall consist of a 6 inch by 18 inch green reflective metal sign with 3 inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE).
7. ADD Note to plans: As per Coastside Fire District Ordinance 2019-03, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
8. Vegetation Management (LRA) - Add note to plans: The Coastside Fire District Ordinance 2019-03, the 2019 California Fire Code 304.1.2
A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees.
Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10' to adjacent trees when fully grown or at maturity.
Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5' of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.
9. ADD Note to plans: Fire Hydrant: As per 2019 CFC, Appendix B and C, a fire district approved fire hydrant (Ctow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2019 CFC, Appendix B the hydrant must produce a minimum fire flow of 500 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.
10. ADD Note to plans: Automatic Fire Sprinkler System: (Fire Sprinkler plans will require a separate permit). As per San Mateo County Building Standards and Coastside Fire District Ordinance Number 2019-03, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. Sprinkler coverage shall be provided throughout the residence to include all bedrooms, garages, and any area used for storage. The only exception is small linen closets less than 24 square feet with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Division or The City of HMB. A building permit will not be issued until plans are received, reviewed and approved. Upon submission of

plans, the County or City will forward a complete set to the Coastside Fire District for review.

- 11. Installation of underground sprinkler pipe shall be flushed and visually inspected by Fire District prior to hook-up to riser. Any soldered fittings must be pressure tested with a trench open. Please call Coastside Fire District to schedule an inspection. Fees shall be paid prior to plan review.
12. Exterior bell and interior horn/strobe: are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener are to be wired into a separate circuit breaker at the main electrical panel and labeled.
13. Add note to the title page that the building will be protected by an automatic fire sprinkler system.
14. ADD Note to plans: Solar Photovoltaic Systems: These systems shall meet the requirements of the 2019 CFC Section 605.11

All fire conditions and requirements must be incorporated into your building plans, (see attached conditions) prior to building permit issuance. It is your responsibility to notify your contractor, architect and engineer of these requirements.

Our review is not construed as encompassing the structural integrity of the facility nor abrogating more restrictive requirements by other agencies having responsibility. Final acceptance is subject to field inspection and necessary tests.

NOTE: An additional re-inspection fee may be charged for missed appointments, failure to comply or not being ready.

For additional information or to schedule an inspection you may contact the Deputy Fire Marshal's cell phones Patrick 650 245-1722 or John 925-519-1517.

John Riddell
Deputy Fire Marshal

Cc: File



MONTARA WATER & SANITARY DISTRICT

Serving the Communities of Montara and Moss Beach
P.O. Box 370131 Tel: (650) 728-3545
8888 Cabrillo Highway Fax: (650) 728-8556
Montara, CA 94037-0131 E-mail: mwsd@coastside.net
Visit Our Web Site: http://www.mwsd.montara.com

August 1, 2020

Recommended Conditions of Approval for PLN2019-00485, APN 037118020, Owner Ruth Clawson, 322 California Street, Moss Beach:

Submit Existing Service Application and pay for the initial application fees based on the remodeling type determined by the SMC. Applicant shall follow the procedures specified in the Existing Service Application Packet.

Fixture Units above 25 will be charged as new fixture additions. Cut and cap the sewer near the property line, mark location with a pressure treated 4x4 post. Video CCTV lower lateral and submit to MWSD (sanitary district) for review. Any defects or pipe that is not to current District code shall be replaced. Current code construction details and additional backflow protection requirements shall apply.

Water meter upgrade may be required. The condition of the existing water meter(s), BFP and water lateral connection shall be inspected by MWSD to determine if they are in good working condition; MWSD may require repair or replacement of the existing water meter(s), BFP and water lateral connection.

If connection to the District's fire protection system is required: Certified Fire Protection Contractor must certify adequate fire flow calculations. Connection fee for fire protection system is required. Connection charge must be paid prior to issuance of Private Fire Protection permit.

Applicants must first apply directly to District for permits and not their contractor.

Clemens Heldmaier
MWSD

WATER

FIRE

CONDITIONS OF APPROVAL

Table with 2 columns: REVISIONS, BY. Row 1: P114, 8/16/20, RM

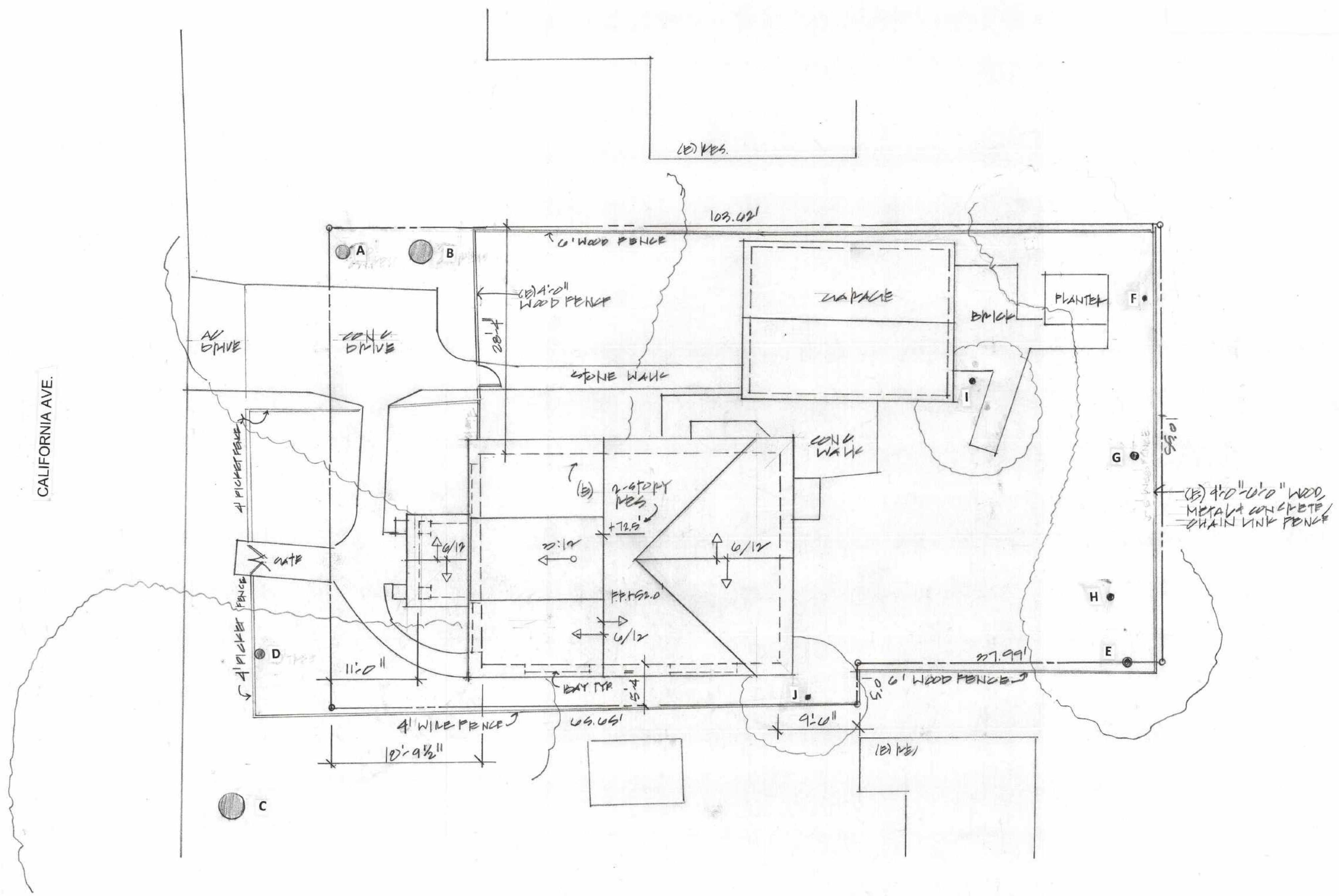
ROBERT MEDAN
ARCHITECT
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SAN MATEO, CA 94402
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CLAWSON RESIDENCE
NEW RESIDENCE
322 CALIFORNIA AVE.
MOSS BEACH, CALIFORNIA

Table with 2 columns: Date, Scale, Drawn, Job, Sheet. Date: 8.11.20, Job: 2019.02, Sheet: CA

REVISIONS	BY
PLN 9/16/20	BM

TREES:	Tag #	botanical name	common name	DBH (inches)	quantity
EXISTING TREES TO KEEP	A*	Hesperocyparis macrocarpa	Monterey Cypress	23.5	1
	B*	Hesperocyparis macrocarpa	Monterey Cypress	39.5	1
	C*	Hesperocyparis macrocarpa	Monterey Cypress	43.5	1
(this is on county property but dripline is affected)	F	Prunus	Plum	6,6 multi	1
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EXISTING TREES FOR REMOVAL	D*	Acacia melanoxylon	Blackwood Acacia	25	1
	E*	Salix	Willow	15	1
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	J	Brugmanisa	Tumpel Vine	6,4 multi	1

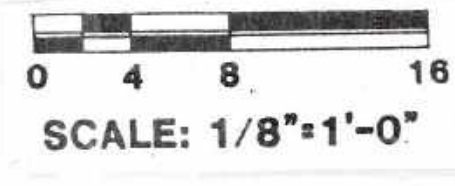


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**CLAWSON RESIDENCE**  
NEW RESIDENCE  
322 CALIFORNIA AVE.  
MOSS BEACH, CALIFORNIA

Date 7.11.19  
Scale 1/8"=1'-0"  
Drawn BM  
Job 2019.02  
Sheet **A1.1**  
Of 1 Sheets

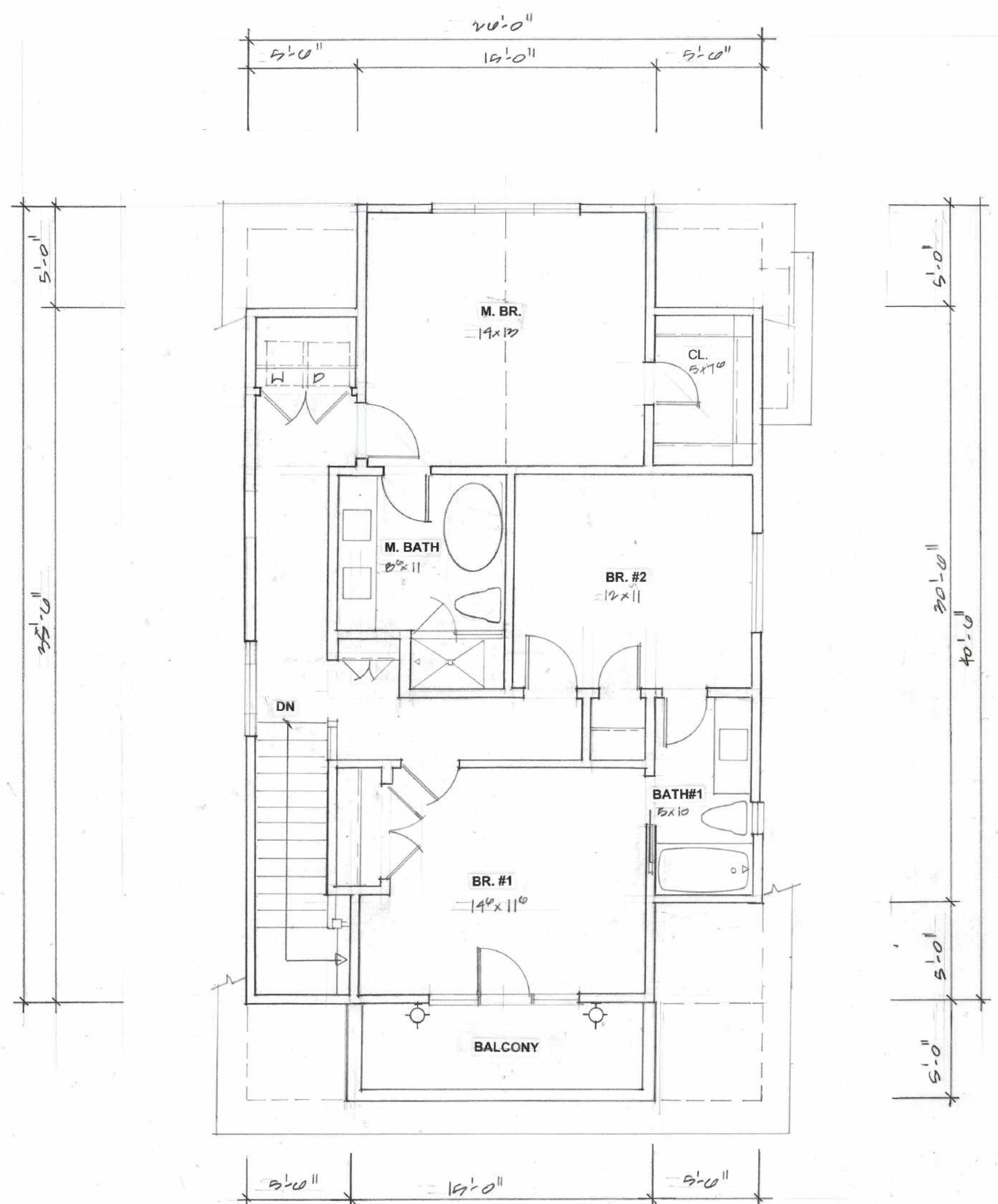
AS-BUILT SITE PLAN



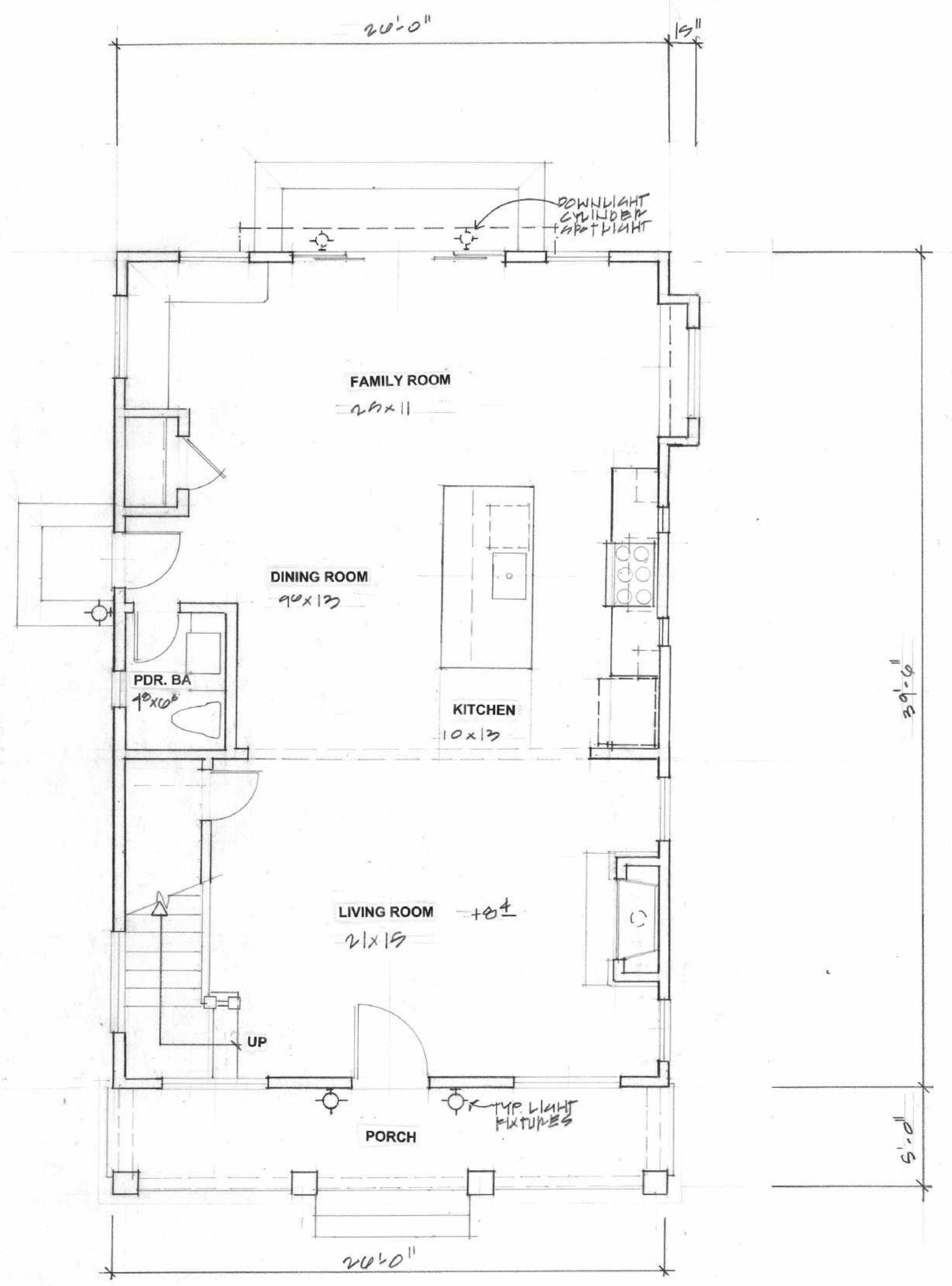
REVISIONS	BY

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**CLAWSON RESIDENCE**  
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MOSS BEACH, CALIFORNIA



PROPOSED SECOND FLOOR PLAN 1/4"=1'-0"

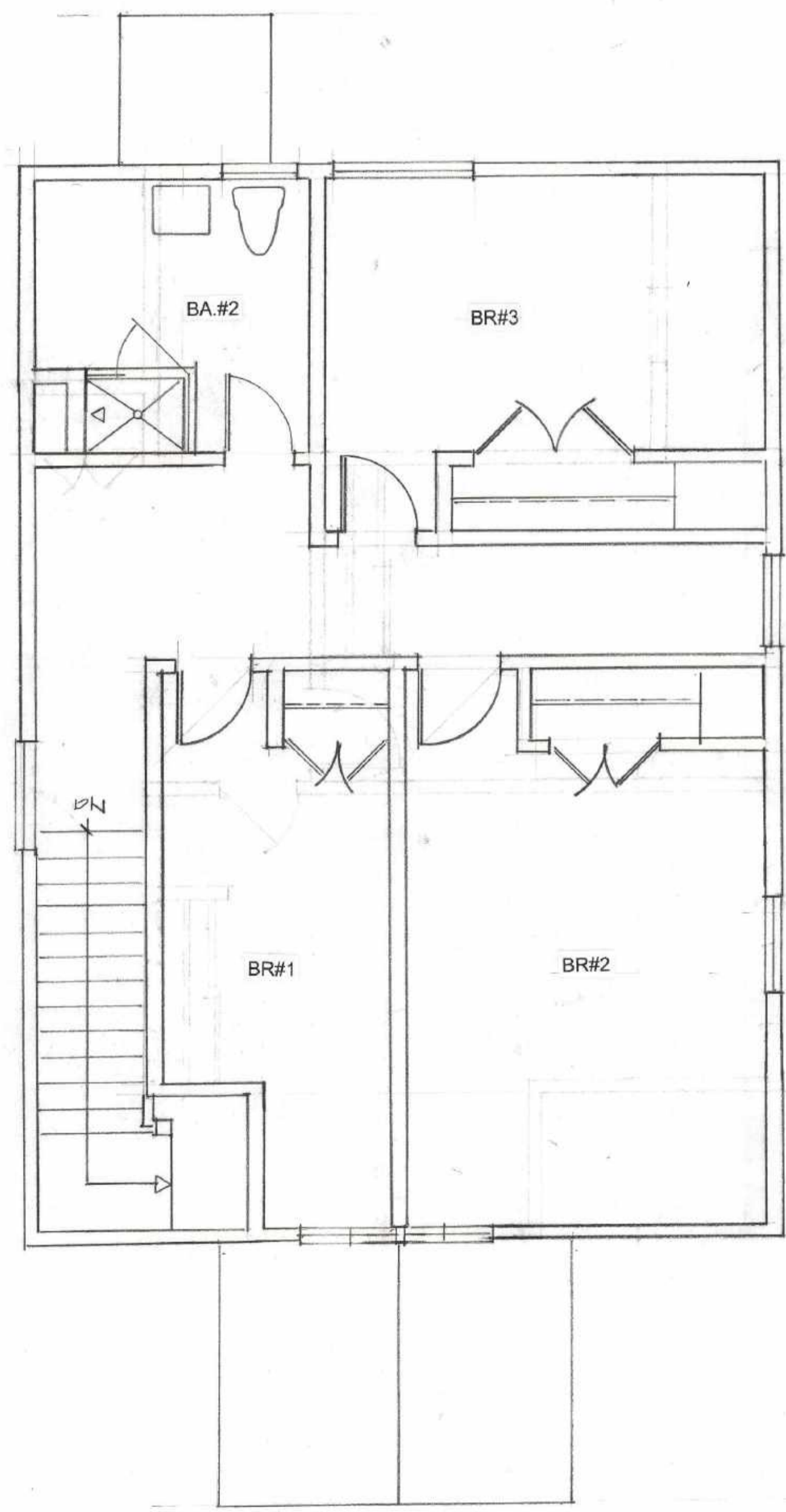


PROPOSED FIRST FLOOR PLAN 1/4"=1'-0"

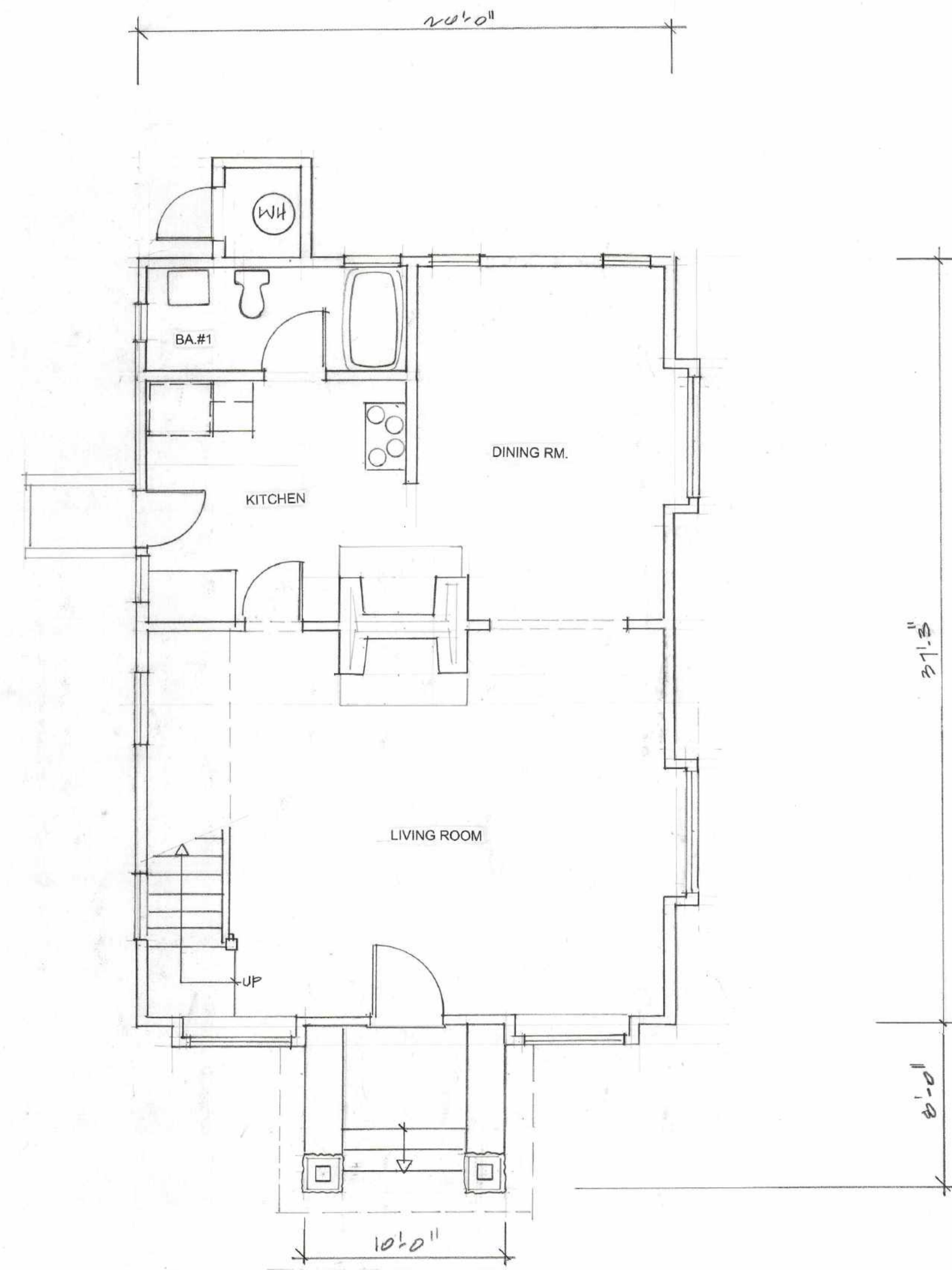
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Drawn	MM
Job	2019.02
Sheet	<b>A2</b>
Of	Sheets

REVISIONS	BY
PLN 1	RM
2/10/20	

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SECOND FLOOR PLAN



FIRST FLOOR PLAN

AS-BUILT FLOOR PLANS

**CLAWSON RESIDENCE**  
NEW RESIDENCE  
322 CALIFORNIA AVE.  
MOSS BEACH, CALIFORNIA

Date	7.11.19
Scale	1/4" = 1'-0"
Drawn	RM
Job	2019.02
Sheet	<b>A2.1</b>

REVISIONS	BY

**PROPOSED BUILDING MATERIALS**

- ① ROOFING: GAF ELK PRESTIQUE 40 YEAR- CHARCOAL
- ② WINDOWS: KOLBE-KOLBE METAL CLAD CASEMENTS/DOUBLE HUNG
- ③ WALL FINISH: MATCH EXISTING 5" BEVELED WOOD SIDING
- ④ STANDING SEAM METAL ROOF
- ⑤ NOMINAL 8" SQUARE WRAPPED COLUMNS
- ⑥ 4"x4" CORBEL WITH 4"x8" WOOD BRACE
- ⑦ 2"x12" SURFACED TRIM BOARD
- ⑧ RECLAIMED NATURAL STONE VENEER
- ⑨ WOOD CRAFTSMEN DOOR

TRIM AND WINDOW COLOR  
 KELLEY-MOORE  
 FRANK LLOYD WHITE  
 FLS4202

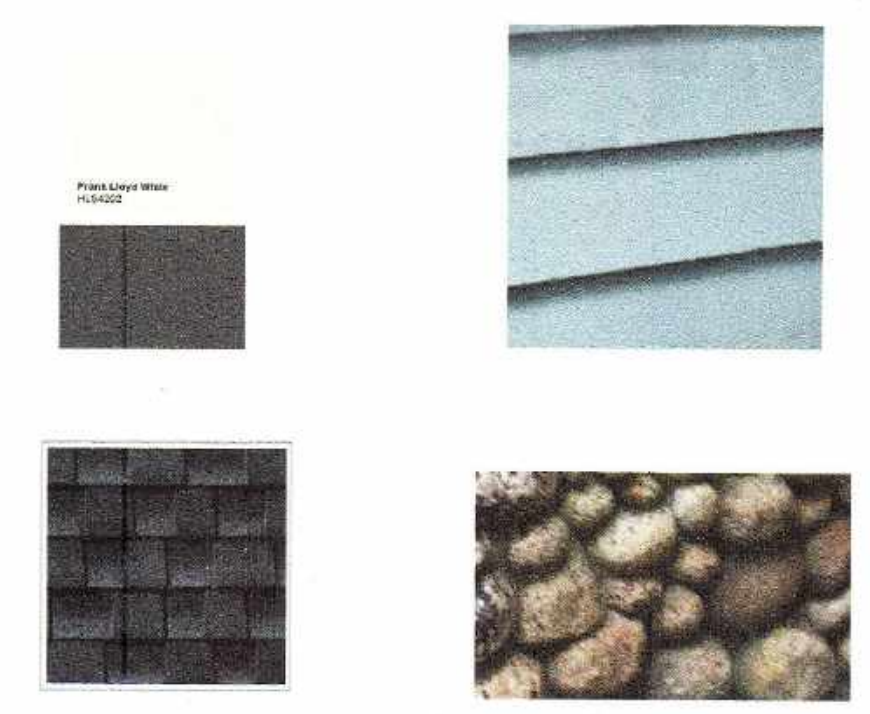
ROOF COLOR  
 GAF ELK PRESTIQUE 40  
 YEAR ROOF  
 TIMBERLINE HD IN  
 CHARCOAL

WOOD SIDING:  
 BEVELED WOOD TO  
 MATCH EXISTING  
 COLOR  
 KELLEY-MOORE  
 NATIVE FLOORA  
 KM5745

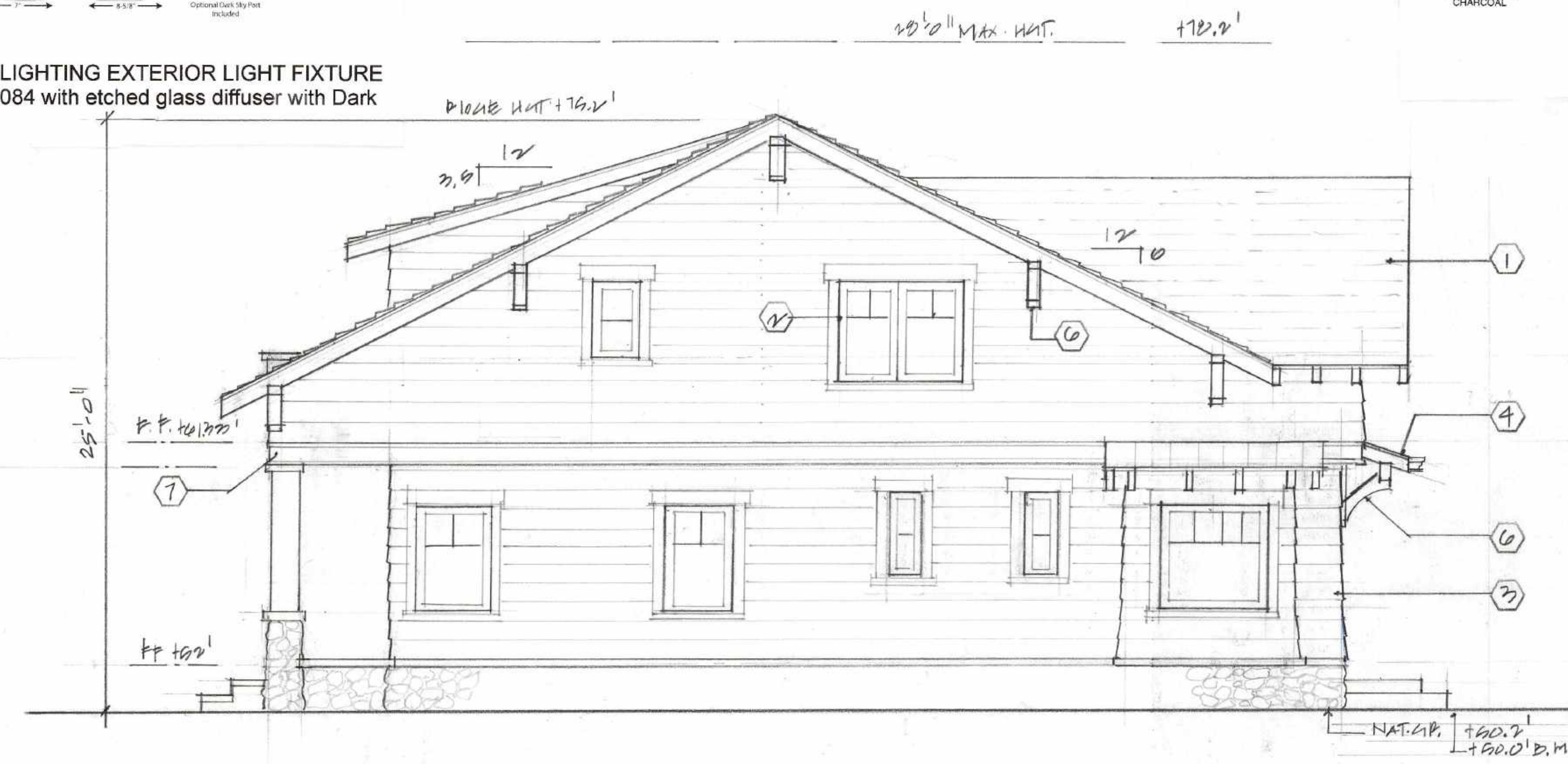
STONE VENEER  
 REUSE EXISTING HOME'S  
 WATER WASHED STONE

CLAWSON RESIDENCE  
 322 CALIFORNIA AVE.  
 MOSS BEACH  
 ROBERT MEDAN AIA

**COLOR AND MATERIAL BOARD**



PROGRESS LIGHTING EXTERIOR LIGHT FIXTURE  
 Wish LED P6084 with etched glass diffuser with Dark  
 Sky option.



**PROPOSED RIGHT ELEVATION (south)**



**PROPOSED REAR ELEVATION (east)**



**PROPOSED LEFT ELEVATION (north)**



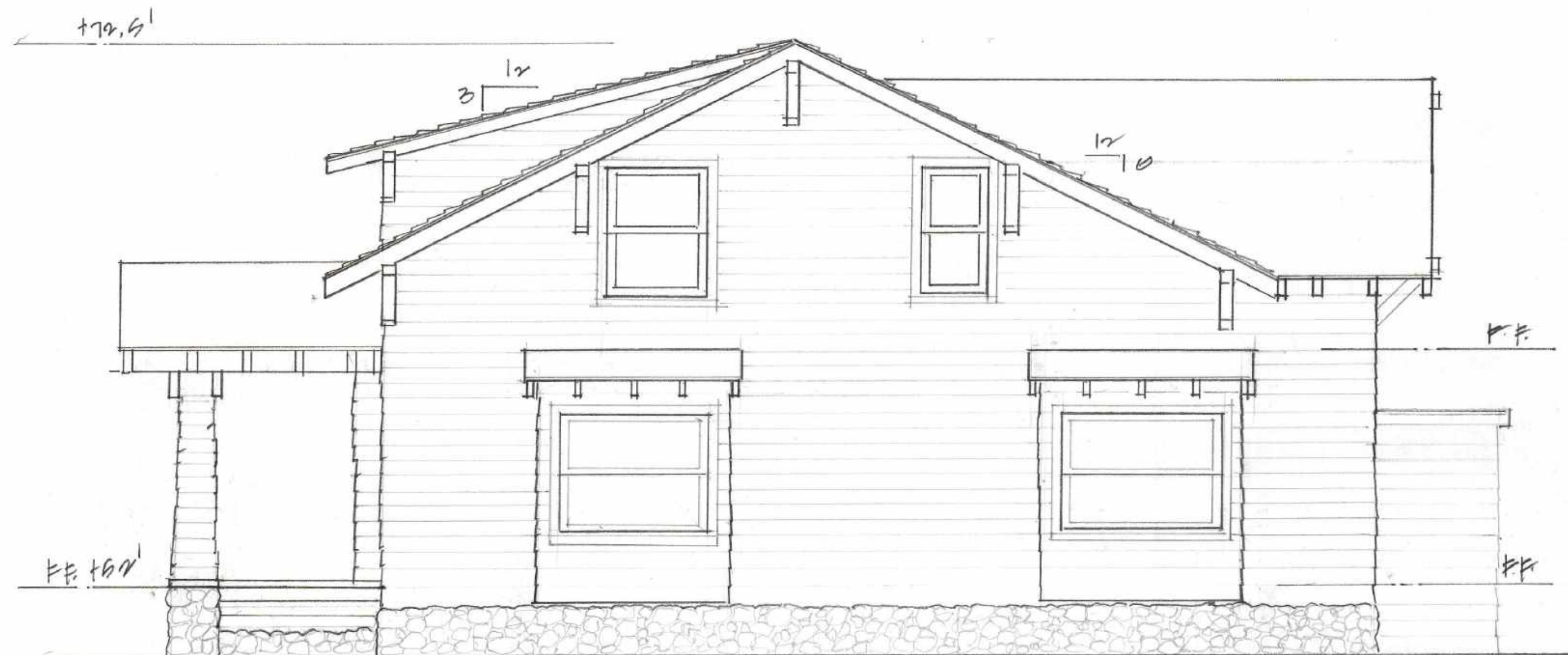
**PROPOSED FRONT ELEVATION (west) 1/4"=1'-0"**

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**CLAWSON RESIDENCE**  
 NEW RESIDENCE  
 322 CALIFORNIA AVE.  
 MOSS BEACH, CALIFORNIA

Date 7.11.19  
 Scale 1/4"=1'-0"  
 Drawn RM  
 Job 2019.02  
 Sheet  
**A3**  
 Of 3 Sheets

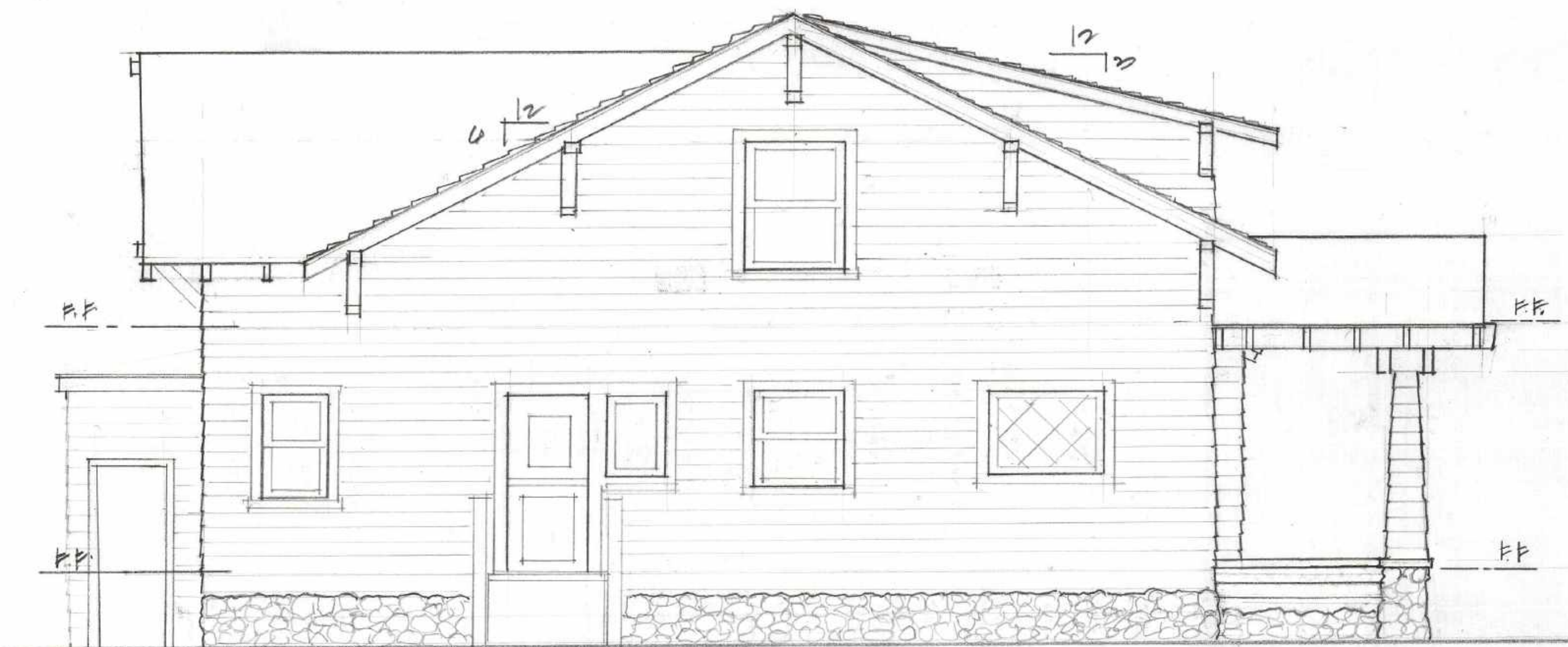
REVISIONS	BY



EXISTING RIGHT ELEVATION (south) 1/4"=1'-0"



EXISTING REAR ELEVATION (east) 1/4"=1'-0"



EXISTING LEFT ELEVATION (north) 1/4"=1'-0"



EXISTING FRONT ELEVATION (west) 1/4"=1'-0" AS-BUILT EXTERIOR ELEVATIONS

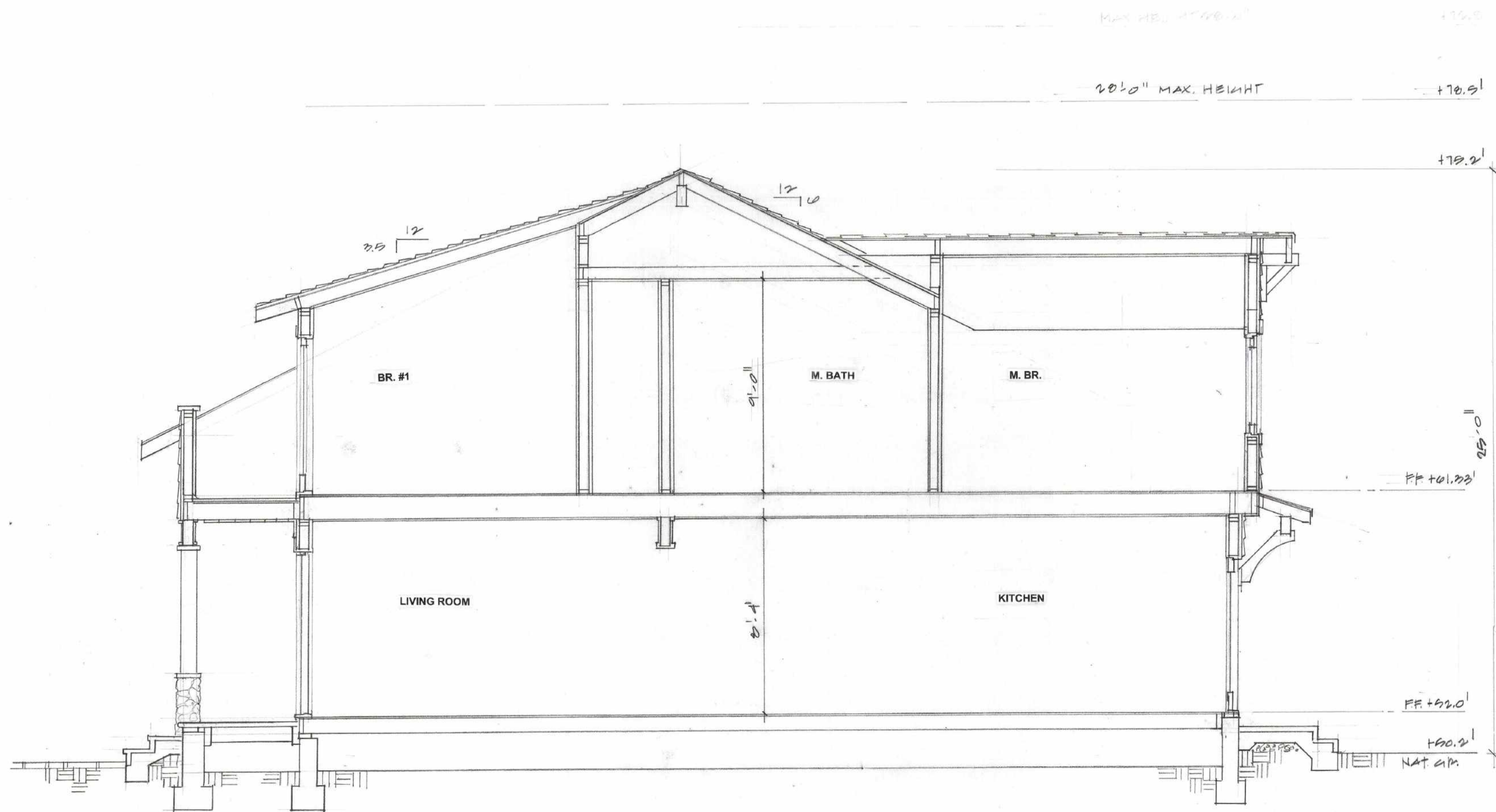
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Date 7.11.19  
Scale 1/4"=1'-0"  
Drawn KM  
Job 2019.02  
Sheet  
**A3.1**  
Of 3 sheets

REVISIONS	BY

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**BUILDING SECTION A-A** 2/8" = 1'-0"

**CLAWSON RESIDENCE**  
 NEW RESIDENCE  
 322 CALIFORNIA AVE.  
 MOSS BEACH, CALIFORNIA

Date 7.11.19  
 Scale 3/8" = 1'-0"  
 Drawn PM  
 Job 2019.02  
 Sheet  
**A4**  
 Of Sheets

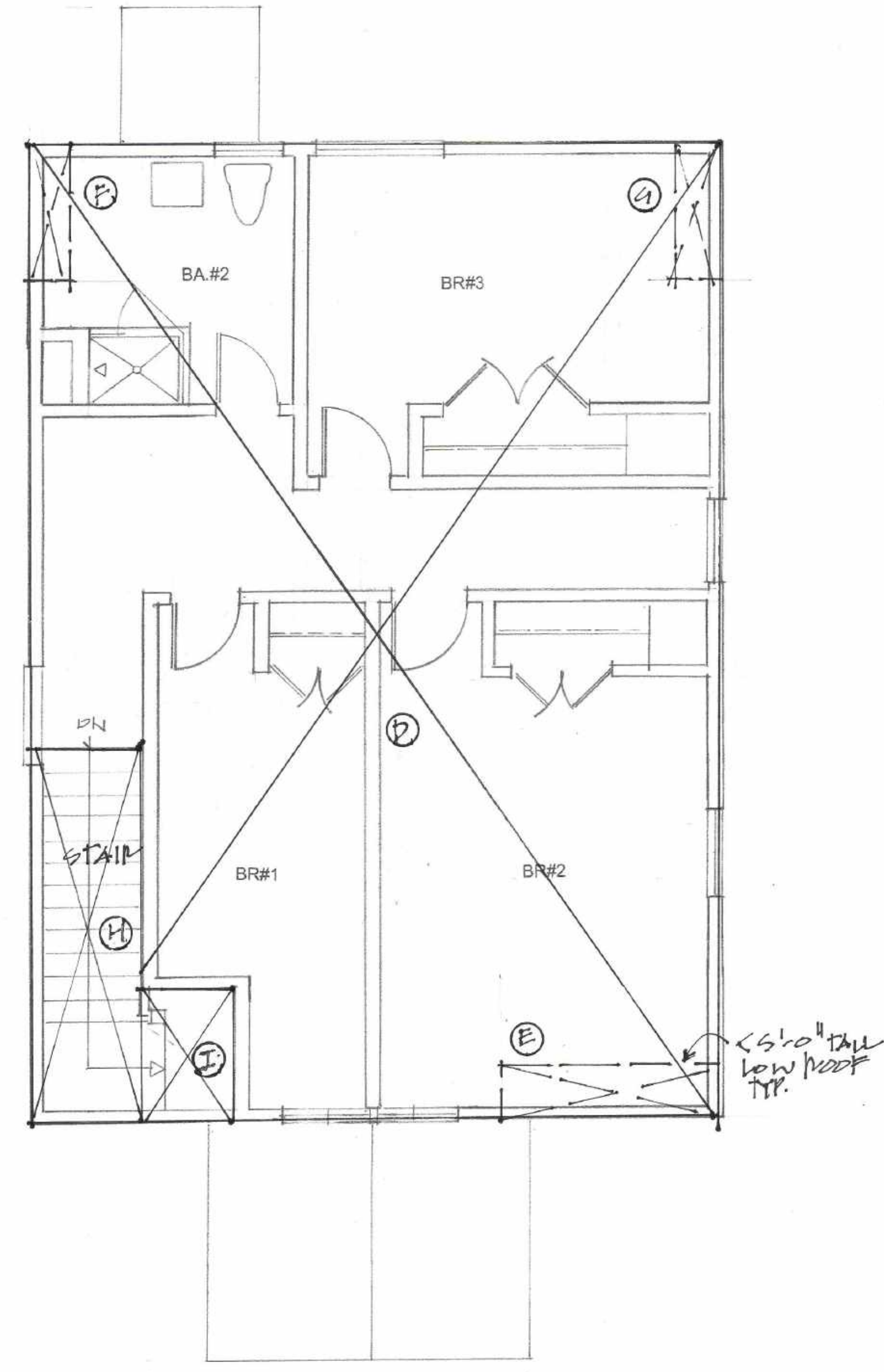


FIRST FLOOR		
SECTION	DIMENSION	
A	37.25X26	968
B	6X1X2	12
C	7X1X2	14
SUB-TOTAL		994
SECOND FLOOR		
D	37.25X26	968
E	8X2	16 SUBTRACT
F	5X2	10 SUBTRACT
G	5X2	10 SUBTRACT
H	5X14	70 SUBTRACT
I	4.5X3	14 SUBTRACT
SUB-TOTAL		120
		968-120=
		848
GRAND TOTAL		1842

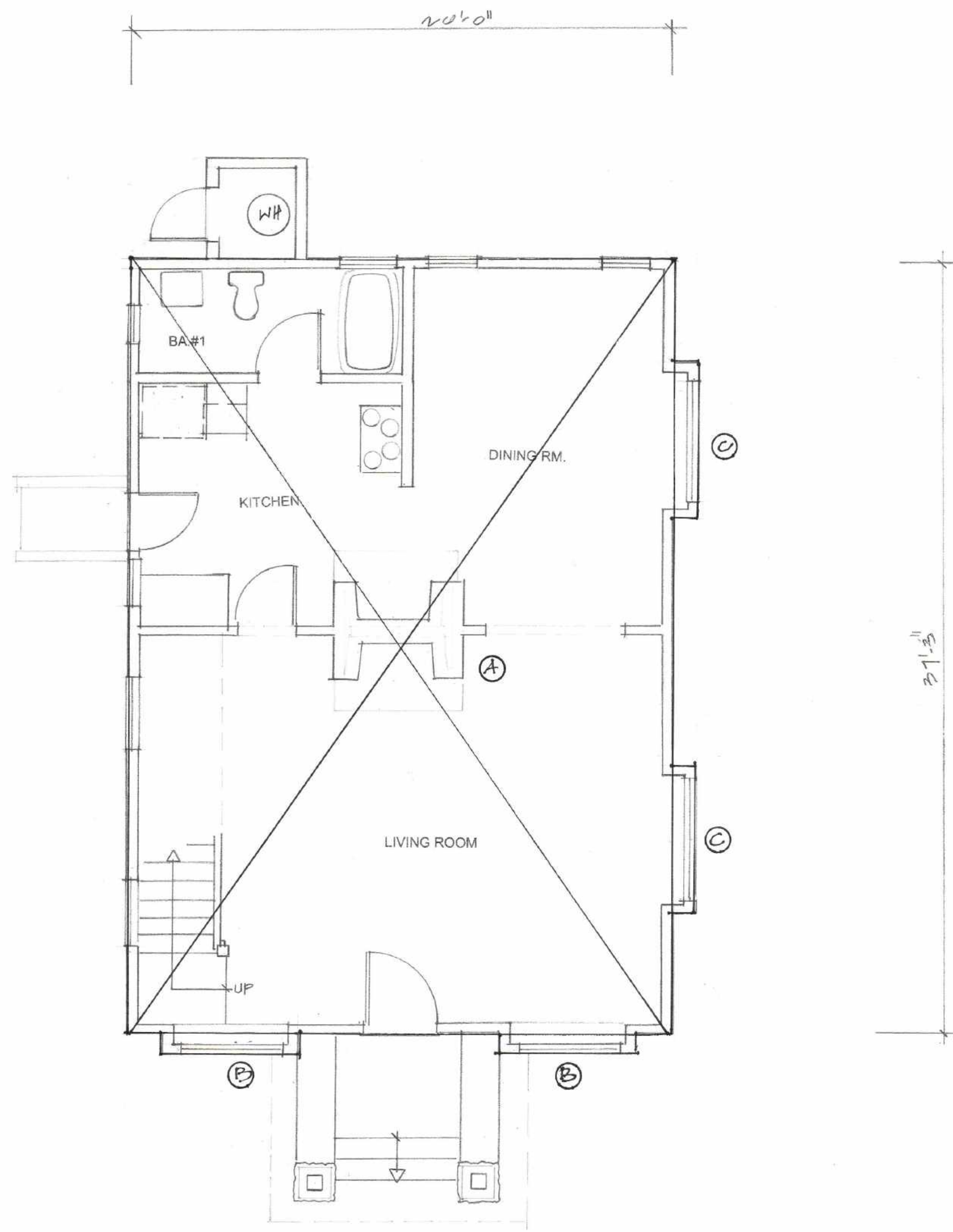
REVISIONS	BY

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SECOND FLOOR PLAN



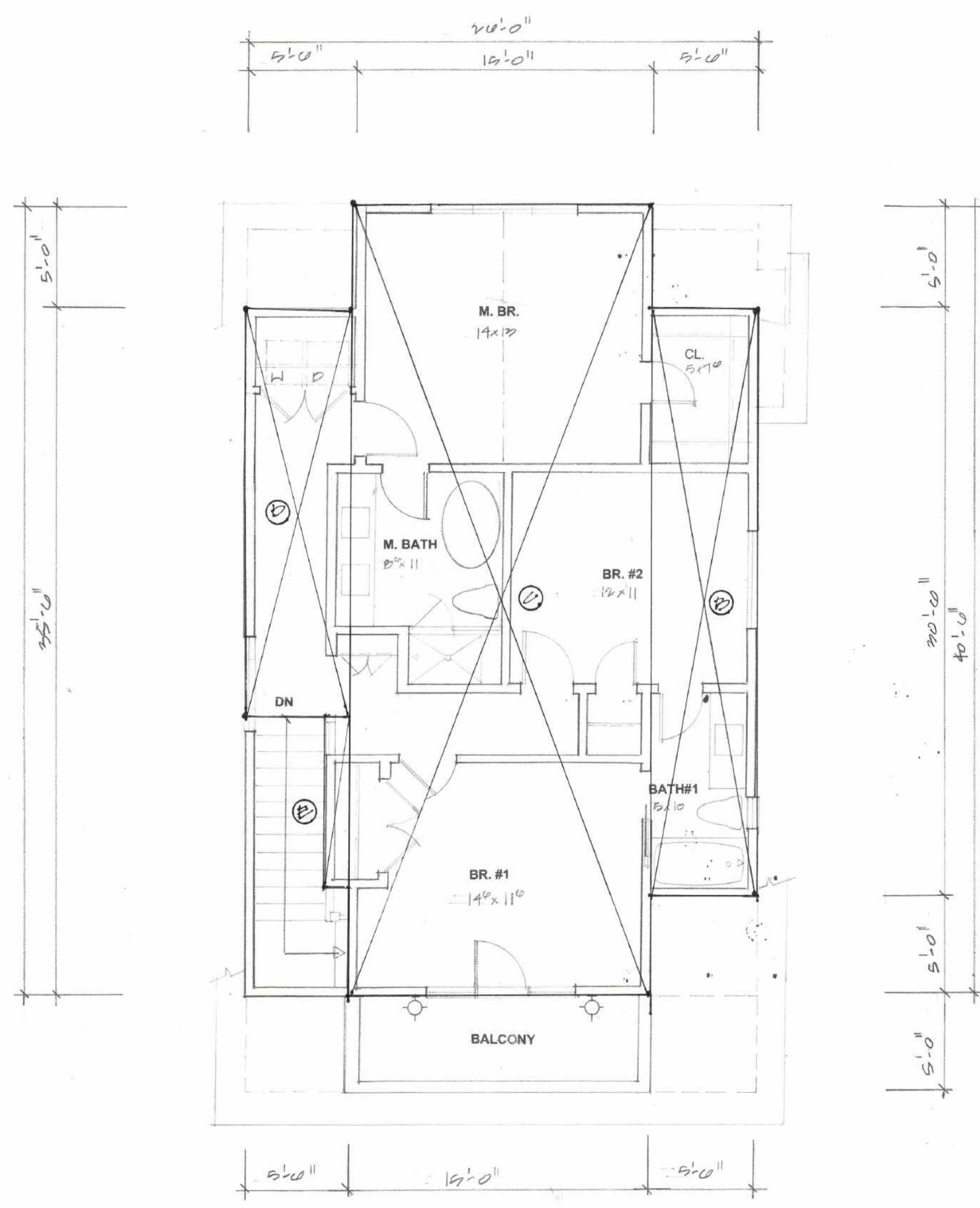
FIRST FLOOR PLAN

AS-BUILT FLOOR AREA DIAGRAM

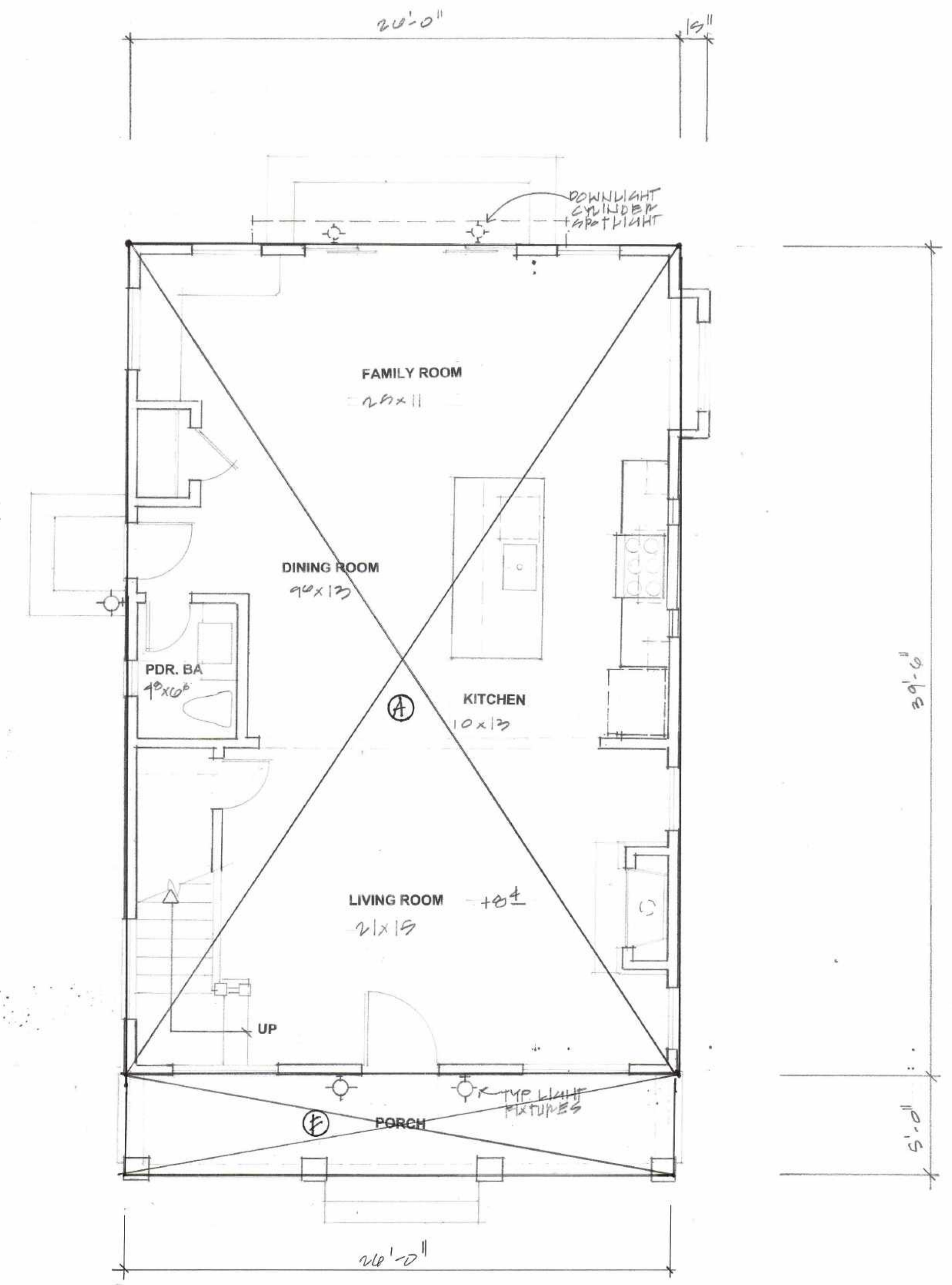
Date 7.11.19  
 Scale 1/4" = 1'-0"  
 Drawn MM  
 Job 201902  
 Sheet  
**A5**

REVISIONS	BY

FIRST FLOOR PROPOSED		
SECTION	DIMENSION	
A	39.5X26	1027
SUB-TOTAL		1027
SECOND FLOOR		
B	30.5X5.5	167.75
C	40.5X15	607.5
D	5.5X20.75	114.25
E	8.5X.75	6.5
SUB-TOTAL		896
F	5X26	130 PORCH
GRAND TOTAL		2053



PROPOSED SECOND FLOOR PLAN 1/4"=1'-0"



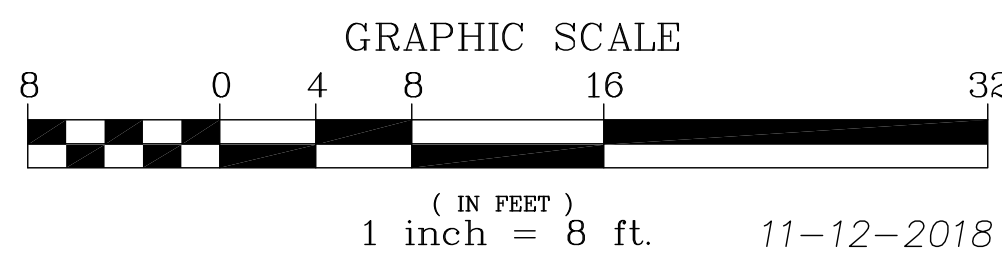
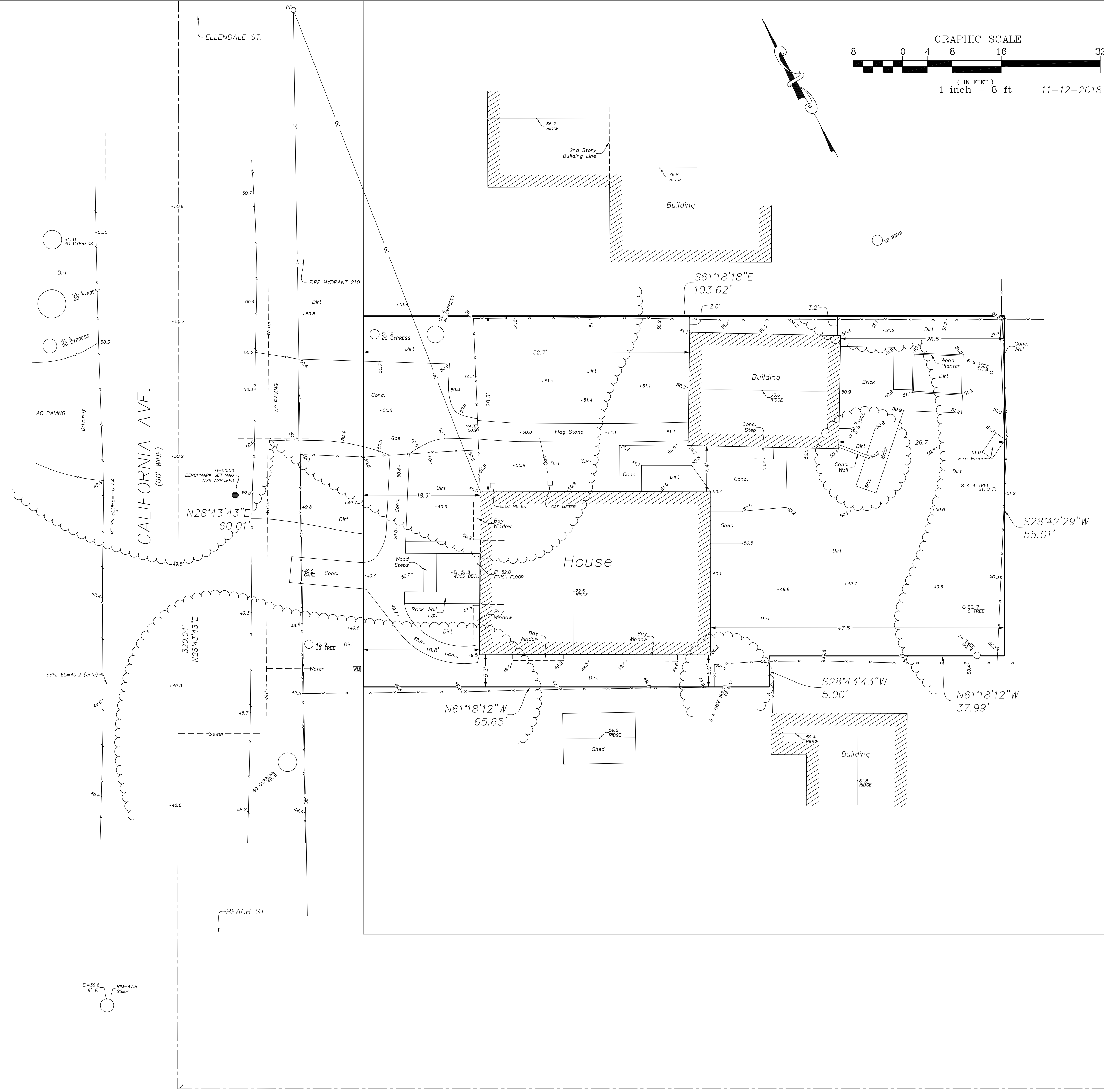
PROPOSED FIRST FLOOR PLAN 1/4"=1'-0"

PROPOSED FLOOR AREA DIAGRAM

**ROBERT MEDAN**  
 ARCHITECT  
 1936 LOS ALTOS DRIVE  
 SAN MATEO, CA 94402  
 T 650.577.8477  
 F 650.577.8313  
 robertmedan@earthlink.net

**CLAWSON RESIDENCE**  
 NEW RESIDENCE  
 322 CALIFORNIA AVE.  
 MOSS BEACH, CALIFORNIA

Date 7.11.19  
 Scale 1/4"=1'-0"  
 Drawn MM  
 Job 2019.02  
 Sheet **A6**  
 Of 1 sheets



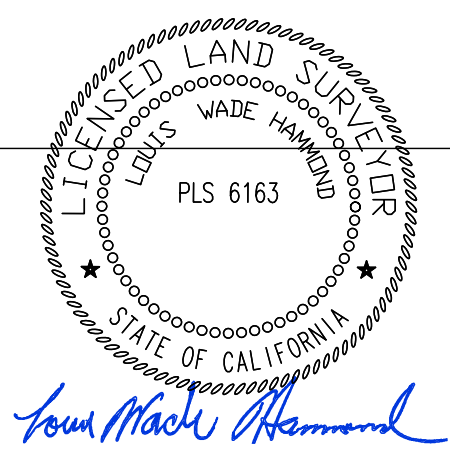
**NOTES**  
 ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.  
 UNDERGROUND UTILITY - LOCATION IS BASED ON SURFACE EVIDENCE.  
 BUILDING LOCATION DIMENSIONS ARE MEASURED PERPENDICULAR TO THE PROPERTY LINES.  
 DIMENSIONS TO THE BUILDING ARE TAKEN AT THE EXTERIOR FINISHED SURFACE. THE BUILDING EXTERIOR FINISHED SURFACE IS WOOD SIDING AND VARIES APPROXIMATELY 0.04'-0.07' IN THICKNESS.  
 FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).  
 BENCHMARK: ASSUMED DATUM, POINT AS SHOWN  
 A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY L. WADE HAMMOND LAND SURVEYOR. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.  
 TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS.  
 TREES SHOWN ARE 6" TRUNK DIAMETER OR LARGER, MEASURED 5' ABOVE GRADE

**LEGEND**

- FOUND POINT IN MONUMENT CASTING (AS NOTED)
- FOUND POINT AS NOTED
- ( ) RECORD DATA / REFERENCE
- WM WATER METER OR WATER VALVE BOX
- ⊕ FIRE HYDRANT
- 16 12 8 OAK TREE - TRUNK DIAMETER IN INCHES. TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS
- ⊕ 16 12 8 OAK TREE WITH MULTIPLE TRUNKS
- TRUNK ↑ TREE DRIP LINE POINTS TOWARDS TREE TRUNKS. TREE DRIP LINES ABOVE PROPERTY LOCATED AS SHOWN.
- +25.34 TC TOP OF CURB
- x—x—x—x— FENCE
- DE— OVERHEAD WIRES
- PP POWER POLE
- + 12.34 SPOT ELEVATION
- |—|—|—|— EDGE OF AC PAVING
- GAS UNDERGROUND PAINT MARKINGS PROVIDED BY OTHERS.

**ABBREVIATIONS**

AC	ASPHALT
CONC.	CONCRETE
TC	TOP OF CURB
FL	FLOW LINE
SSMH	SANITARY SEWER MANHOLET



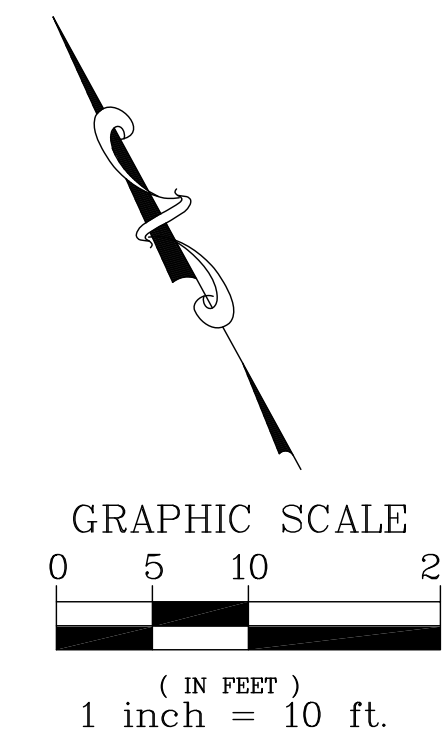
**L. Wade Hammond**  
 Licensed Land Surveyor  
 No. 6163  
 36660 Newark Blvd. Suite C  
 Newark, California 94560  
 Tel: (510) 579-6112 Fax: (510) 991-8054  
 wade@whlandsurveyor.com

**BOUNDARY AND TOPOGRAPHIC SURVEY**  
 322 CALIFORNIA AVE.  
 MOSS BEACH  
 APN: 037-118-020  
 DOC# 2018-061663  
 LOT AREA: 6,092 SQ. FT.

# CLAWSON RESIDENCE

## 322 CALIFORNIA AVENUE

### MOSS BEACH, CA 94038



### PROJECT DESIGN TEAM

OWNER: RUTH CLAWSON  
322 CALIFORNIA AVENUE  
MOSS BEACH, CA 94038  
(707)639-6401  
RUTHCLAWSON@GMAIL.COM

ARCHITECT: ROBERT MEDAN  
1936 LOS ALTOS DRIVE  
SAN MATEO, CA 94402  
(650)577-8477  
ROBERT@MEDANARCH.COM

SOIL: ROMIG ENGINEERS, INC.  
1390 EL CAMINO REAL, 2ND FLOOR  
SAN CARLOS, CA 94070  
(650)591-5224  
WWW.ROMIGENGINEERS.COM

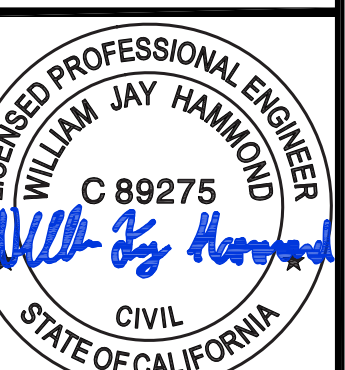
SURVEYOR: L. WADE HAMMOND  
36660 NEWARK BLVD. SUITE C  
NEWARK, CA 94560  
(510)579-6112  
WADE@WHLANDSURVEYOR.COM

CIVIL: WILLIAM J. HAMMOND  
3660 NEWARK BLVD. SUITE C  
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WILL@WHLANDSURVEYOR.COM

**L. Wade Hammond**  
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36660 Newark Blvd. Suite C  
Newark, California 94560  
Tel: (510)579-6112 wade@whlandsurveyor.com

SCALE	1" = 10'
DATE	11-13-2019
JOB#	4290
APN	037-118-020

**CLAWSON RESIDENCE**  
**322 CALIFORNIA AVENUE**  
**MOSS BEACH, CA 94038**  
UNINCORPORATED SAN MATEO COUNTY



REVISIONS	DATE
REMOVE TREE, HYDRO, EROSION	11-23-2019
TREE PROTECTION, ERO. CTRL	5-20-2020
PLAN & BLDG. REVIEW	8-6-2020

NUMBER	REVISIONS	DATE
1	REMOVE TREE, HYDRO, EROSION	11-23-2019
2	TREE PROTECTION, ERO. CTRL	5-20-2020
3	PLAN & BLDG. REVIEW	8-6-2020

SHEET NUMBER

**C-1**

#### CAUTION

- CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. PHONE (800) 642-2444. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY WORK.

#### GENERAL SITE NOTES

- ALL WORK ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS AND SPECIFICATIONS.
- CONTRACTOR SHALL REVIEW THE PLANS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE; AND REPORT ANY DISCREPANCIES TO THE CIVIL ENGINEER OF RECORD.
- ALL WORK SHALL CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL OR SOIL REPORT
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.
- ALL DISTANCES AND DIMENSION SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

#### DEMOLITION NOTES

- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL REQUIREMENTS TO REMOVE AND DISPOSE OF HAZARDOUS MATERIALS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY FOR DEMOLITION.
- TRENCHES AND DEPRESSIONS RESULTING FROM DEMOLITION TO BE BACKFILLED TO THE SATISFACTION OF THE PROJECT GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES PRIOR TO BEGINNING DEMOLITION ACTIVITIES AS SPECIFIED IN THE EROSION AND SEDIMENT CONTROL PLAN.

#### RECORD DRAWINGS

- PRIOR TO FINAL APPROVAL; A CORRECTED AND COMPLETE SET OF RECORD DRAWINGS SHALL BE SUBMITTED TO APPLICABLE MUNICIPALITIES. THE CONTRACTOR SHALL KEEP AN ACCURATE RECORD OF ANY AND ALL CHANGES MADE FROM THE ORIGINAL DRAWINGS THROUGHOUT THE DURATION OF THE ENTIRE CONSTRUCTION PERIOD.

#### TREE PRESERVATION

- REMOVAL OF EXISTING TREES WITHIN THE DEVELOPMENT IS SUBJECT TO THE APPROVAL OF THE LOCAL GOVERNING MUNICIPALITY.
- TREE PRESERVATION MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION, DEMOLITION AND/OR GRADING ACTIVITIES COMMENCE AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD
- TREES CALLED OUT FOR PRESERVATION SHALL BE FENCED AT THE DRIPLINE. FENCING MAY OCCUR AT THE COMBINED DRIPLINES OF GROVES OF TREES. PLACE 3 INCH BARK MULCH BENEATH DRIPLINES OF TREES TO BE PRESERVED.
- FENCING SHALL BE 6 FEET TALL CHAIN LINK FENCING WITH STEEL POSTS EMBEDDED IN THE GROUND.
- NO GRADING SHALL OCCUR WITHIN THE DRIPLINES/FENCED AREA OF EXISTING TREES.
- NO CONSTRUCTION MATERIALS OR CONSTRUCTION VEHICLES MAY BE STORED WITHIN THE DRIPLINES/FENCED AREA OF EXISTING TREES.

#### PAVEMENT SECTIONS

- CONTRACTOR SHALL REFER TO THE STRUCTURAL DRAWINGS FOR BUILDING FOUNDATION SECTIONS AND PAD PREPARATIONS.
- CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR EXTERIOR HARDSCAPE AND VEHICULAR PAVEMENT REQUIREMENTS.

#### SITE MAINTENANCE

- REMOVE ALL SEDIMENT, DEBRIS, REFUSE AND GREEN WASTE FROM STREET AND STORM DRAINS ADJOINING THE SITE. PROVIDE A RUMBLE RACK OR PLATE IF CONSTRUCTION ACCESS IS PAVED; INSTALL A GRAVELED CONSTRUCTION ENTRANCE IF NOT. DO NOT DRIVE VEHICLES AND EQUIPMENT OFF THE PAVED OR

GRAVELED AREAS DURING WET WEATHER.

- SWEEP OR VACUUM THE STREET PAVEMENT AND SIDEWALKS ADJACENT TO THE PROJECT SITE AS NECESSARY TO KEEP THE PUBLIC RIGHT-OF-WAY FREE OF SEDIMENT OR DEBRIS TRACKED-OUT FROM CONSTRUCTION ACTIVITIES.
- PROVIDE A COVERED CONTAINMENT AREA TO STORE CEMENT, PAINTS, OILS, FERTILIZERS, PESTICIDES OR OTHER MATERIALS THAT HAVE THE POTENTIAL OF BEING DISCHARGED INTO THE STORM DRAIN SYSTEM IN THE EVENT OF A SPILL.
- CONTRACTOR SHALL NOT CLEAN EQUIPMENT, MACHINERY OR TOOLS IN STREET, GUTTER OR STORM DRAIN.
- CONTRACTOR SHALL ENSURE THAT CONCRETE TRUCKS, PAINTERS OR FINISHING CONTRACTORS DO NOT DISCHARGE WASH WATER FROM MACHINERY, TOOLS OR EQUIPMENT INTO STREET, GUTTER OR STORM DRAIN.
- PROJECT OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL ON-SITE STORM DRAIN IMPROVEMENTS UPON PROJECT COMPLETION.

#### DUST CONTROL

- CONTRACTOR SHALL WATER SITE AS DEEMED NECESSARY BY THE INSPECTOR TO ENSURE PROPER DUST CONTROL FOR THE DURATION OF THE CONSTRUCTION PERIOD.
- SWEEP OR VACUUM THE STREET PAVEMENT AND SIDEWALKS ADJACENT TO THE PROJECT SITE AS NECESSARY TO KEEP THE PUBLIC RIGHT-OF-WAY FREE OF DUST CAUSED BY CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ENSURE ALL TRUCKS HAULING SOIL, SAND OR OTHER LOOSE MATERIALS SHALL BE COVERED WITH TARPS OR OTHER APPROPRIATE COVERINGS.

#### STORM DRAIN MAINTENANCE

- TO ENSURE FUNCTIONALITY, STORM DRAIN AND GRADING IMPROVEMENTS REQUIRE REGULAR MAINTENANCE. MONITOR THE DETENTION SYSTEM, CONVEYANCE LINES, ROOF GUTTERS AND DOWNSPOUTS PERIODICALLY AND REMOVE DEBRIS. GRADED SLOPES SHOULD BE MONITORED AND RE-VEGETATED AS NECESSARY.

#### NPDES REQUIREMENTS

- ALL ON-SITE AND OFF-SITE CONSTRUCTION ACTIVITIES SHALL ADHERE TO THE NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP'S) TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING ANY MUNICIPAL SEPARATE STORM SEWER SYSTEMS.
- ERODED SEDIMENT RESULTING FROM CONSTRUCTION ACTIVITIES MUST BE RETAINED ON SITE.
- STOCKPILES OF LOOSE CONSTRUCTION MATERIALS MUST BE PROTECTED TO KEEP WIND OR WATER FORCES FROM TRANSPORTING MATERIAL OFF-SITE.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL OR SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS SHALL NOT BE WASHED INTO ANY DRAINAGE SYSTEM.
- WASTE CONCRETE SHALL NOT BE WASHED INTO ANY DRAINAGE SYSTEM. CONTRACTOR SHALL PROVIDE NECESSARY PROVISIONS TO RETAIN CONCRETE WASTE ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- CONSTRUCTION RELATED WASTE AND DEBRIS SHALL BE KEPT IN A COVERED RECEPTACLE TO PREVENT CONTAMINATION OR DISPERSAL BY WIND OR RAIN.
- PROVIDE A STABILIZED CONSTRUCTION ENTRANCE AT VEHICULAR ACCESS TO SITE TO PREVENT SEDIMENT OR DEBRIS FROM BEING TRACKED INTO PUBLIC RIGHT-OF-WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND SHALL NOT BE WASHED AWAY FROM RAIN OR OTHER MEANS.
- ALL SLOPES WITH DISTURBED SOILS OR REMOVED VEGETATION SHALL BE STABILIZED TO PREVENT EROSION.

#### EROSION AND SEDIMENT CONTROL

- THE CONCEPTS OF THE EROSION AND SEDIMENT CONTROL PLAN ARE SCHEMATIC AND DEMONSTRATE THE INTENT OF THE

CONTROL MEASURES. THE CONTRACTOR SHALL DETERMINE THE EXACT DESIGN AND EXTENT OF THE CONTROL MEASURES AS TO WORK WITH THE CONTRACTOR'S USE AND MANAGEMENT OF THE CONSTRUCTION SITE.

- THE CONTRACTOR SHALL INSPECT AND MONITOR THE EROSION AND SEDIMENT CONTROL MEASURES AND MAKE REPAIRS AS NECESSARY TO ENSURE FUNCTIONALITY.
- EROSION CONTROL MEASURES MUST BE IN PLACE THROUGHOUT THE RAINY SEASON (OCTOBER 1ST THROUGH APRIL 30TH).

#### SITE CONSTRUCTION FENCE

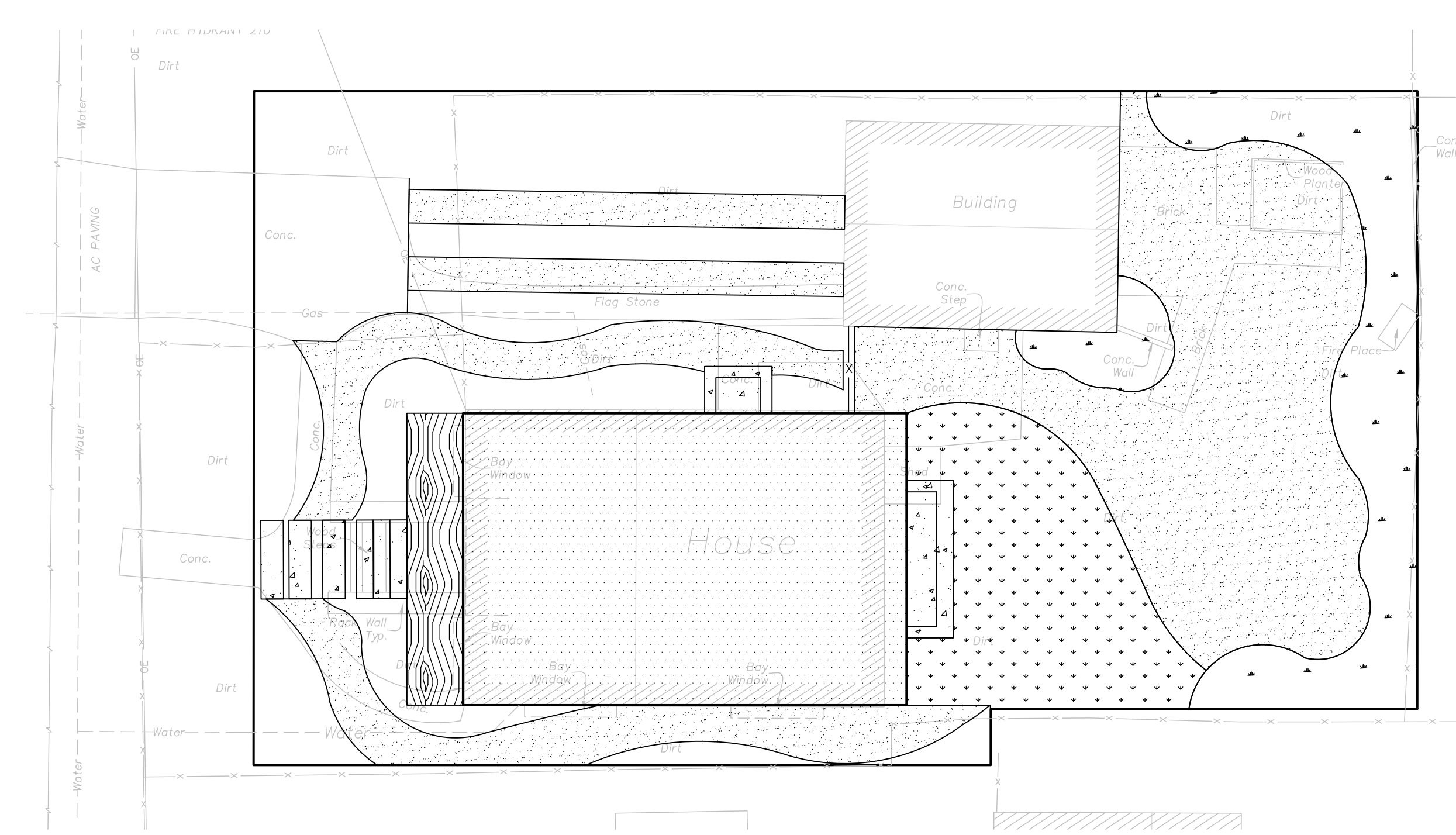
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION FENCE AROUND THE ENTIRE AREA OF DEMOLITION AND CONSTRUCTION. THE FENCE SHALL BE A MINIMUM OF A 6' GALVANIZED CHAIN LINK WITH WINDSCREEN FABRIC.

#### UTILITY NOTES

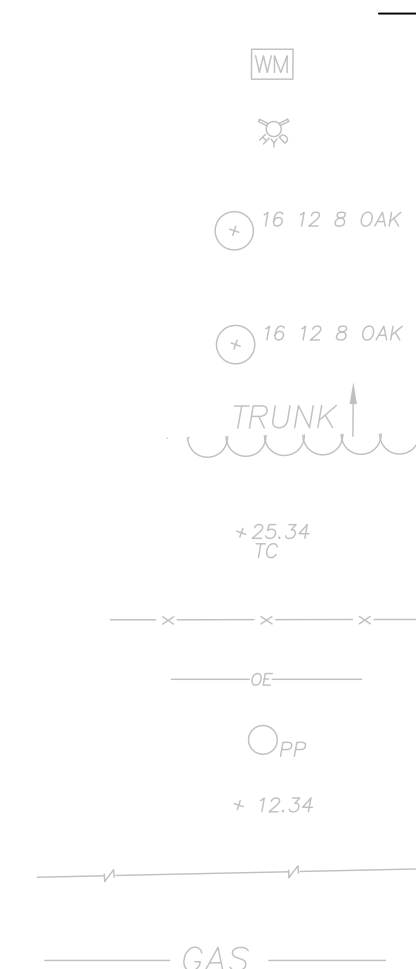
- ALL TRENCHES SHALL BE BACKFILLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE GEOTECHNICAL REPORT.
- CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT ACCOUNTS FOR THE ACTUAL LOCATION OF EXISTING UTILITIES DETERMINED DURING DEMOLITION.
- THE UTILITY SYSTEMS ARE DELINEATED IN A SCHEMATIC MANNER ON THESE PLANS. CONTRACTOR IS TO PROVIDE NECESSARY FITTINGS AND ACCESSORIES SO THAT THE SYSTEM IS FULLY FUNCTIONING FOR THE PURPOSE INTENDED.
- UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN THE APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AND SURFACE EVIDENCE. THE OWNER, BY ACCEPTING THESE PLANS AGREES TO HOLD UNDERSIGNED HARMLESS FROM DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES NOT REPORTED OR INDICATED ON PUBLIC RECORDS OR NOT ASCERTAINABLE FROM SURFACE EVIDENCE.
- CONTRACTOR SHALL VERIFY ALL EXISTING STORM DRAIN AND SANITARY SEWER INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY WORK. ALL STORM DRAIN AND SANITARY SEWER WORK SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT TO ALLOW FOR NECESSARY ADJUSTMENTS TO THE ENTIRE LINE.
- A MINIMUM OF SIX INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT WATER AND SANITARY SEWER PIPELINES SHALL BE TWELVE INCHES AND NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE EXISTING SANITARY SEWER PIPELINES.
- A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE FIVE FEET, EXCEPT WATER AND SANITARY SEWER PIPELINES SHALL BE A MINIMUM OF TEN FEET, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL CONTACT APPROPRIATE UTILITY SERVICE PROVIDERS AND REQUEST VERIFICATION OF SERVICE POINTS.
- ANY EXISTING UNDERGROUND UTILITY LINES TO BE ABANDONED, SHOULD BE REMOVED FROM WITHIN THE PROPOSED BUILDING ENVELOPE AND THE ENDS CAPPED OUTSIDE THE BUILDING ENVELOPE.

#### FIRE PROTECTION NOTES

- CONTRACTOR SHALL INSTALL THE DESIGN BUILD FIRE SERVICE LINE, BACKFLOW PREVENTOR, SPRINKLERS AND EQUIPMENT IN ACCORDANCE WITH THE FIRE PROTECTION CONSULTANT'S PLANS, SPECIFICATIONS AND THE CALIFORNIA FIRE CODE AND LOCAL MUNICIPALITY STANDARDS.
- THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS AND SUBMIT SAID DRAWINGS TO THE LOCAL FIRE MARSHALL FOR REVIEW AND APPROVAL.

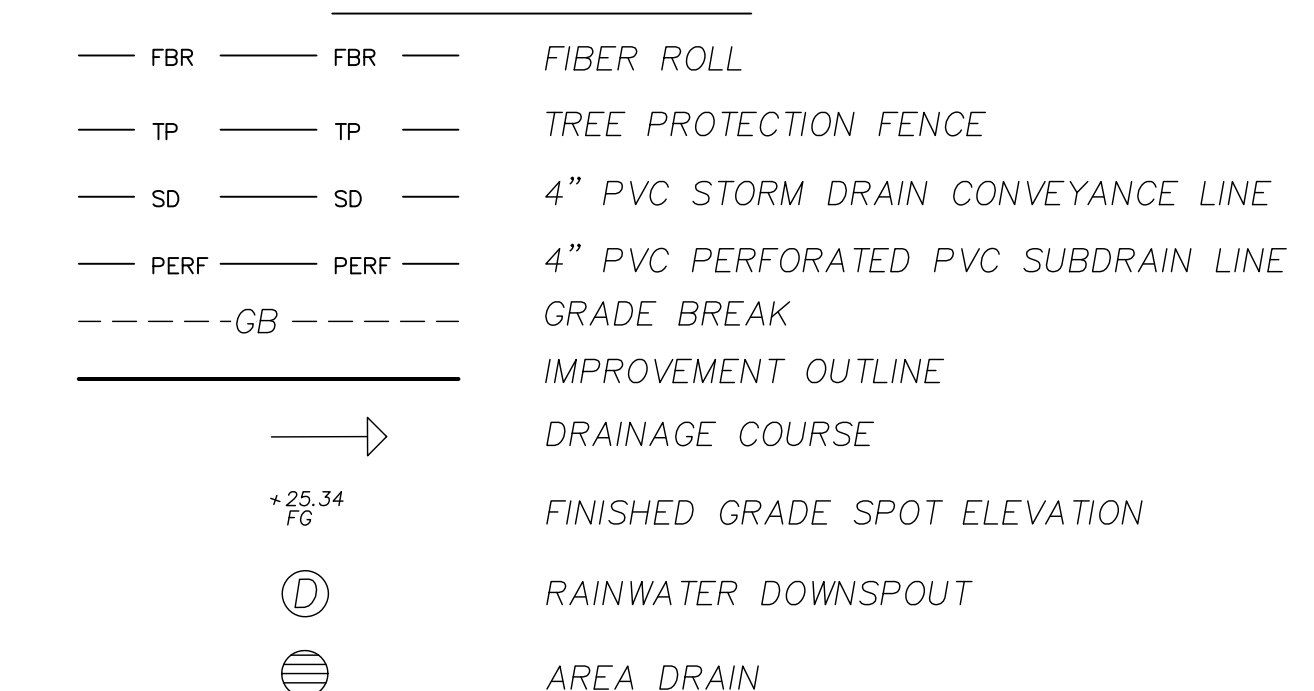


#### EXISTING

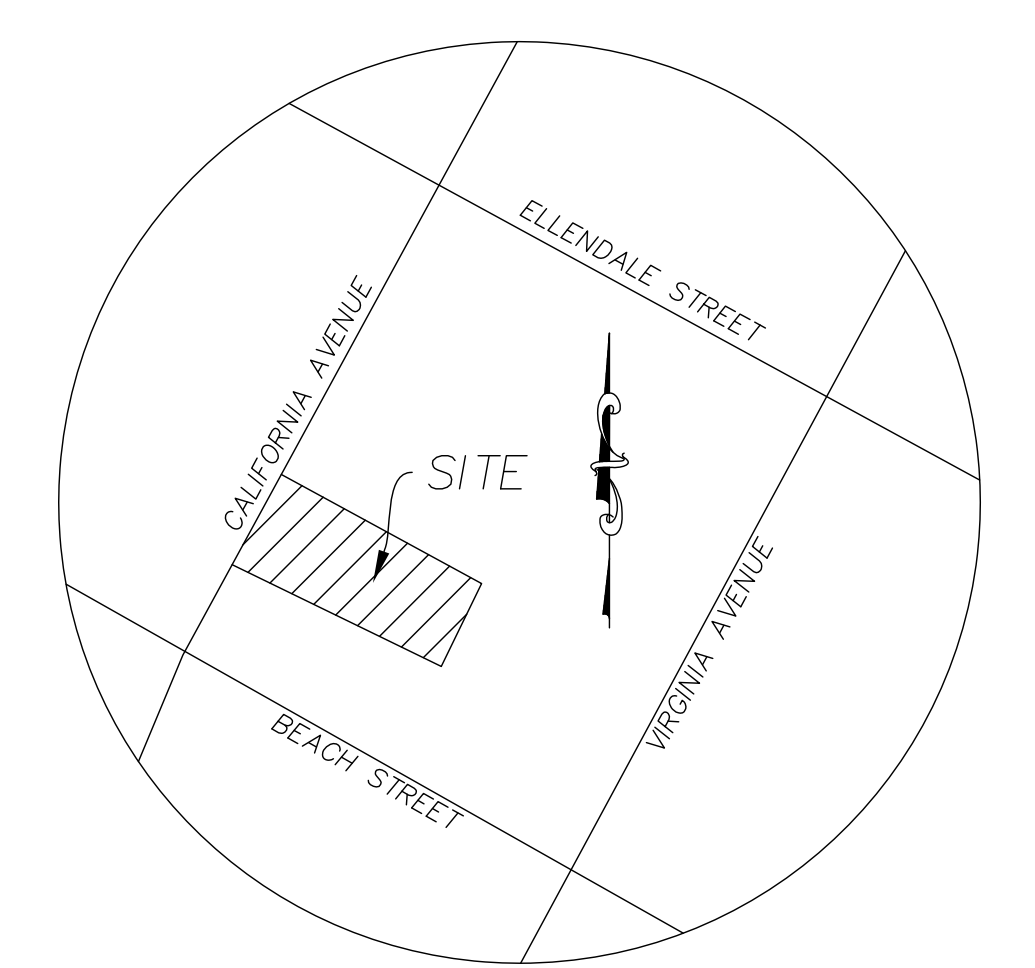


- WATER METER OR WATER VALVE BOX
- FIRE HYDRANT
- TREE - TRUNK DIAMETER IN INCHES
- TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS
- TREE WITH MULTIPLE TRUNKS
- TREE DRIP LINE POINTS TOWARDS TREE TRUNKS. TREE DRIP LINES ABOVE PROPERTY LOCATED AS SHOWN.
- TOP OF CURB
- FENCE
- OVERHEAD WIRES
- POWER POLE
- SPOT ELEVATION
- EDGE OF AC PAVING
- UNDERGROUND PAINT MARKINGS PROVIDED BY OTHERS.

#### PROPOSED



- FIBER ROLL
- TREE PROTECTION FENCE
- 4" PVC STORM DRAIN CONVEYANCE LINE
- 4" PVC PERFORATED PVC SUBDRAIN LINE
- GRADE BREAK
- IMPROVEMENT OUTLINE
- DRAINAGE COURSE
- FINISHED GRADE SPOT ELEVATION
- RAINWATER DOWNSPOUT
- AREA DRAIN



ESTIMATED EARTHWORK QUANTITIES	
CUT (WITHIN BUILDING ENVELOPE)	15 C.Y.
CUT (OUTSIDE BUILDING ENVELOPE)	25 C.Y.
FILL (WITHIN BUILDING ENVELOPE)	0 C.Y.
FILL (OUTSIDE BUILDING ENVELOPE)	5 C.Y.
BALANCE (EXPORT)	40 C.Y.

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.

#### ABBREVIATIONS

- AC CONC. ASPHALT CONCRETE
- DG DECOMPOSED GRANITE
- TC TOP OF CURB
- FL FLOW LINE
- SSMH SANITARY SEWER MANHOLE
- SSCO SANITARY SEWER CLEAN OUT
- FG FINISHED GRADE
- (E) EXISTING
- (N) NEW
- ELEC. COMM. ELECTRIC COMMUNICATIONS
- (TYP.) TYPICAL



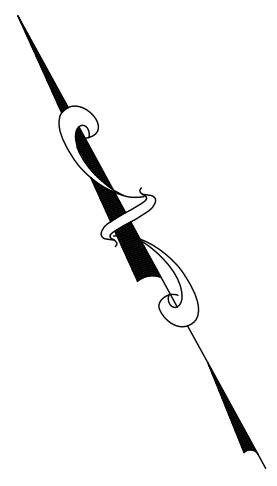
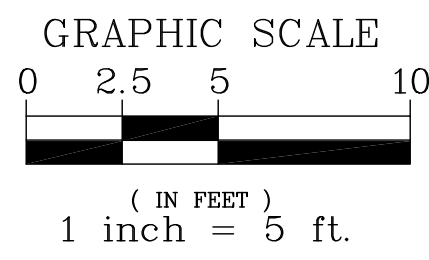
#### SHEET INDEX

- C-1 TITLE SHEET
- C-2 GRADING & DRAINAGE PLAN
- C-3 DETAILS
- C-4 EROSION CONTROL PLAN
- C-5 SAN MATEO COUNTY BMPs
- C-6 IMPERVIOUS AREAS EXHIBIT

**GRADING NOTES:**

- CLEARANCE BETWEEN WOOD SIDING AND EARTH ON THE EXTERIOR OF A BUILDING SHALL NOT BE LESS THAN 6 INCHES OR LESS THAN 2 INCHES VERTICAL FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER EXCEPT WHERE SIDING, SHEATHING AND WALL FRAMING ARE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD. [C.B.C. 2304.12.1.5]
- SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT ALLOW WATER TO POND. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET (5%); OR WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET (5%), DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. [C.B.C. 1804A.4]
- IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF (2%) AWAY FROM THE BUILDING. [C.B.C. 1804A.4]
- IMPORT SOILS SHALL MEET THE REQUIREMENTS OF THE SOILS REPORT. ALL FILL SHALL BE COMPACTED PER THE SOILS REPORT AND THE CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.

# GRADING & DRAINAGE PLAN



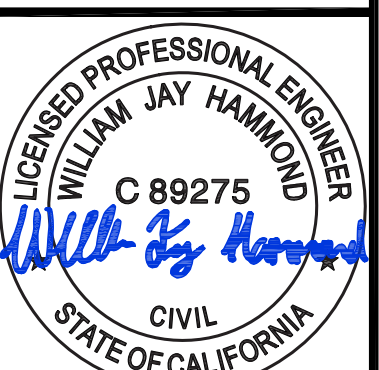
**NOTE**  
ALL WORK CONDUCTED IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.

**INSPECTIONS REQUIRED**  
THE COUNTY OF SAN MATEO REQUIRES ALL STORMWATER MANAGEMENT FEATURES TO BE INSPECTED BY THE PROJECT CIVIL ENGINEER DURING CONSTRUCTION. CONTACT WITH 48-HR ADVANCED NOTICE FOR INSPECTIONS:  
**L. Wade Hammond**  
wade@whlandsurveyor.com  
(510)579-6112

**L. Wade Hammond**  
Civil Engineering & Land Surveying  
36660 Newark Blvd. Suite C  
Newark, California 94560  
Tel: (510) 579-6112 wade@whlandsurveyor.com

SCALE	1" = 5'
DATE	11-13-2019
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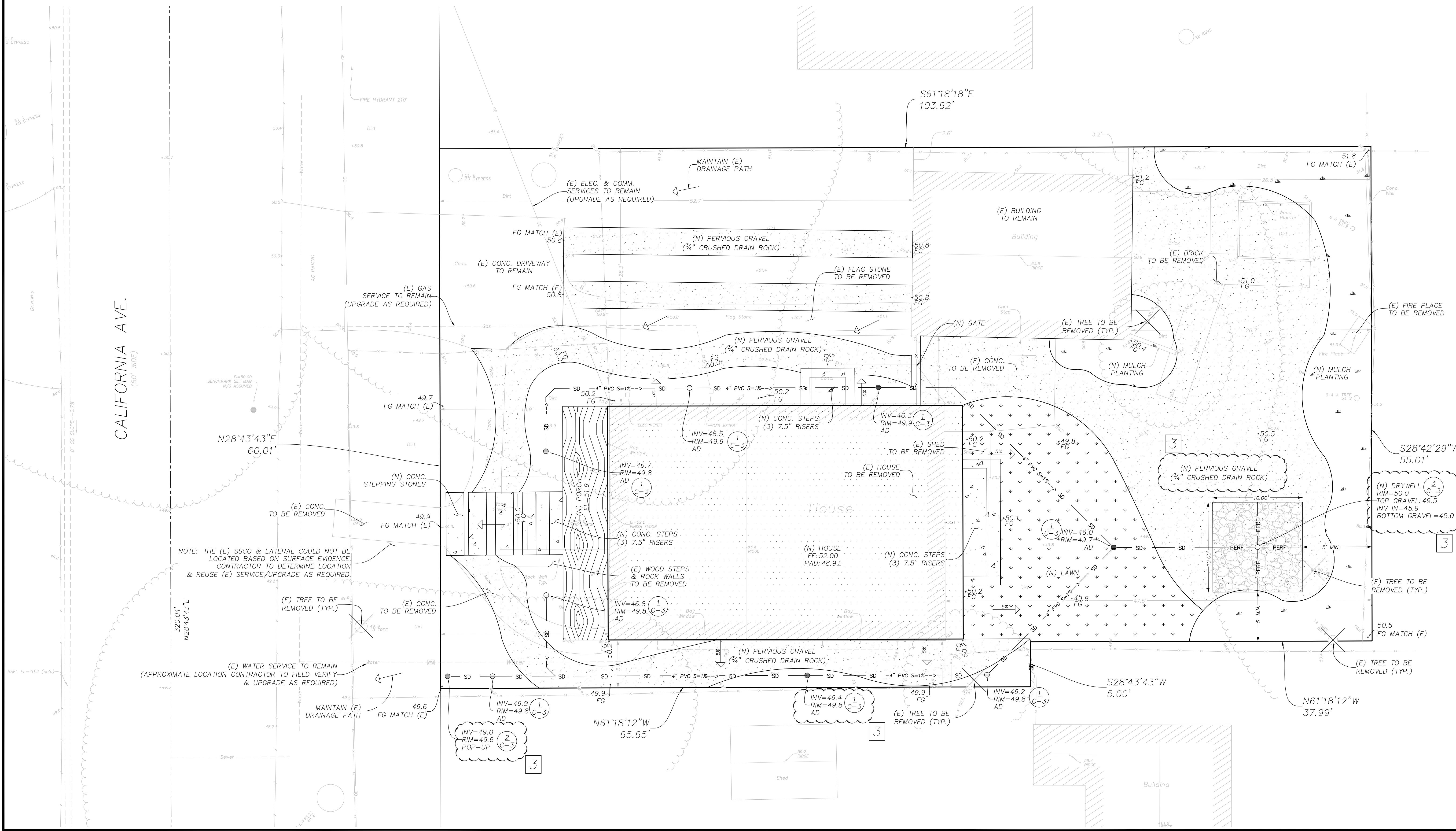
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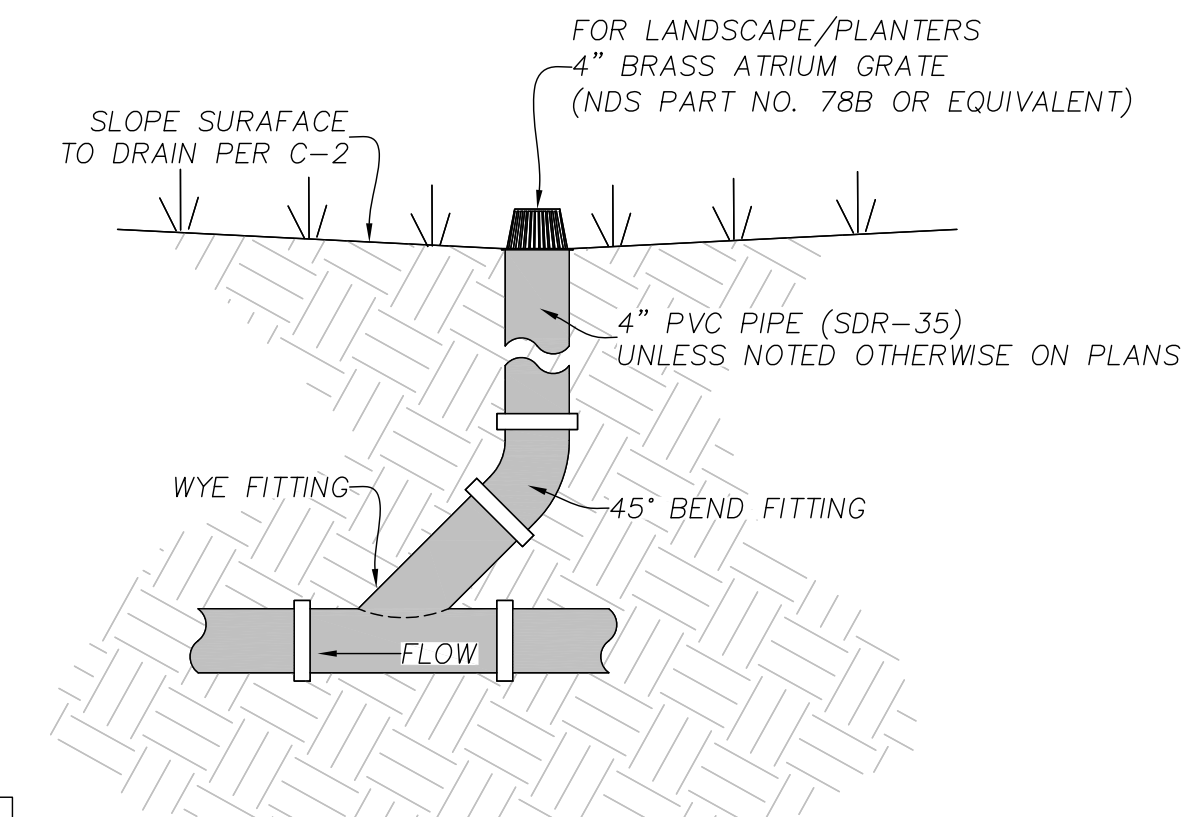
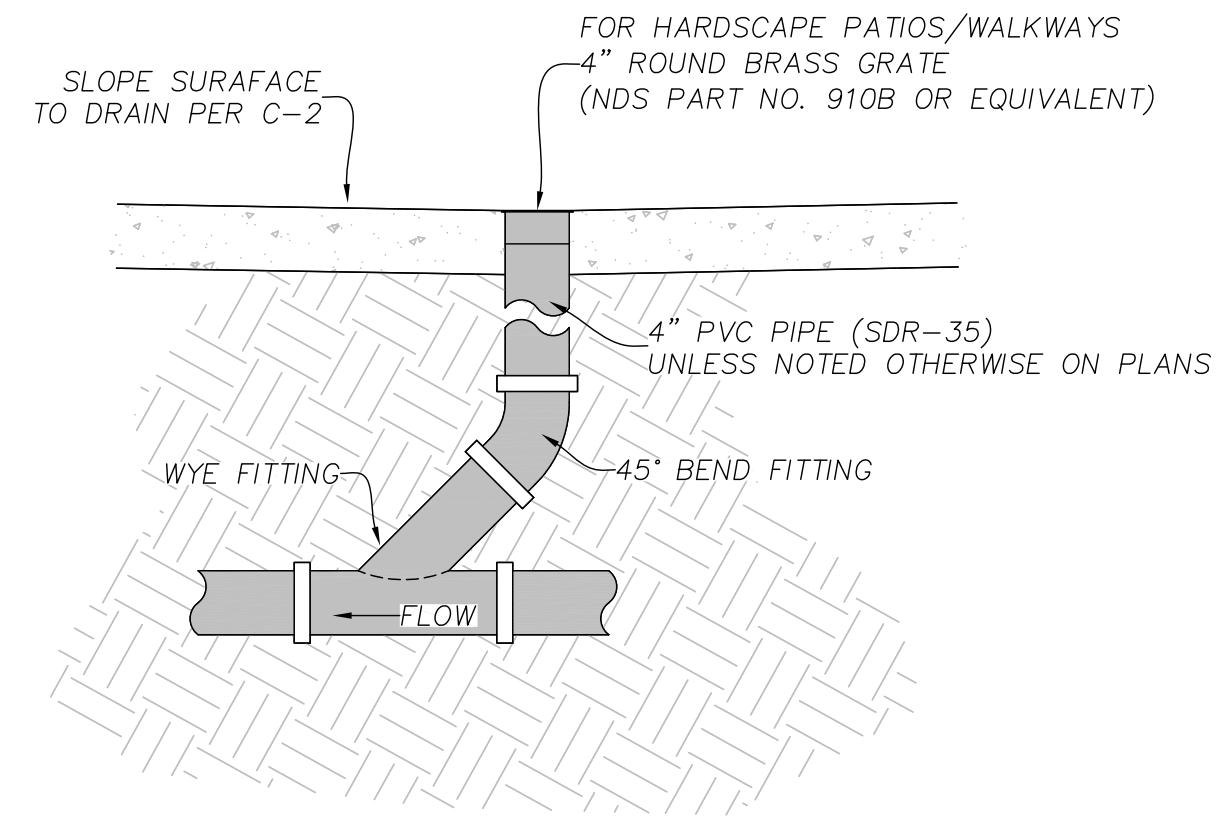
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SHEET NUMBER

**C-2**

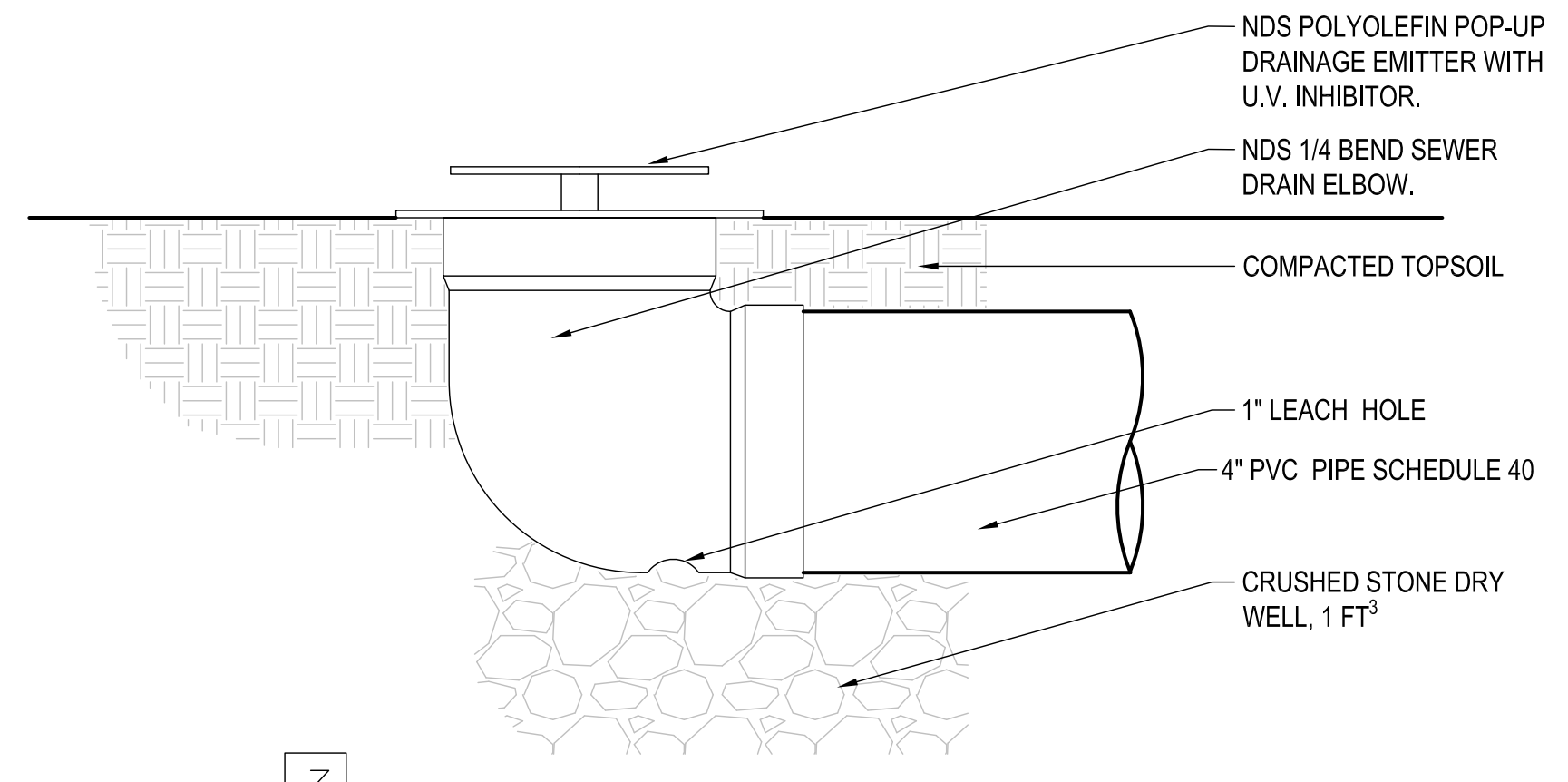


# DETAILS



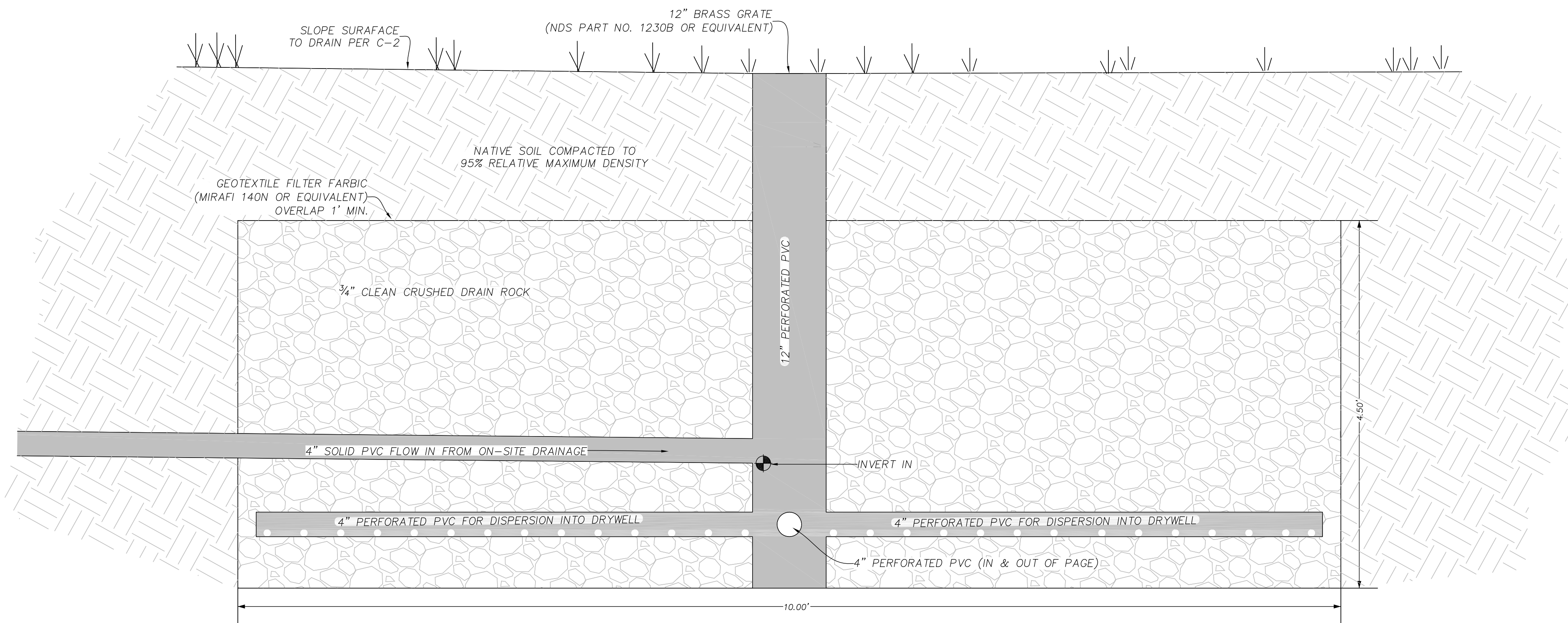
3

1 AREA DRAIN  
NOT TO SCALE



3

2 POP-UP EMITTER  
NOT TO SCALE



3

3 DRYWELL  
NOT TO SCALE

L. Wade Hammond  
Civil Engineering & Land Surveying  
36660 Newark Blvd. Suite C  
Newark, California 94560  
Tel: (510) 579-6112 wade@wvhammsurveyor.com

SCALE	N.T.S.
DATE	11-13-2019
JOB#	4290
APN	037-118-020

CLAWSON RESIDENCE  
322 CALIFORNIA AVENUE  
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UNINCORPORATED SAN MATEO COUNTY

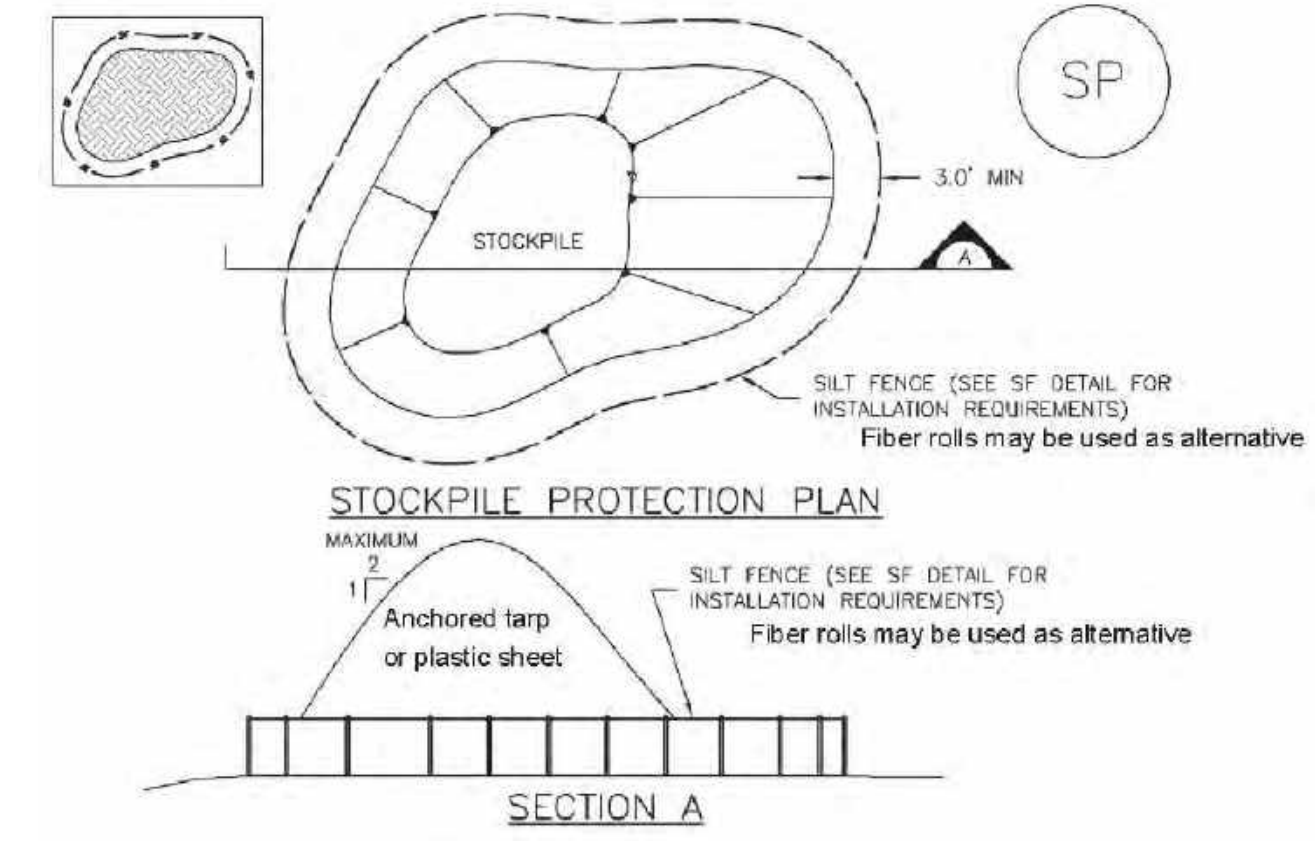
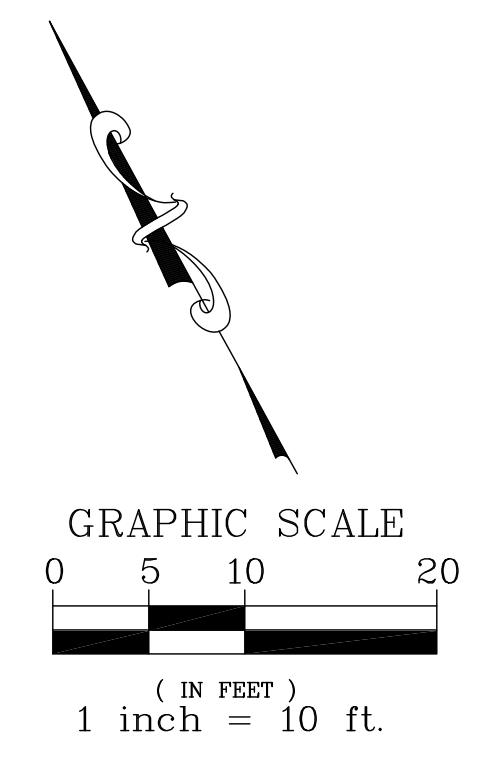
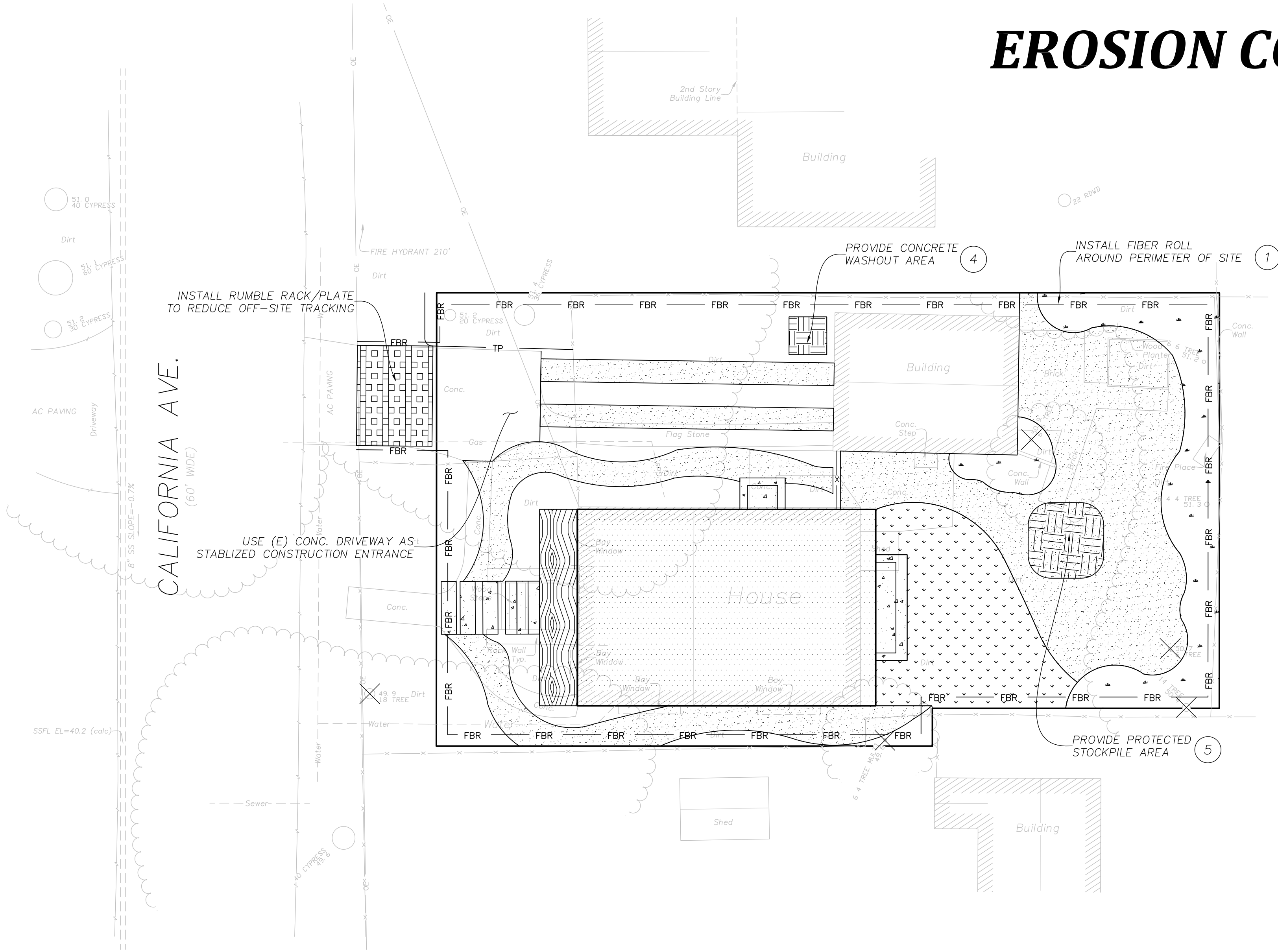


NUMBER	REVISIONS	DATE
1	REMOVE TREE, HYDRO, EROSION	11-23-2019
2	TREE PROTECTION, ERO. CTRL	5-20-2020
3	PLAN & BLDG. REVIEW	8-6-2020

SHEET NUMBER

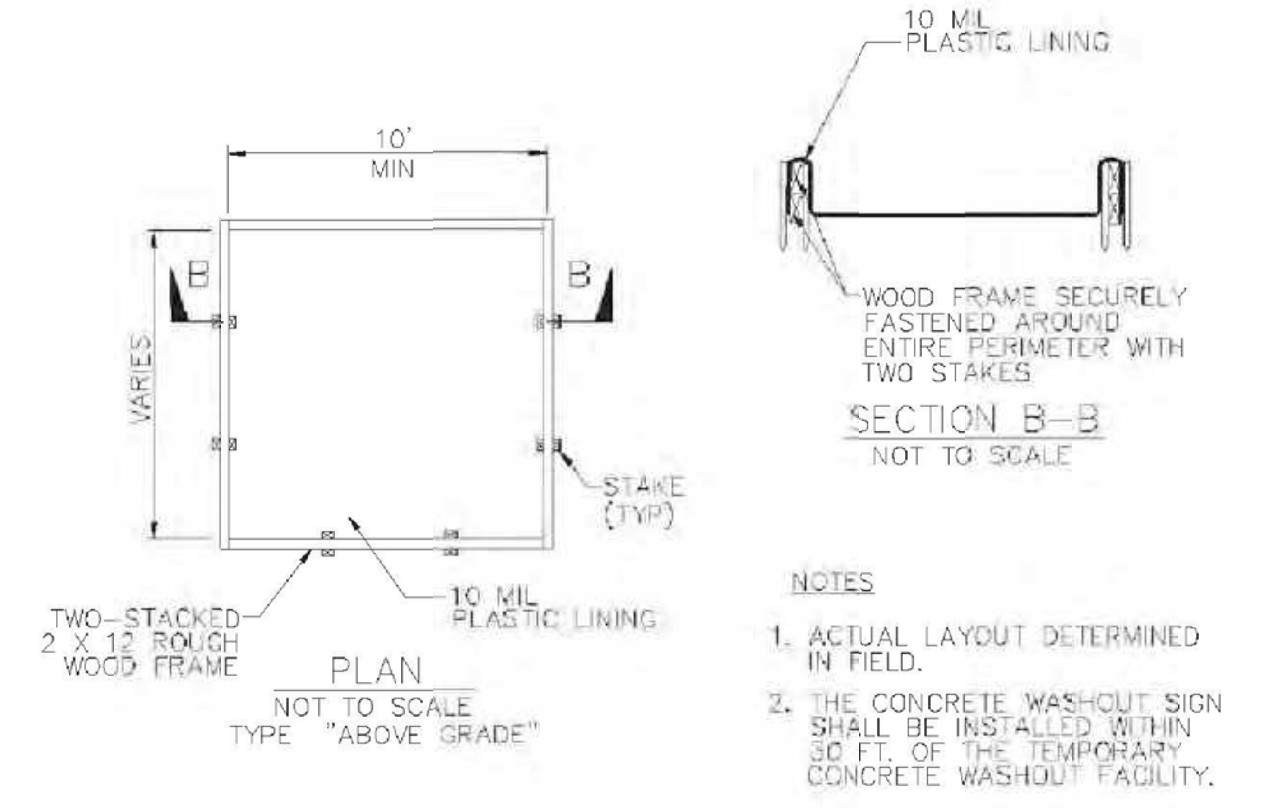
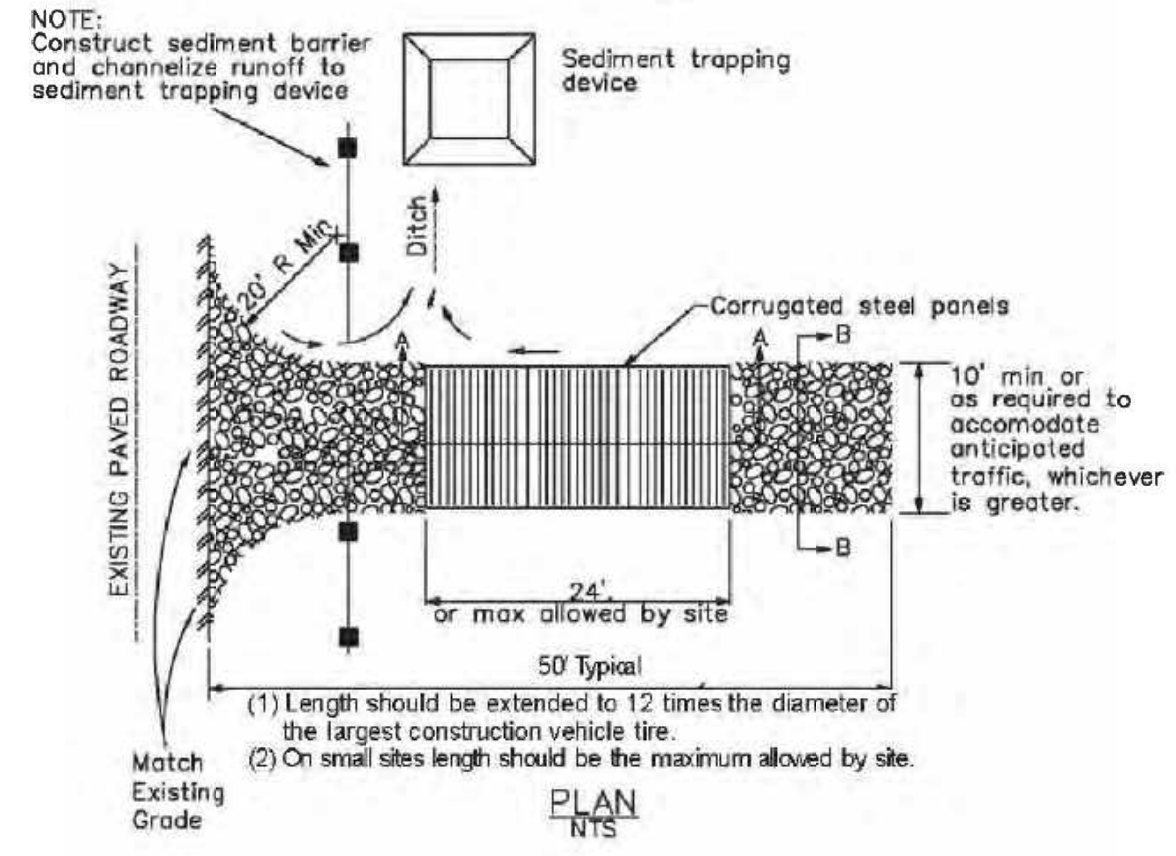
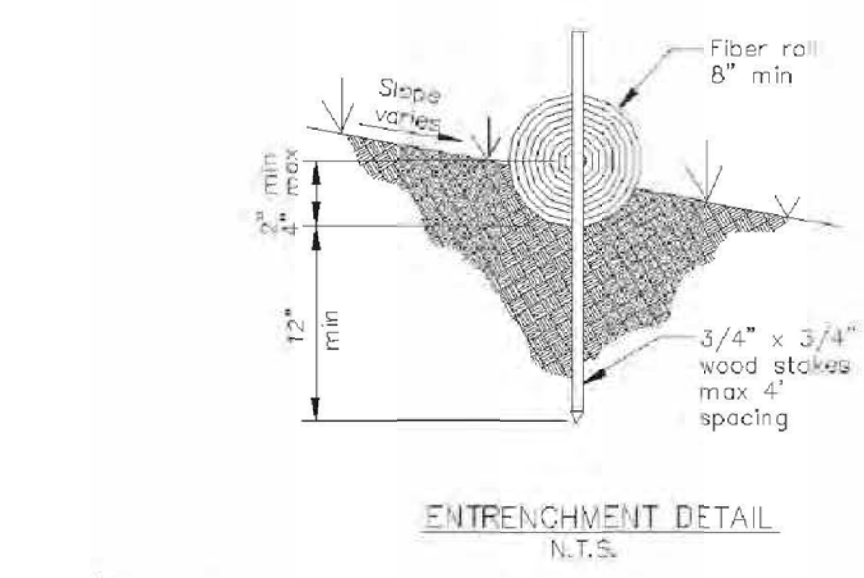
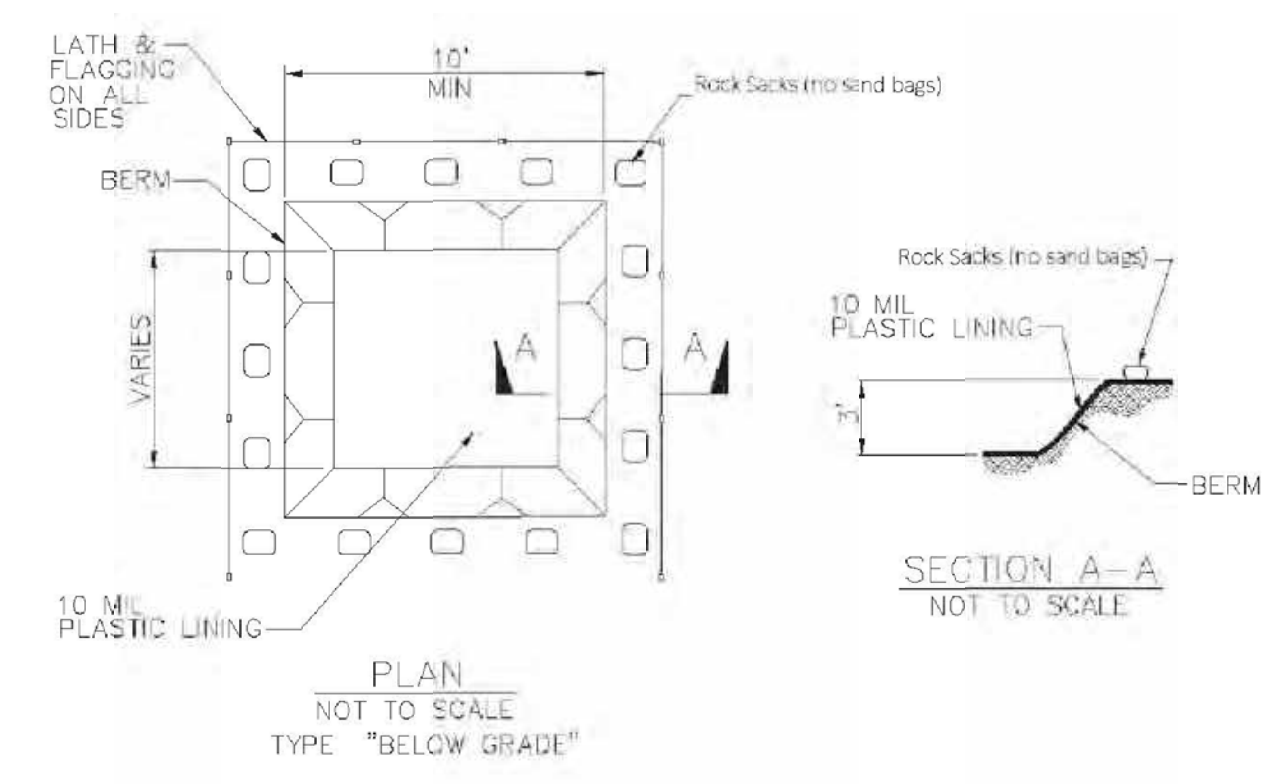
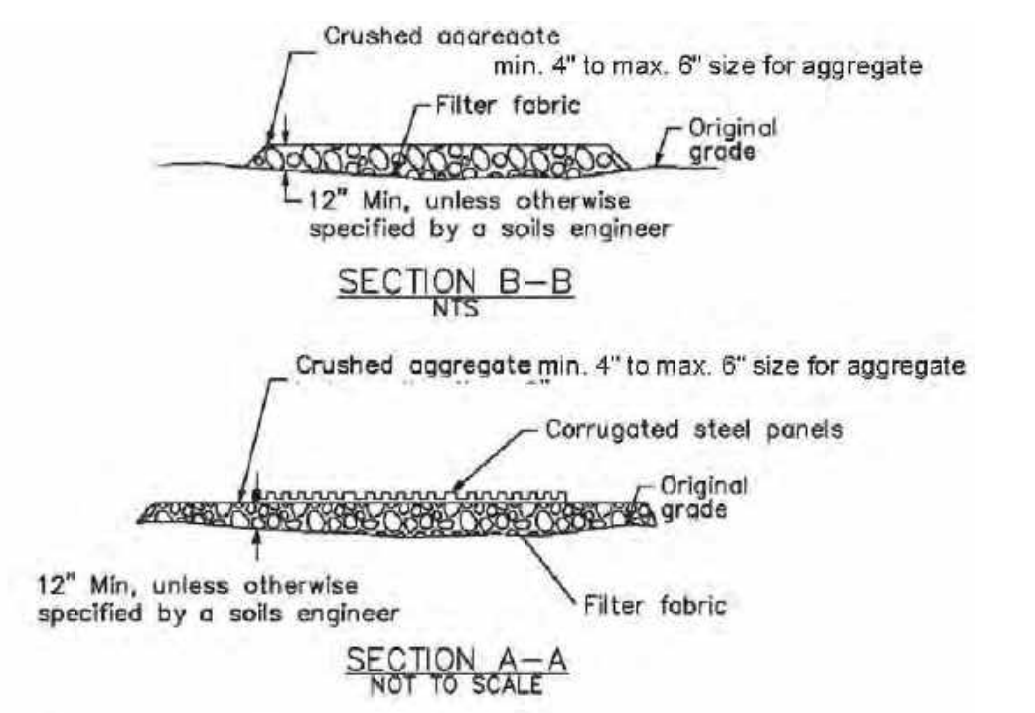
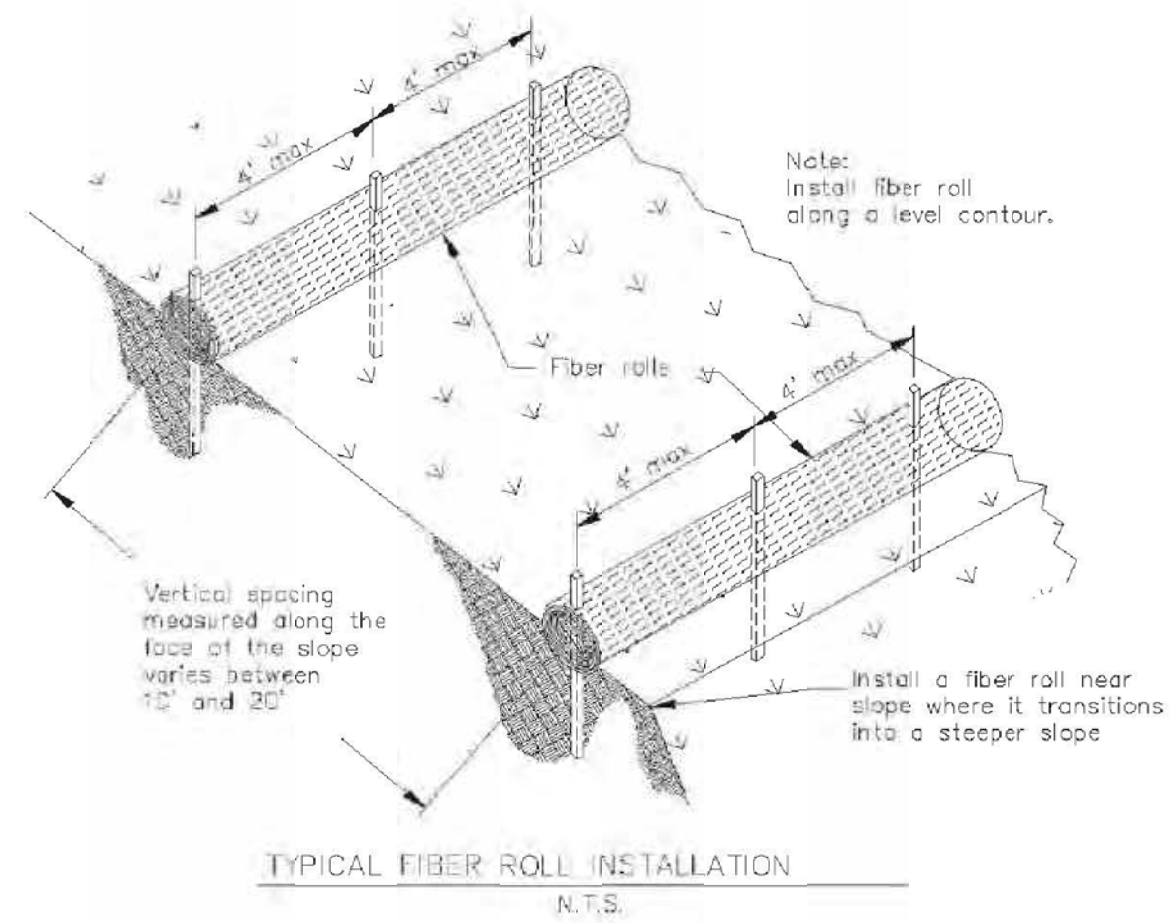
C-3

# EROSION CONTROL PLAN



3  
6 ~~CRZ TABLE~~  
~~PER PROJECT ARBORIST~~

5 STOCKPILE PROTECTION  
NOT TO SCALE



NOTES:  
If more than one fiber roll is placed in a row, the rolls must be overlapped, not abutted.  
Turn the ends of the fiber roll up-slope to prevent runoff from going around the roll.

1 FIBER ROLL  
NOT TO SCALE

2 CONSTRUCTION ENTRANCE  
NOT TO SCALE

3 ~~TREE TRUNK PROTECTION~~  
NOT TO SCALE

4 CONCRETE WASHOUT  
NOT TO SCALE

L. Wade Hammond  
Civil Engineering & Land Surveying  
36660 Newark Blvd. Suite C  
Newark, California 94560  
Tel: (510) 579-6112 wade@wladamsurveyors.com

SCALE	1" = 10'
DATE	11-13-2019
JOB#	4290
APN	037-118-020

CLAWSON RESIDENCE  
322 CALIFORNIA AVENUE  
MOSS BEACH, CA 94038  
UNINCORPORATED SAN MATEO COUNTY



NUMBER	REVISIONS	DATE
1	REMOVE TREE, HYDRO, EROSION	11-23-2019
2	TREE PROTECTION, ERO. CTRL	5-20-2020
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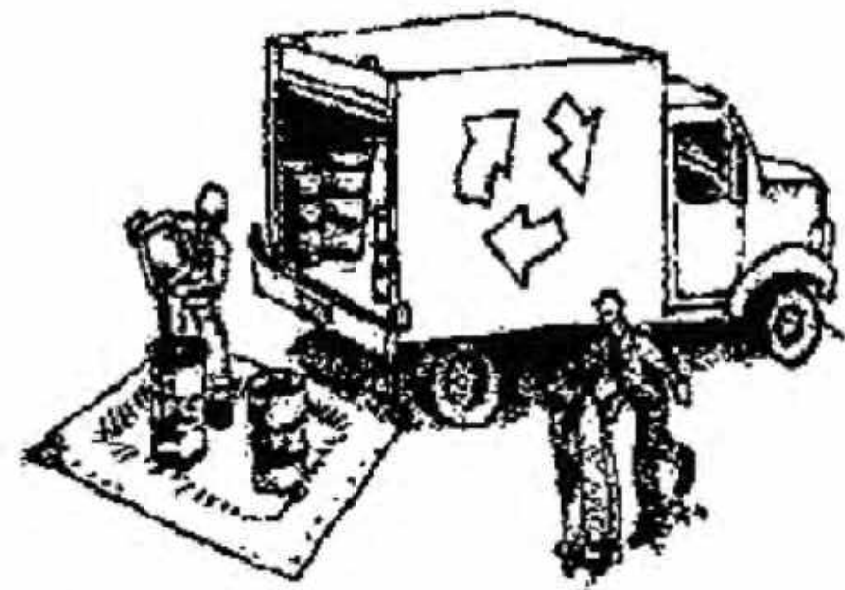
SHEET NUMBER

C-4

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



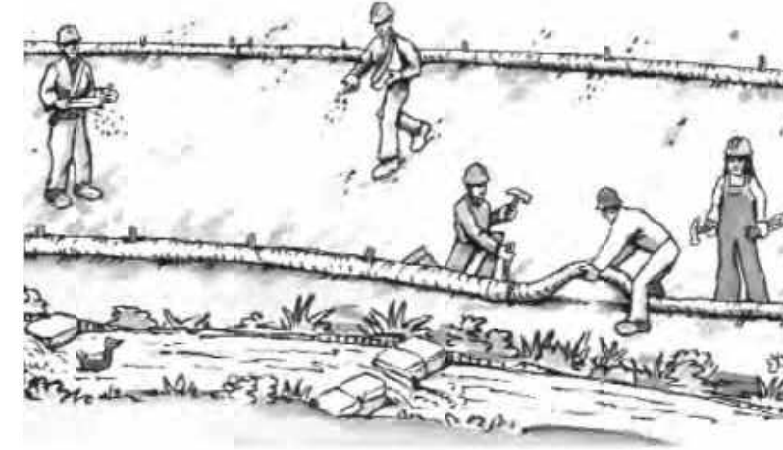
### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



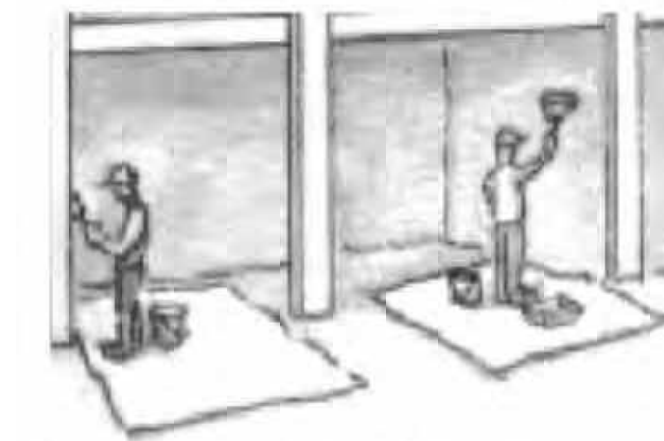
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

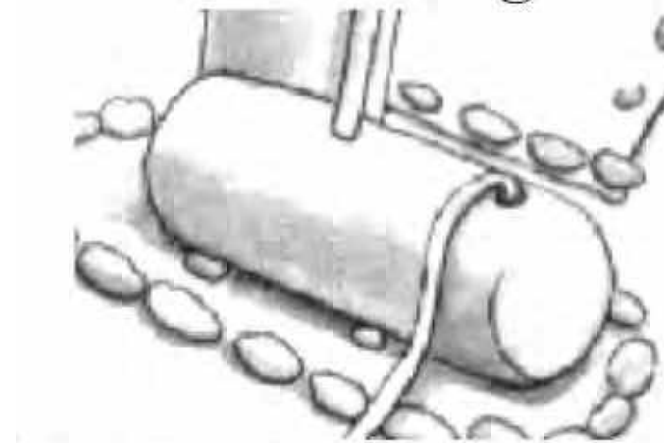
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

SCALE	DATE	JOB#	APN
	11-13-2019	4290	037-118-020

CLAWSON RESIDENCE  
322 CALIFORNIA AVENUE  
MOSS BEACH, CA 94038  
UNINCORPORATED SAN MATEO COUNTY



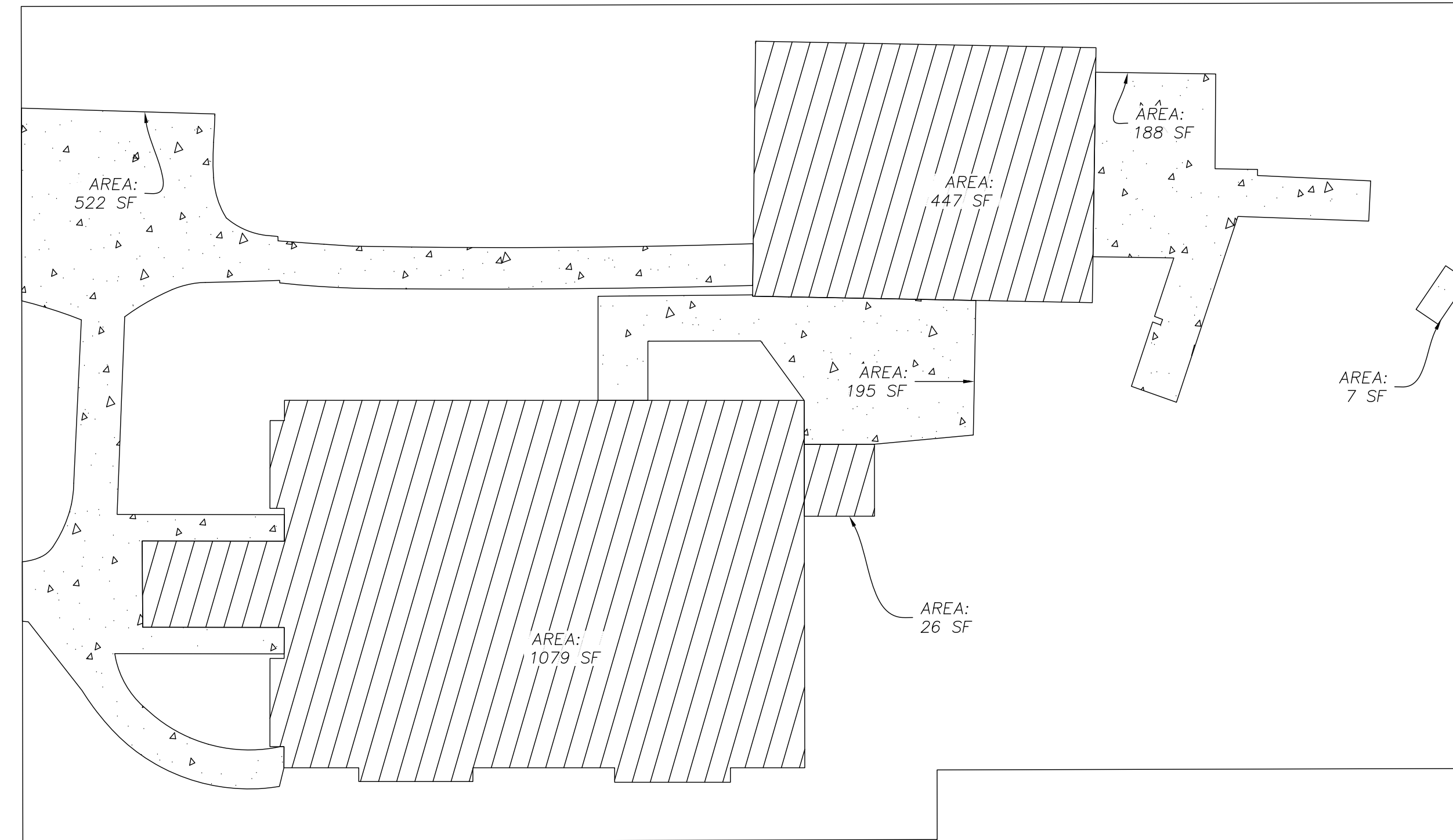
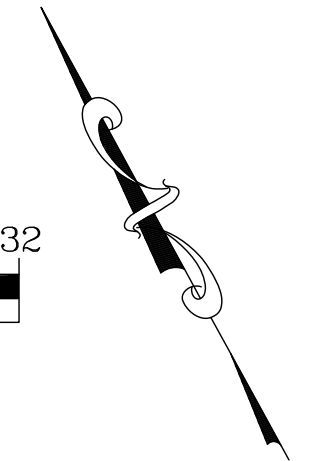
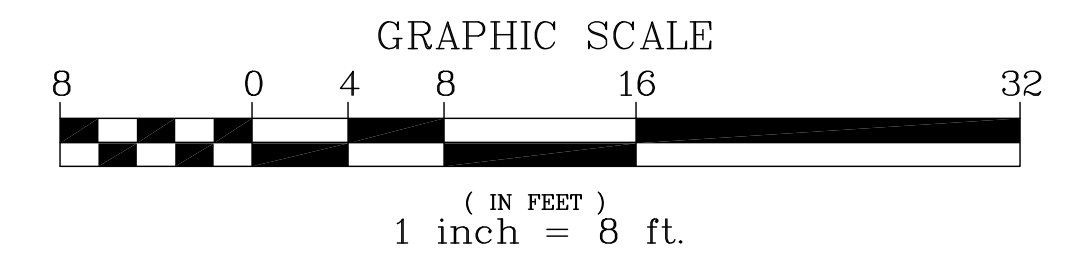
NUMBER	REVISIONS	DATE
1	REMOVE TREE, HYDRO, EROSION	11-23-2019
2	TREE PROTECTION, ERO. CTRL	5-20-2020
3	PLAN & BLDG. REVIEW	8-6-2020

SHEET NUMBER

**C-5**

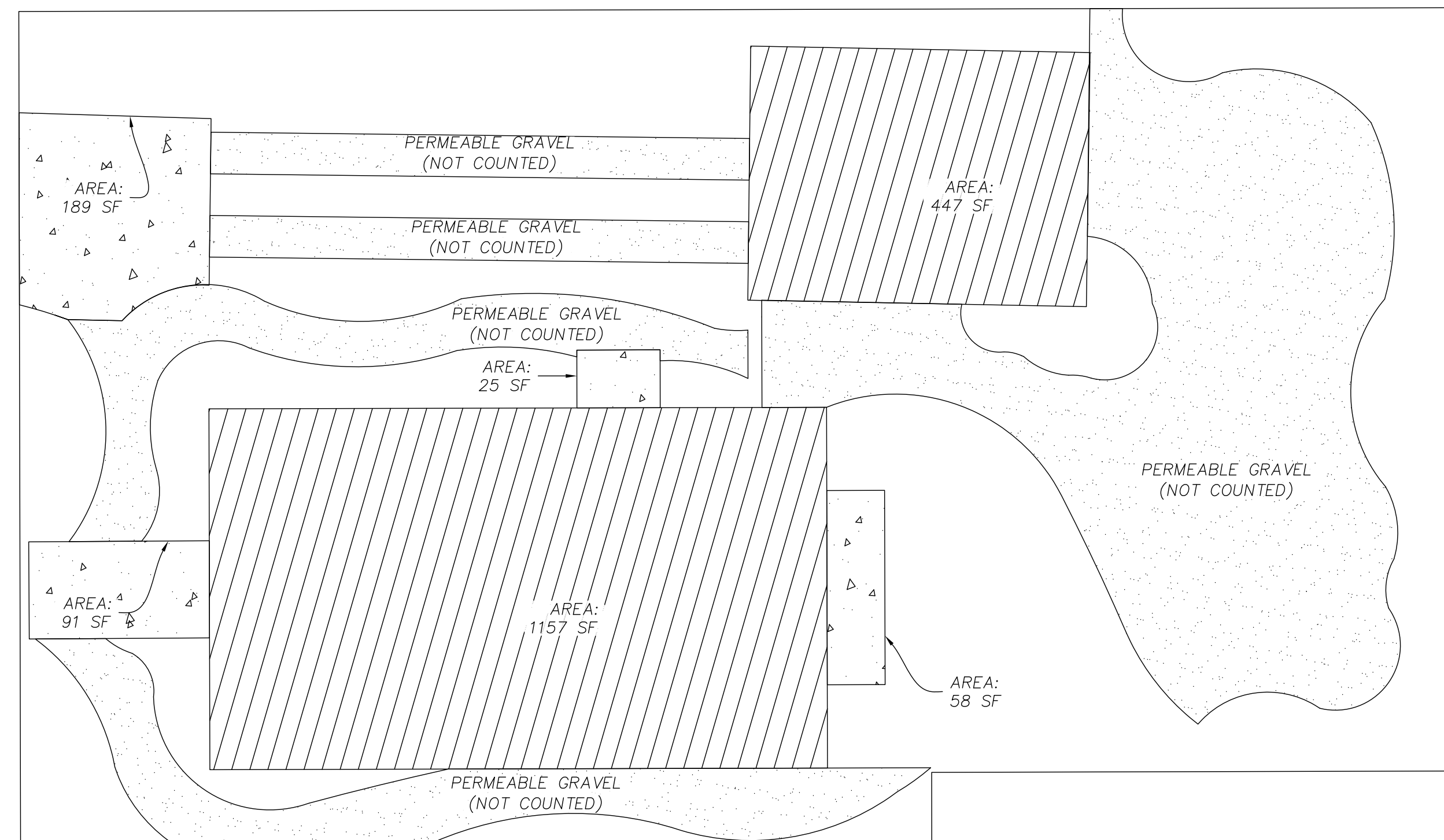


# IMPERVIOUS AREAS EXHIBIT



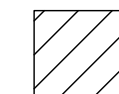

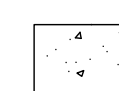
**PRE-CONSTRUCTION**

IMPERVIOUS SURFACE AREAS	
TOTAL PROPERTY AREA	6,092 FT <sup>2</sup>
IMPERVIOUS AREAS	
PRE-CONSTRUCTION	2,464 FT <sup>2</sup>
POST-CONSTRUCTION	1,967 FT <sup>2</sup>
NET CHANGE	-497 FT <sup>2</sup>



**POST-CONSTRUCTION**

## HATCH LEGEND

-  ROOF/BUILDING
-  PERMEABLE GRAVEL (3/4" CRUSHED DRAIN ROCK)
-  CONCRETE/BRICK

**L. Wade Hammond**  
 Civil Engineering & Land Surveying  
 36660 Newark Blvd. Suite C  
 Newark, California 94560  
 Tel: (510) 579-6112 wade@wilhammsurveyor.com

SCALE	1" = 8'
DATE	11-13-2019
JOB#	4290
APN	037-118-020

**CLAWSON RESIDENCE**  
**322 CALIFORNIA AVENUE**  
**MOSS BEACH, CA 94038**  
 UNINCORPORATED SAN MATEO COUNTY



NUMBER	REVISIONS	DATE
1	REMOVE TREE, HYDRO, EROSION	11-23-2019
2	TREE PROTECTION, ERO. CTRL	5-20-2020
3	PLAN & BLDG. REVIEW	8-6-2020

SHEET NUMBER

**C-6**

REVISIONS

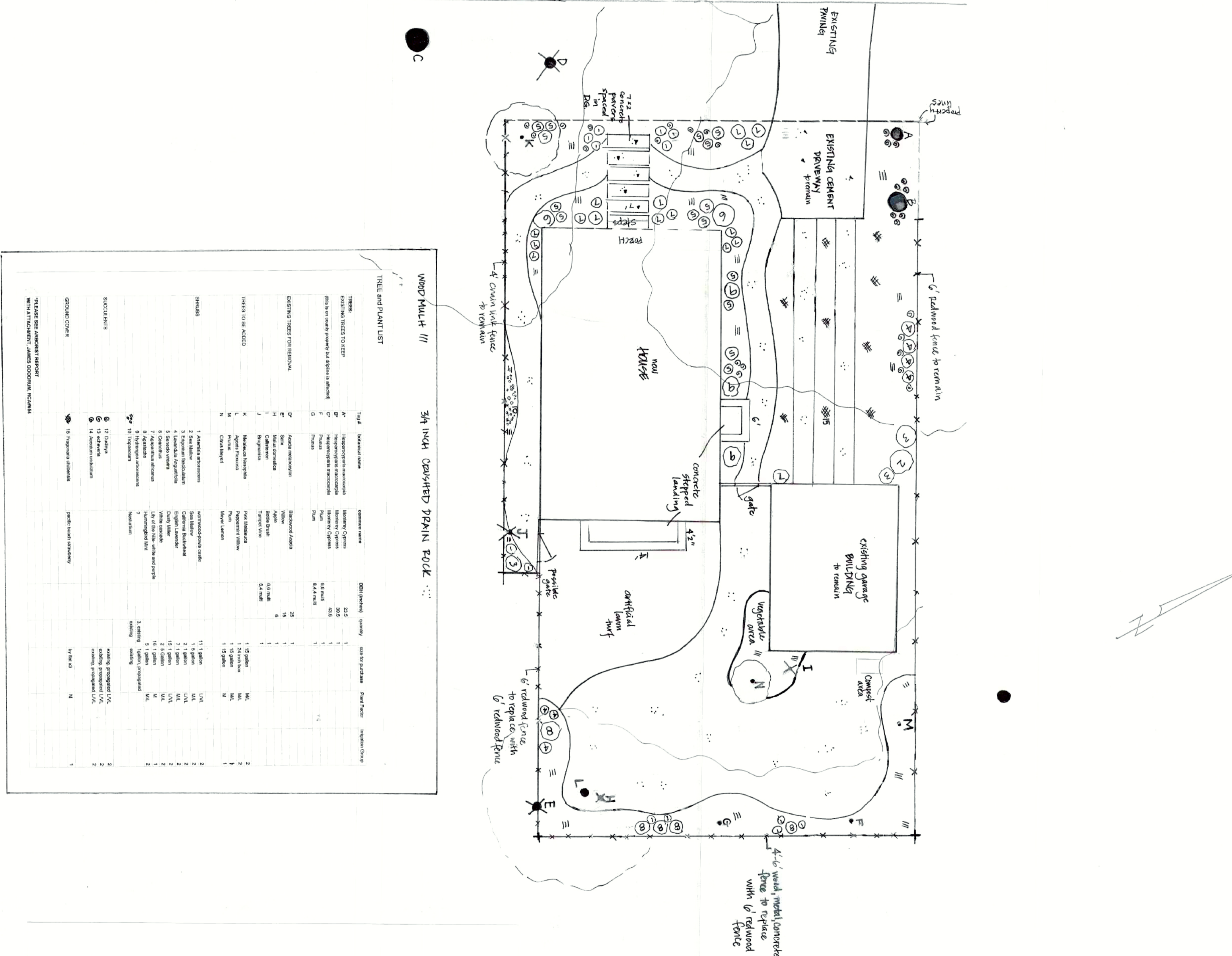
BY			

**ROBERT MEDINA**  
**LANDSCAPE ARCHITECT**  
 1936 LOS ALTOS DRIVE  
 SAN MATEO, CA 94402  
 T 650.577.8477  
 F 650.577.8313  
 robert@robertmedina.com

**CLAWSON RESIDENCE**  
 NEW RESIDENCE  
 322 CALIFORNIA AVE.  
 MOSS BEACH, CALIFORNIA

Date	
Scale	
Drawn	
Job	
Sheet	<b>L1</b>
Of	Sheets

1/8" INCH = 1' FOOT



**TREE AND PLANT LIST**

Tag #	Botanical name	Common name	DBH (inches)	Quantity	Note for purchase	Region/Climate
A	Hypericum empetrifolium	Madwort	2.5	1		9B
B	Hypericum empetrifolium	Madwort	2.5	1		9B
C	Hypericum empetrifolium	Madwort	2.5	1		9B
D	Hypericum empetrifolium	Madwort	2.5	1		9B
E	Hypericum empetrifolium	Madwort	2.5	1		9B
F	Hypericum empetrifolium	Madwort	2.5	1		9B
G	Hypericum empetrifolium	Madwort	2.5	1		9B
H	Hypericum empetrifolium	Madwort	2.5	1		9B
I	Hypericum empetrifolium	Madwort	2.5	1		9B
J	Hypericum empetrifolium	Madwort	2.5	1		9B
K	Hypericum empetrifolium	Madwort	2.5	1		9B
L	Hypericum empetrifolium	Madwort	2.5	1		9B
M	Hypericum empetrifolium	Madwort	2.5	1		9B

EXISTING TREES TO REMAIN

TREES TO BE ADDED

PLANTINGS TO BE ADDED

GROUND COVER

SUCCULENTS

**LANDSCAPE NOTES FOR 322 CALIFORNIA AVENUE, MOSS BEACH, CA**  
 APN 037-118-020  
 Served by potable water from Monterey Water and Sanitary District. (650) 728-3588.  
 Account 83-1330-1  
 No irrigation system proposed- plants will be hand watered until established  
 North Coast Zone 17  
 Total landscape area = 1,870 square feet  
 other:  
 buildings/concrete 1,967  
 Artificial turf 473  
 Permeable % inch crushed drain rock 1,782

**Our goal is to rehabilitate the yard**, preserving, where possible, many of the existing plants, including the old cypresses that are so key to the beauty of Moss Beach. We are committed to an organic, natural, non-irrigated landscape that promotes continuous, healthy soil building. We have taken cuttings and are propagating some of the plants that have survived well on this site for years (the last 4 years without any care or watering other than naturally provided).

The list will be established by:  
 -removing all overgrowth and debris  
 -pruning and cleaning up significant trees according to the Arborist report by James Coodyum, RCA #654, using all tree protection measures  
 -removing badly damaged trees as indicated on the plan. See Arborist report and letter.  
 -incorporating compost at a rate of at least 4 cubic yards per 1,000 square feet to a depth of 6 inches into landscape areas.  
 -applying natural wood mulch in a minimum 3-inch layer on all exposed soil surfaces or planting areas, except in turf areas and permeable crushed rock areas.  
 -planting drought-tolerant, native or non-invasive species of trees and plants that are appropriate for the coastal climate, as outlined in the landscape drawings. Plants will have a natural appearance, be of various heights, and will avoid a linear configuration.  
 -hand watering plantings until they are established to ensure plant growth.

All plant data is sourced from WUCOLS plant database or Landscape Plants for California Gardeners by Bob Perry, Cal Poly Pomona University

We propose to install the permeable % inch crushed drain rock areas and paths ourselves by hand scraping (using a shovel) the areas for application to a depth no more than 2 inches. Reusing any scraped soil to stabilize the edges of the crushed rock areas.  
 -loosely applying % inch crushed drain rock to a depth of 2 inches.  
 -tamping granite into place by foot or by walking over it.  
 -lightly watering it into place to set.

**LANDSCAPE PLAN**

**RECOMMENDATIONS**

The following recommendations will ensure that the longterm health and longevity of these trees is retained before, during and after the construction process.

The details are included in the Tree Protection Plan, below.

**Tree A:**

- Prune for adequate clearance above the driveway to prevent damage during access.

- Install a root buffer zone anywhere under the dripline that is not already covered by the driveway.

- Trunk protection should be installed to prevent inadvertent damage from construction equipment and materials.

- During construction: any large structural roots that require pruning should be done as per the TPP.

**Tree B:**

- Prune for adequate clearance above the existing home, to prevent damage during demolition and construction.

- There are numerous broken and hanging branches present on this tree. These should be removed/reduced to remove the risk of failure prior to construction taking place.

- Install a root buffer zone anywhere under the dripline that is not already covered by the driveway.

- Trunk protection should be installed to prevent inadvertent damage from construction equipment and materials.

- During construction: any large structural roots that require pruning should be done as per the TPP.

**Tree C:**

- Install a root buffer zone on any bare ground under the dripline.

- Trunk protection should be installed to prevent inadvertent damage from construction equipment and materials.

- The staging and storage of construction equipment and materials should not take place under the dripline of this tree.

- During construction: any large structural roots that require pruning should be done as per the TPP.

- Pruning should not be required, but if it is, then follow the recommendations within the TPP.

**Tree D:**

- Apply for and obtain a Significant Tree Removal Permit from the County prior to construction. This tree is not a suitable candidate for preservation during the

construction process. This report can be submitted in evidence, alongside your plans.

- The removal of the tree should take place prior to demolition. Pruning Tree A & B at the same time would be sensible and cost-effective.
- The wood chips from the tree removal could be used for the root buffer zone, as per the TPP, for Tree A, B & C. Once the construction work is complete, and the root buffer zone is removed, then the wood chips can be incorporated into your landscaping.

**TREE PROTECTION PLAN**

I recommend the following Tree Protection Plan and best management practices in order to ensure that the requirements of Significant Tree Ordinance of San Mateo County (Part Three of Division VIII), Section 12.020.5 are met.

**Trunk Protection:** Tree A, B, C

Wrap the lower 6 feet of the trunk using either of the following methods:

- (1) A minimum of 4 layers of orange plastic snow fencing, then a layer of 2x4 planks set on end, edge-to-edge and wrapped with a minimum of 4 additional layers of orange plastic snow fencing OR;
- (2) Straw wattles, orange fence and 2x4 boards in concentric layers at a height of eight feet.

**Root Buffer Zone:** Tree A, B, C

In addition to the trunk protection for the trees, the following should be installed, prior to construction on any exposed soil:

- Protect the soil with a temporary layer of material to protect the soil texture and roots, or root buffer.
- The buffer shall consist of a base course of tree chips (use chips from Tree D) spread over the root area to a minimum of 6-inch depth, capped by a base course of 3/4-inch quarry gravel to stabilize 3/4-inch plywood on top.
- The root buffer shall be installed and removed without wheeled equipment touching exposed soil. This may mean some or all of the work is done by hand.
- Existing pavement also works as a root buffer (i.e., the existing driveway).

**Root Pruning:** all trees, where applicable

If roots are to be cut during construction, then the Project Arborist must be notified to make the final call and provide recommendations.

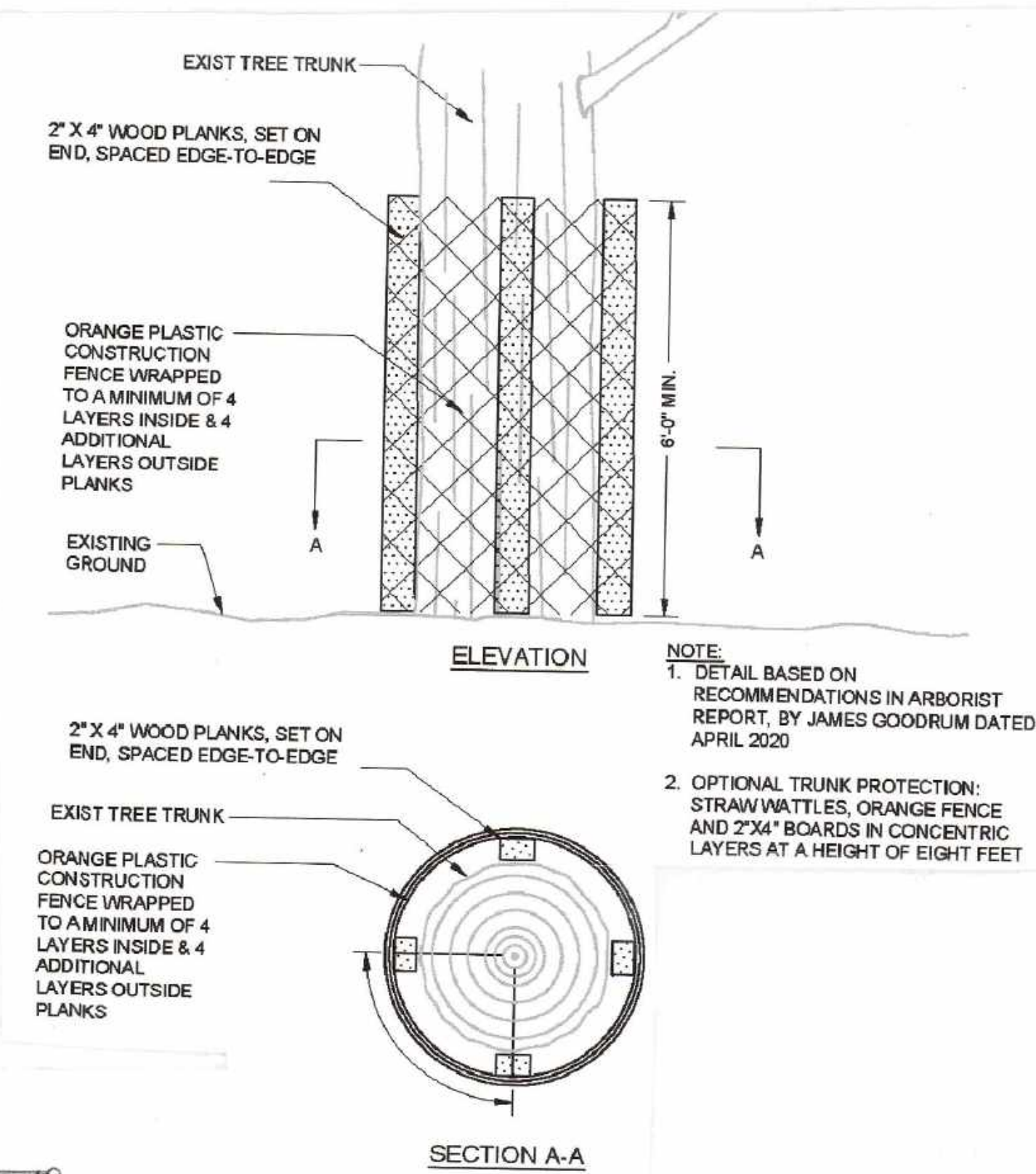
- All work should be undertaken by hand tools. Roots can be exposed using non-invasive methods such as via air-spades.
- If roots smaller than 4 inches in diameter require cutting, then they should be done only with approval by an arborist.
- Roots should only be cut cleanly with sharp tools: never tear with a backhoe. A clean cut encourages good wound closure and confines the spread of decay.
- Once the roots have been identified, then a temporary root buffer zone should be installed that will cover the root zone during construction work.
  - The exposed roots should be covered at the end of each day with a material such as burlap.
  - Regular irrigation should be provided in the form of soaker tubes, throughout construction activities.
  - Wood chips could also be used to provide a mulch to prevent inadvertent compaction and moisture loss. A 4 - 6 inch depth will suffice.

**Pruning:** Tree A, B (and C if construction dictates clearance is required)

The following measures should be applied to the trees before construction work:

- Any pruning of the canopy for access should be performed by an ISA Certified Arborist.
- Follow ANSI A300 (American National Standards for Tree Care Operations: Tree Shrub, and Other Woody Planting Maintenance: Pruning).
- Tree B: beyond clearance for access, remove broken and damaged branches. There was some visible hanging partially broken branches located in the canopy.

TREES:	Tag #	botanical name	common name	DBH (inches)	quantity
EXISTING TREES TO KEEP	A*	Hesperocyparis macrocarpa	Monterey Cypress	23.5	1
	B*	Hesperocyparis macrocarpa	Monterey Cypress	39.5	1
(this is on county property but dripline is affected)	C*	Hesperocyparis macrocarpa	Monterey Cypress	43.5	1
	F	Prunus	Plum	6,6 multi	1
	G	Prunus	Plum	6,4,4 multi	1
EXISTING TREES FOR REMOVAL	D*	Acacia melanoxylon	Blackwood Acacia	25	1
	E*	Salix	Willow	15	1
	H	Malus domestica	Apple	6	1
	I	Callistemon	Bottle Brush	6,6 multi	1
	J	Brugmanisa	Tumpet Vine	6,4 multi	1



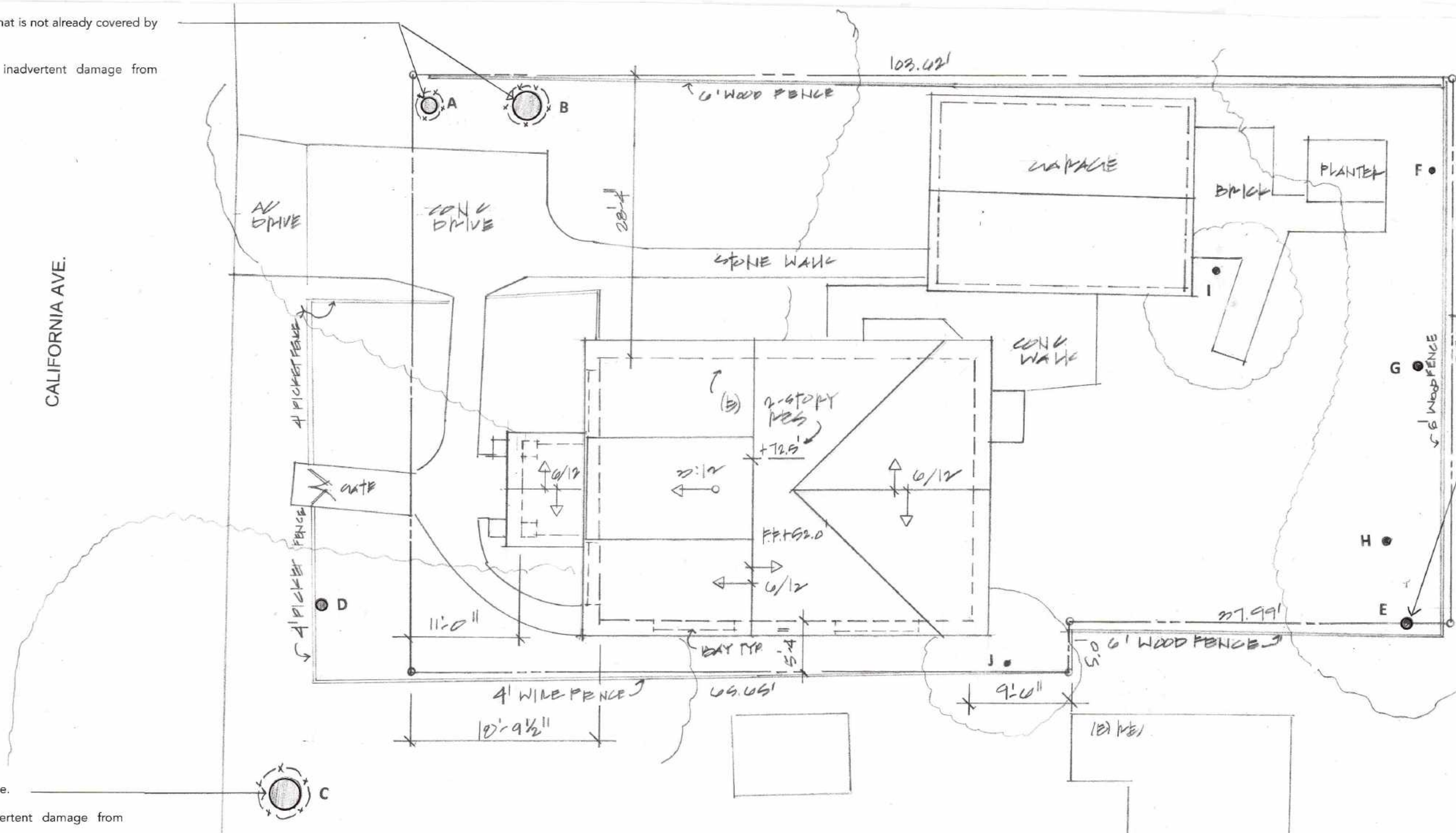
**1 TREE TRUNK PROTECTION NOT TO SCALE**

**RECOMMENDATIONS TREE E**  
 The tree is in fair condition and is located in an inappropriate location for its present and future size.  
 The tree requires consistent pruning to prevent further damage to the shared fence; and because of its past pruning and present condition, any future pruning can only continue to remove new growth. There is no suitable way to directionally prune the tree to avoid further conflict due to the structure of the tree.  
 Landscaping work in the form of a patio installation will occur under the dripline of this tree. Removal may be warranted after prior approval by the County as the tree is protected under the Significant Tree ordinance.

**TREE PROTECTION PLAN**

SCALE: 1/8"=1'-0"

NOTE:  
 ALL RECOMMENDATIONS AND TREE PROTECTION MEASURES SHOWN ARE PART OF ARBORIST REPORT AND TREE PROTECTION PLAN DATED APRIL 20, 2020 BY JAMES GOODRUM, CONSULTING ARBORIST



- Install a root buffer zone anywhere under the dripline that is not already covered by the driveway.
- Trunk protection should be installed to prevent inadvertent damage from construction equipment and materials.

- Install a root buffer zone on any bare ground under the dripline.
- Trunk protection should be installed to prevent inadvertent damage from construction equipment and materials.

James Goodrum, RCA #654  
 ISA Certified Arborist, No. WE-10042A ISA  
 Tree Risk Assessment Qualified  
 415-490-7316  
 www.goodrumfortrees.com

**CLAWSON RESIDENCE**  
 NEW RESIDENCE  
 322 CALIFORNIA AVE.  
 MOSS BEACH, CALIFORNIA