

Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Application for Design Review by the County Coastside Design Review Committee

Permit #: PLN 2015-00416

Other Permit #: _____

1. Basic Information

Applicant:

Name: Jeff Quinta
Address: 2801 Moorpark Ave, Suite 4, San Jose Zip: 95128
Phone, W: 408-985-1078H:
Email: jeff@quintadesigns.com

Owner (if different from Applicant):

Name: Joe Bettencourt
Address: 2117, Wendover Ln, San Jose, CA Zip: 95121
Phone, W: 408-209-9584H:
Email: Joe@straightlineconst.net

Architect or Designer (if different from Applicant):

Name: Jeff Quinta
Address: 2801 Moorpark Ave, Suite 4 Zip: 95128
Phone, W: 408-985-1078H: Email: jeff@quintadesigns.com

2. Project Site Information

Project location:

APN: 047-234-220
Address: The Alameda, El Granada, CA Zip: 94018
Zoning: R1 517-DR - (D)
Parcel/lot size: 6,328 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe):

3. Project Description

Project:

- New Single Family Residence: 3097 sq. ft
- Addition to Residence: _____ sq. ft
- Other: _____

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Describe Project:

4 Bedrooms, 3 bathroom, 2 stories new house with attached garage, balcony and deck.

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	Stucco / Siding	Painted / Stained	<input type="checkbox"/>
b. Trim	Wood	Painted	<input type="checkbox"/>
c. Windows	Aluminium clad	Blonze	<input type="checkbox"/>
d. Doors	Wood	Stained	<input type="checkbox"/>
e. Roof	Metal	Medium Blonze	<input type="checkbox"/>
f. Chimneys	Stucco	Painted	<input type="checkbox"/>
g. Decks & railings	Wood / Metal	Stained / Blonze	<input type="checkbox"/>
h. Stairs	Wood	Stained	<input type="checkbox"/>
i. Retaining walls	Concrete	Natural	<input type="checkbox"/>
j. Fences	Wood	Stained	<input type="checkbox"/>
k. Accessory buildings	N/A	N/A	<input type="checkbox"/>
l. Garage/Carport	Siding	Stained	<input type="checkbox"/>

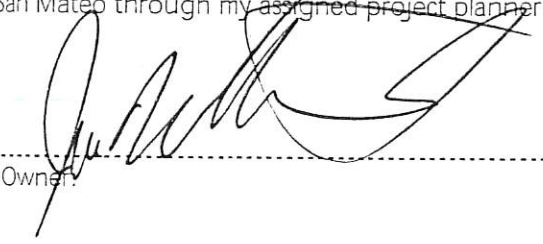
5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

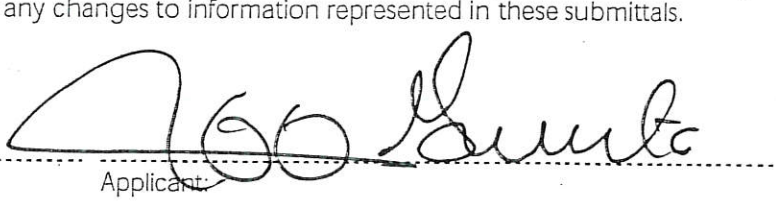
- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.



 Owner:



 Applicant:

9-17-15

 Date:

9-17-15

 Date:

Environmental Information Disclosure Form

PLN 2015-004116
 BLD _____

Project Address: The Alameda,
el granada, CA. 94018

Name of Owner: Joe Bettencourt
 Address: 2117 Wendover Ln,
San Jose, CA Phone: 408-209-9584

Assessor's Parcel No.: 047-234-220

Name of Applicant: Jeff Guinda

Zoning District: R1-517-DR-CD

Address: 2801 Moorpark Ave, Suite 4
San Jose CA Phone: 408-985-1078

Existing Site Conditions

Parcel size: 6,328

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). VACANT PARCEL

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq. ft?
<input checked="" type="checkbox"/>		d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? <u>11</u>
<input checked="" type="checkbox"/>		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : <u>137</u> c.y. Fill: <u>75</u> c.y.
	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

TREES REMOVED FOR NEW CONSTRUCTION
GRADING FOR BUILDING PAD

Planning and Building Department

455 County Center, 2nd Floor • Redwood City, CA • 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

Certificate of Exemption
or Exclusion from a Coastal
Development Permit

Permit #: PLN 2015-00416
Permit #: BLD _____

Permanent Record
Microfilming Required

1. Basic Information

Owner
Name: Joe Bettencourt
Address: 2117, Wendover Ln,
San Jose, CA.
Zip: 95121
Phone, W: 408-209-9584
Email Address: Joe@straightlineconst.net

Applicant
Name: Jeff Quinta
Address: 2801 Moorpark Ave.,
Suite A, San Jose,
CA.
Zip: 95128
Phone, W: 408-985-1078
Email Address: jeff@quintadesigns.com

2. Project Information

Project Description:
4 Bed room, 3 bathroom,
2 stories New house
with attached garage,
balcony and deck

Assessor's Parcel Number(s):
047-234-220

Existing water source:
 Utility connection CCWD
 Well _____
Proposed water source:
 Utility connection GCSD
 Well _____

Staking of well location and property lines are required.
 Provide site plan depicting location and all trees.
 Will this require any grading or vegetation/tree removal? Yes No
If Yes, additional permits may be required. Such as: Tree Removal Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit.

3. Signatures

We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein and the basis for exemption or exclusion are true and correct to the best of our knowledge and we hereby agree to carry out this project in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree that any exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated in the event the future house, the well, and/or storage tank requires a variance.

Joe Bettencourt 9-17-15 Jeff Quinta 9-17-15
Owner Date Applicant Date

(Both Owner and Applicant must sign unless this Application for Exemption or Exclusion accompanies a Building Permit Application for which the Applicant is an agent for the Owner acceptable to the Building Inspection Section.)

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
	✓	a. Construction outside of the footprint of an existing, legal structure?
	✓	b. Exterior construction within 100-feet of a stream?
	✓	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
	✓	d. Land-use within a riparian area?
	✓	e. Timber harvesting, mining, grazing or grading?
	✓	f. Any work inside of a stream, riparian corridor, or shoreline?
	✓	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
	✓	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
	✓	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

Declaration

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:



(Applicant may sign)

Date:

9-17-15

Staff Use Only

4. Basis of Exemption or Exclusion

Use attached review sheet to determine basis of exemption and whether project qualifies. Review basis of exemption with applicant/owner and initial appropriate category below:

Initial

- A. Improvements to Existing Single Family Residence. [PRC 30610(a), CCAG 13250, ZR 6328.5(a)]
- B. Improvements to Existing Structure Other Than Single Family Residence or Public Works Facility. [PRC 30610(b), CCAG 13253, ZR 6328.5(b)]
- C. Existing Navigation Channel. [PRC 30610(c), ZR 6328.5(c)]
- D. Repair or Maintenance Activity. [PRC 30610(d), CCAG 13252, ZR 6328.5(d)]
- E. Single Family Residence Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, AB 643, ZR 6328.5(e)]
- F. Agriculturally-Related Development Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, ORDERS E-79-7 and E-81-1, ZR 6328.5(e)]
- G. Utility Connections. [PRC 30610(f), ZR 6328.5(f)]
- H. Replacement of Structures Following Disasters. [PRC 30610(g), ZR 6328.5(g)]
- I. Emergency Activities. [PRC 30611, ZR 6328.5(h)]
- J. Lot Line Adjustment. [ZR 6328.5(i)]
- K. Land Division for Public Recreation Purposes. [ZR 6328.5(l)]

5. Well Inspection - All Coastal Zone Areas

Required Not Required

Inspection made by: _____ Date of Inspection: _____

Yes | **No**

- | | |
|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> Removal of trees? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> If Yes, is tree removal permit included? |
| <input type="checkbox"/> | <input type="checkbox"/> Trimming of trees? |
| <input type="checkbox"/> | <input type="checkbox"/> Excessive removal of vegetation? |
| <input type="checkbox"/> | <input type="checkbox"/> Excessive grading? (If Yes, CDP is required) |
| <input type="checkbox"/> | <input type="checkbox"/> Erosion control plan required? |

Approval of Permit is subject to the following: (check if applicable)

- Submittal and Approval of a Tree Removal Permit
- Submittal and Approval of a Grading Permit
- Submittal and Approval of an Erosion Control Plan
- Submittal and Approval of a Coastal Dev. Permit

6. Approval

I have reviewed the above-described project and have determined that it meets all criteria for the exemption/exclusion checked above.

Exemption/Exclusion is approved.

.....
Planning Department

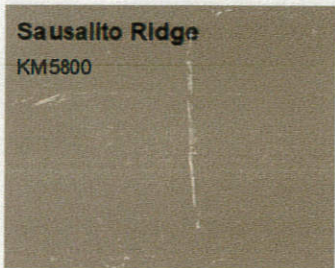
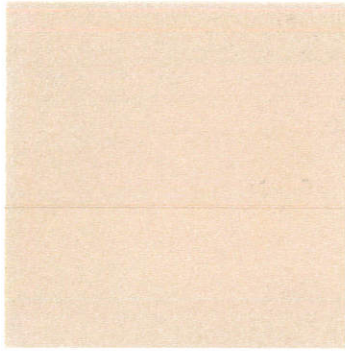
.....
Date

Project is subject to the following condition(s) of approval:

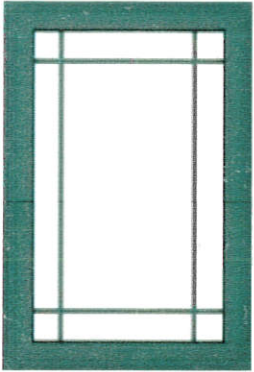
7. Processing

- Fee collected
- Original Certificate of Exemption to Building Inspection file.
- Copies of Certificate of Exemption to:
 1. Applicant/Owner.
 2. Planning Department Exemption Binder.

- 3. Any relevant Planning or Building Inspection files.
- 4. California Coastal Commission, 45 Fremont Street, Suite 2000, San Francisco, CA 94105
- Update Permit*Plan Case Screen and Activities



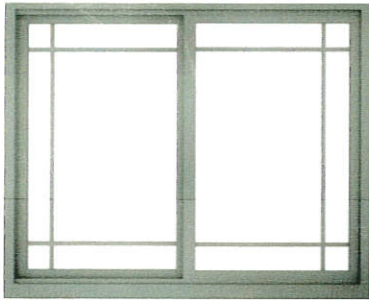
EXTERIOR WALLS - STUCCO -	Stucco Supply co. Superior Exterior Stucco	Pecan – LRV 47 – Base B
EXTERIOR COLOR -	1240 Acrylic Shield Exterior	27-Bone
TRIM-	Fremont Walnut 1/2 in. Thick x 3-1/2 in. Wide x 94 in. Length Hardwood Wall Base Molding	Item # HL134WB
TRIM COLOR-	1240 Acrylic Shield Exterior	KM5800 Sausalito Ridge



CASEMENT WINDOW -

Jeld-Wen- Wood Clad Exterior Window

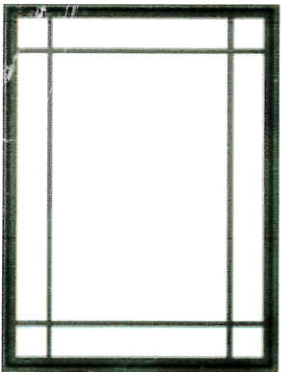
BRONZE FINISH



SLIDING WINDOW -

Jeld-Wen- Wood Clad Exterior Window

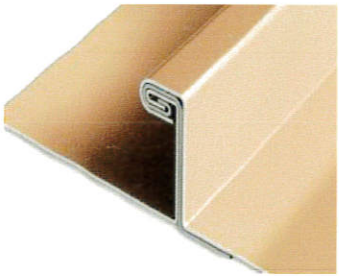
BRONZE FINISH



FIXED WINDOW-

Jeld-Wen- Wood Clad Exterior Window

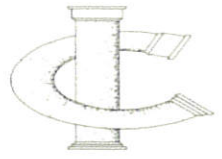
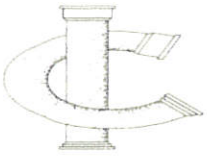
BRONZE FINISH



ROOF-

Wildcat Metals -pre-finished galvanized steel and aluminum roofing.

MEDIUM BRONZE

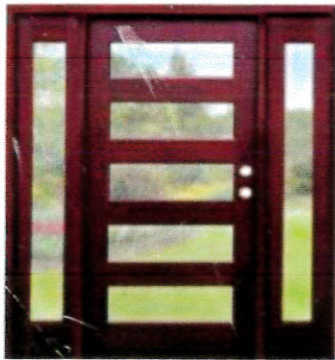


INNOVATIVE CONCEPTS

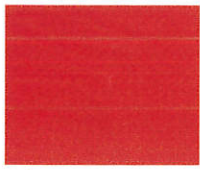
PROFESSIONAL BUILDING DESIGN AND PLANNING

2801 Moorpark Ave. Suite 4 San Jose, CA 95128

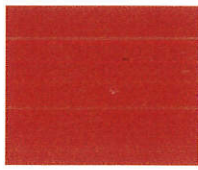
Ph. (408) 985-1078 • Fax. (408) 985-1343 • www.guintadesigns.com • E-Mail: jeff@guintadesigns.com



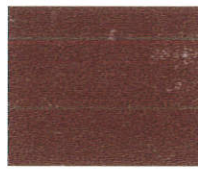
OUTDOOR LIGHTS -	Kichler 9244AZ Architectural Bronze 2 Light 12" Outdoor Wall Light	Item #: BC1845099 BRONZE FINISH
FRONT DOOR -	4-Lite Contemporary 80" Tall Mahogany Entry Door and Sidelites with Insulated Glass	Item # C4-CS1-2 STAINED
GARAGE DOOR-	1/8" Single Pane Tempered Frosted/Sand-Blasted Glass (Non-Insulated).	BRONZE FINISH
DOORS-	Full Lite Contemporary Mahogany Entry Door with Insulated Glass	STAINED



▲★CARDINAL RED



▲★COLONIAL RED



BURGUNDY



▲★TERRA COTTA



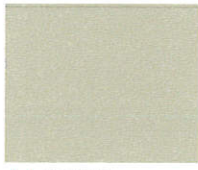
▲★SIERRA TAN



▲★MANSARD BROWN



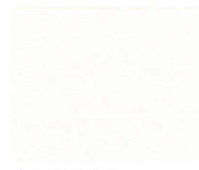
▲★STONE WHITE



▲★GRANITE



▲★SANDSTONE



▲★ALMOND



▲★MEDIUM BRONZE



▲★DARK BRONZE



▲★SLATE GRAY



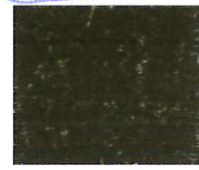
▲★BONE WHITE



▲★MUSKET GRAY



▲★CHARCOAL



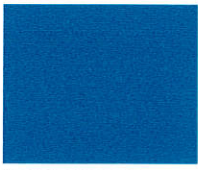
MIDNIGHT BRONZE



MATTE BLACK



▲★CITYSCAPE



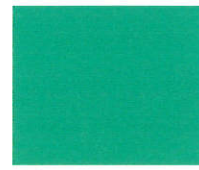
INTERSTATE BLUE



▲★HEMLOCK GREEN



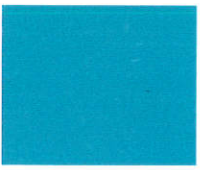
▲★ARCADIA GREEN



▲★PATINA GREEN



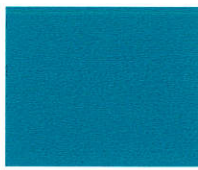
▲★HUNTER GREEN



▲★MILITARY BLUE



AWARD BLUE



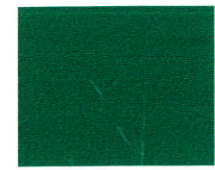
▲★TEAL



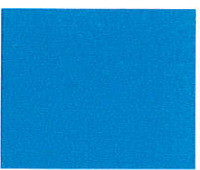
HARTFORD GREEN



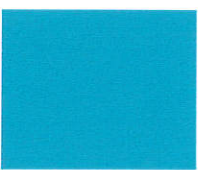
FOREST GREEN



▲★EVERGREEN



★BERKSHIRE BLUE



▲★SLATE BLUE

Kynar 500® or Hylar 5000® pre-finished steel and aluminum for roofing, curtainwall and storefront applications.



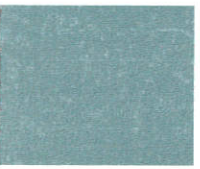
● Denotes PAC-CLAD Metallic Colors

▲ Denotes PAC-CLAD Cool Colors

★ Denotes ENERGY STAR colors

See back for color availability chart. Note: Midnight Bronze available in .040 aluminum only.

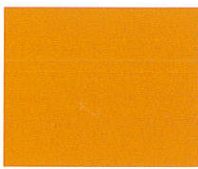
PAC-CLAD® Metallic Colors



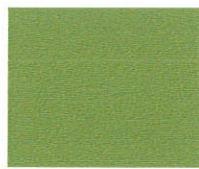
●▲★ZINC



●▲★SILVER



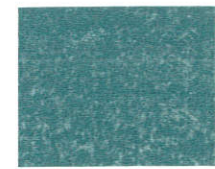
●▲★COPPER PENNY



●▲★AGED COPPER



●▲★CHAMPAGNE



●▲★WEATHERED ZINC

PETERSEN ALUMINUM CORPORATION

WWW.PAC-CLAD.COM

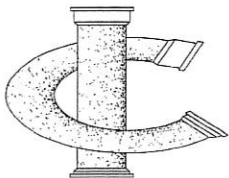
HQ: 1005 Tonne Road
Elk Grove Village, IL 60007
P: 800-PAC-CLAD
F: 800-722-7150

9060 Junction Drive
Annapolis Junction, MD 20701
P: 800-344-1400
F: 301-952-7627

10551 PAC Road
Tyler, TX 75707
P: 800-441-8661
F: 903-581-8592

102 Northpoint Parkway
Acworth, GA 30102
P: 800-272-4482
F: 770-420-2533

1885 Station Pkwy NW, Ste B
Andover, MN 55304
P: 877-571-2025
F: 866-901-2935



INNOVATIVE CONCEPTS
PROFESSIONAL BUILDING DESIGN AND PLANNING

2801 Moorpark Ave. Suite 4
San Jose, CA 95128
Phone: (408) 985-1078 Fax: (408) 985-1343
E-Mail: inncpt@sbcglobal.net

The Bettencourt Residence
The Alameda, El Granada,
California 94018

RECEIVED

SEP 17 2015

San Mateo County
Planning and Building Department

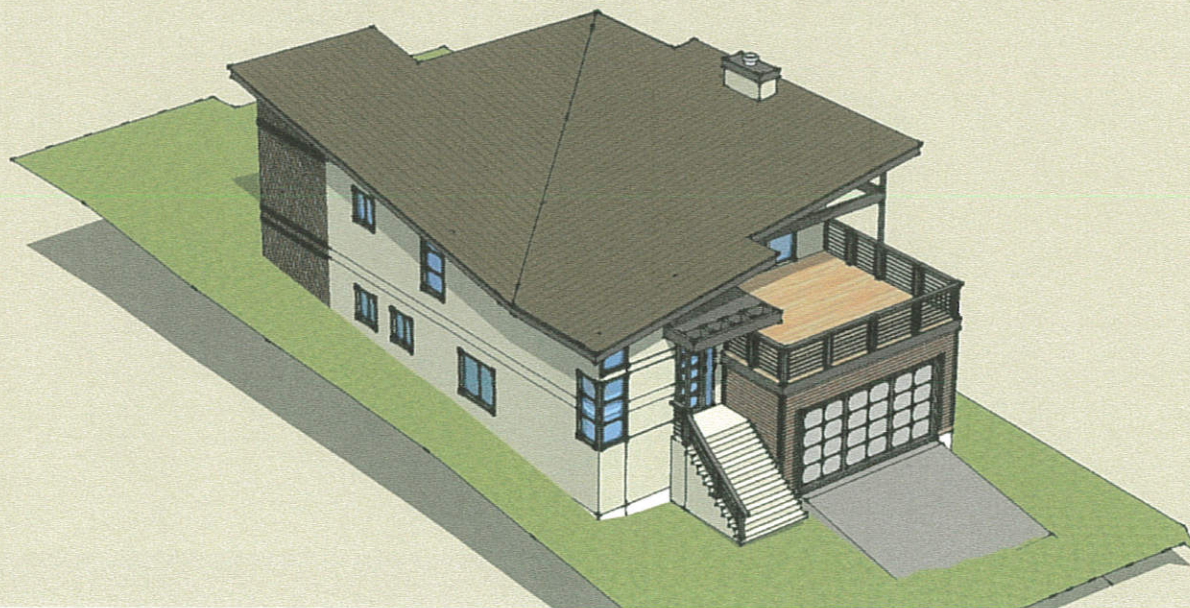
PUN2015-00416







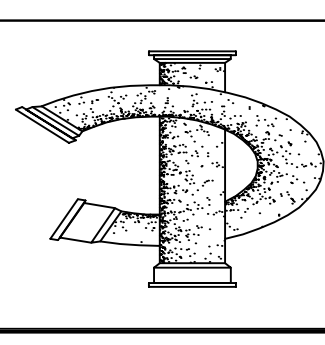






Revisions	By
07/27/2016	GF
08/20/2016	GF

INNOVATIVE CONCEPTS
PROFESSIONAL BUILDING DESIGN AND PLANNING
 3550 Stevens Creek Blvd, Suite 225
 San Jose, CA 95117
 Phone: (408) 986-1078 Fax: (408) 985-1343
 E-Mail: inpcpr@bcglobe.com



A New Home for:
Joe Bettencourt Residence
 The Alameda
 El Granada, Ca. 94018

Date	09/17/2015
Scale	NOTED
Drawn	GF
300	
Sheet	

A0

NOTES

* The proposed residence is to be constructed by a Contractor and the architectural plans are based on site plans, exterior elevations, scaled floor plans and material construction specifications approved by the owner. The architectural plans are not intended to be comprehensive and it shall be the responsibility of the subcontractors to notify the Contractor of any necessary clarifications or modifications.

* All work connected with this project shall be done in a professional manner in accordance with the traditionally and legally defined "best accepted practice" of the trade involved. Additionally, all work shall comply with applicable codes and trade standards which govern each phase of work, including but not limited to the 2013 California Building Code (CBC), 2013 California Mechanical Code (CMC), 2013 California Fire Code (CFC), 2013 California Electrical Code (CEC), American Concrete Institute Code (ACI), 2013 California Plumbing Code (CPC) and all applicable local codes and/or legislation.

* The Contractor shall be responsible for notifying the Designer of any unusual or unforeseen foundation conditions, discrepancies of omissions within the plans or any deviations or changes from the plans before proceeding with the work involved; otherwise they will be considered adequate for proper completion of the project. The Contractor shall be responsible for verifying field measurements before ordering materials and prefabricated items.

* Adequate supervision and periodic inspection during the construction phase are recommended. The Contractor shall be responsible to ensure that this inspection and supervision are provided by qualified persons.

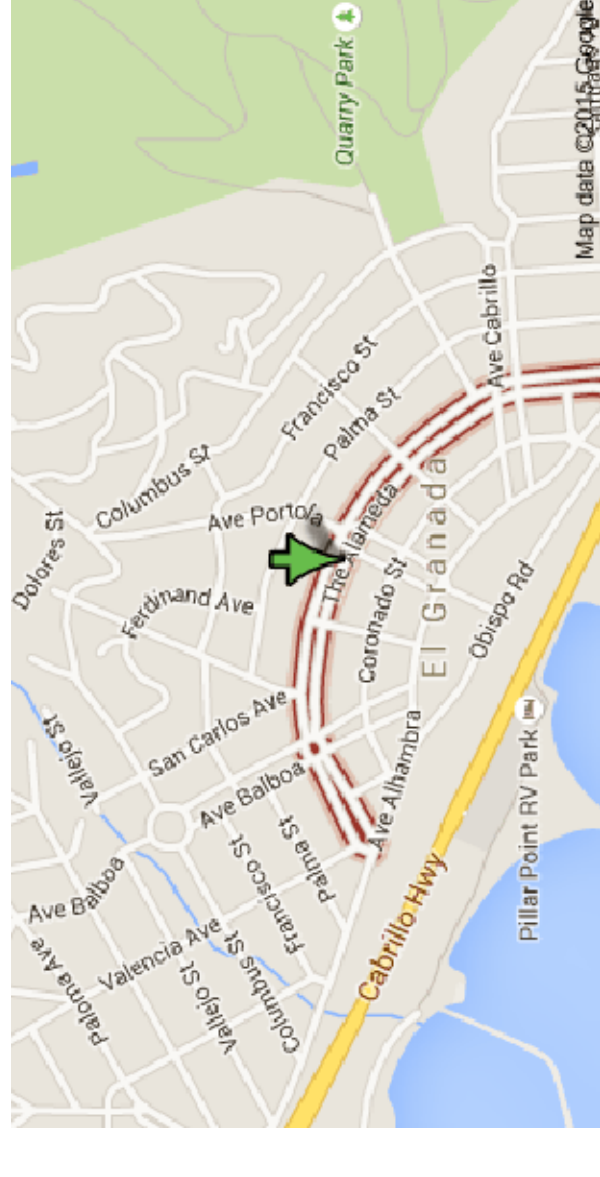
* These plans shall not be considered complete and ready for construction until a building permit has been issued.

* In all cases written dimensions take precedence over scaled dimensions. Dimensions are to the face of stud or face of concrete unless otherwise noted.

* Larger scale details take precedence over smaller scale details.

* Lay out all structural work by referring to dimensions and elevation notes on the architectural plans. Do not scale structural drawings; work detail dimensions from controlling surface points and actual material dimensions.

* Slope finish exterior surface away from foundation.



VICINITY MAP

INDEX OF PAGES

- SITE PLAN SHEET A0
- PROPOSED FLOOR PLANS SHEET A1
- ELEVATIONS SHEET A2 & A3
- BUILDING SECTIONS SHEET A4-A7
- ROOF PLAN SHEET A8
- GRAVING DRAINAGE PLANS SHEET C1 - C4
- TOPOGRAPHIC MAP SHEET L1-2
- TREE REMOVAL PLAN SHEET L2
- LANDSCAPE PLANNING PLAN SHEET L2

SCOPE OF WORK:
 CONST. NEW 4 BEDROOMS, 3 BATHS, 2 STOREY HOUSE WITH ATTACHED GARAGE, BALCONY AND DECK.

PROJECT DESCRIPTION:

- BUILDING OCCUPANCY : R-3 / U
- TYPE OF CONSTRUCTION : V-B
- STORIES : 2
- ZONING : R1-97
- LOT SIZE : 6,273 SF
- PARCEL COVERAGE: FIRST FLOOR : 1,264 SF
- GARAGE : 481 SF
- FRONT PORCH & STAIRS : 87 SF
- REAR DECK & STAIRS : 247 SF
- TOTAL : 2,079 SF

ALLOWED = LOT SIZE X .35%
 = 6,273 X .35%
 = 2,195 = 21.9%

DESIGNED = 2,079 / 6,273
 = 33%

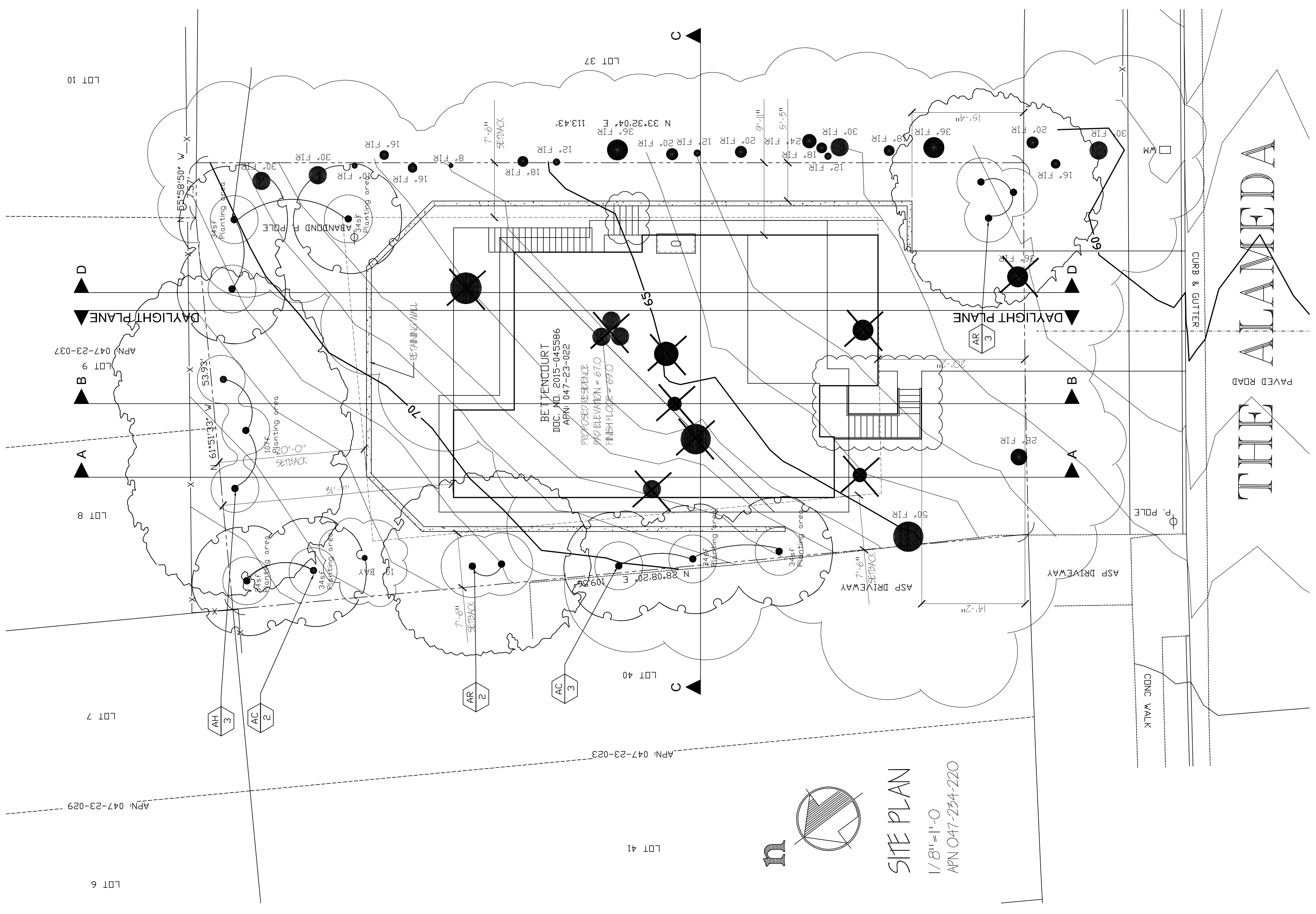
- FLOOR AREA : 1,264 SF
- FIRST FLOOR : 481 SF
- SECOND FLOOR : 1,221 SF
- BALCONY : 178 SF
- TOTAL : 3,154 SF

ALLOWED = LOT SIZE X .55%
 = 6,273 X .55%
 = 3,524

DESIGNED = 3,154 / 6,273
 = 50%

NOTE
 THE FOLLOWING CODES AND REGULATIONS AS AMENDED BY THE STATE OF CALIFORNIA AND LOCAL JURISDICTION ARE APPLICABLE TO THIS PROJECT.

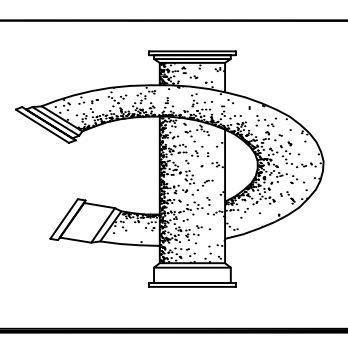
- CBC 2013 California Building Code
- CEC 2013 California Electrical Code
- CPC 2013 California Plumbing Code
- CMC 2013 California Mechanical Code
- CEC 2013 California Electrical Code
- CEC 2013 California Residential Building Code
- CEC 2013 California Energy Code



SITE PLAN
 1/8" = 1'-0"
 APN 047-23-022

Revisions	By
01/22/2016	GF
08/20/2016	GF

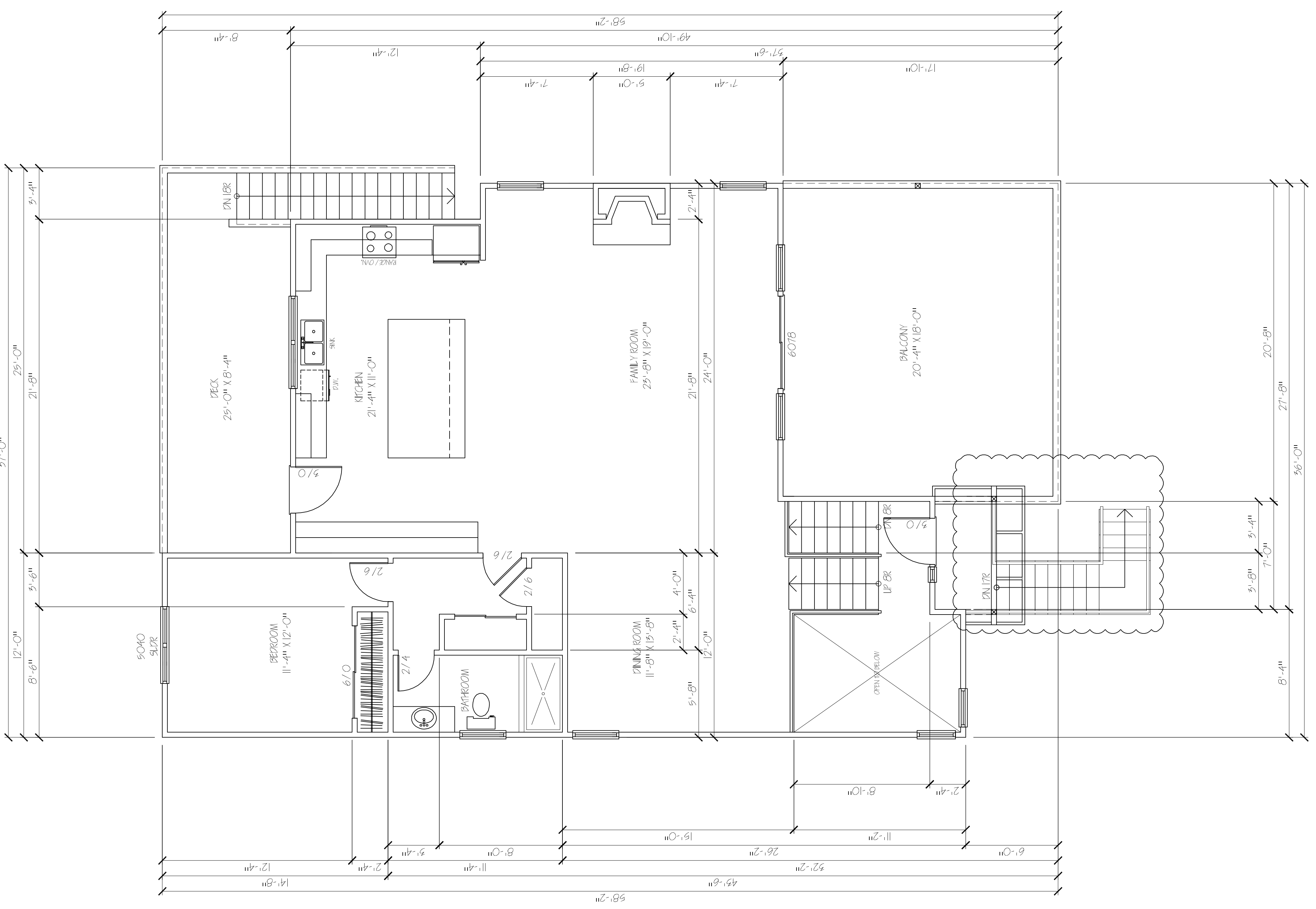
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 PROFESSIONAL BUILDING DESIGN AND PLANNING
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 San Jose, CA 95117
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 E-Mail: inncp@scgcal.net



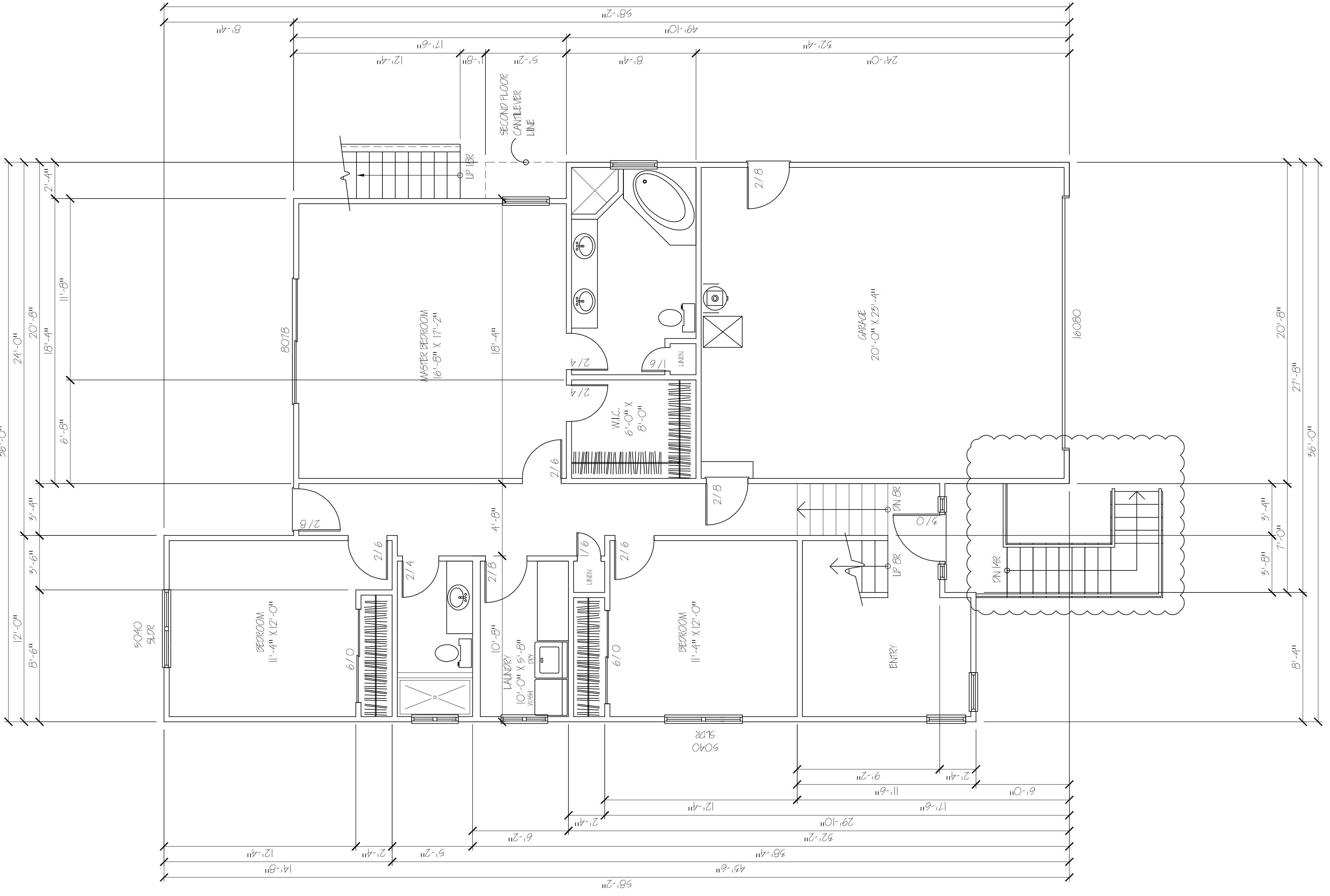
A New Home for:
 Joe Bettencourt Residence
 The Alameda
 El Granada, Ca. 94018

Date: 09/17/2015
 Scale: NOTED
 Drawn: GF
 SDB
 Sheet

A1
 Sheet 4 of 4



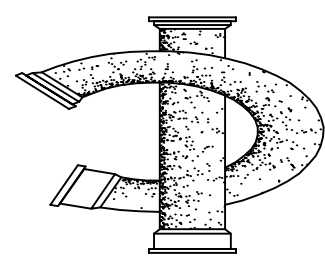
PROPOSED UPPER FLOOR PLAN
 1/4" = 1'-0"



PROPOSED LOWER FLOOR PLAN
 1/4" = 1'-0"

Revisions	By
07/27/2016	GF
08/20/2016	GF

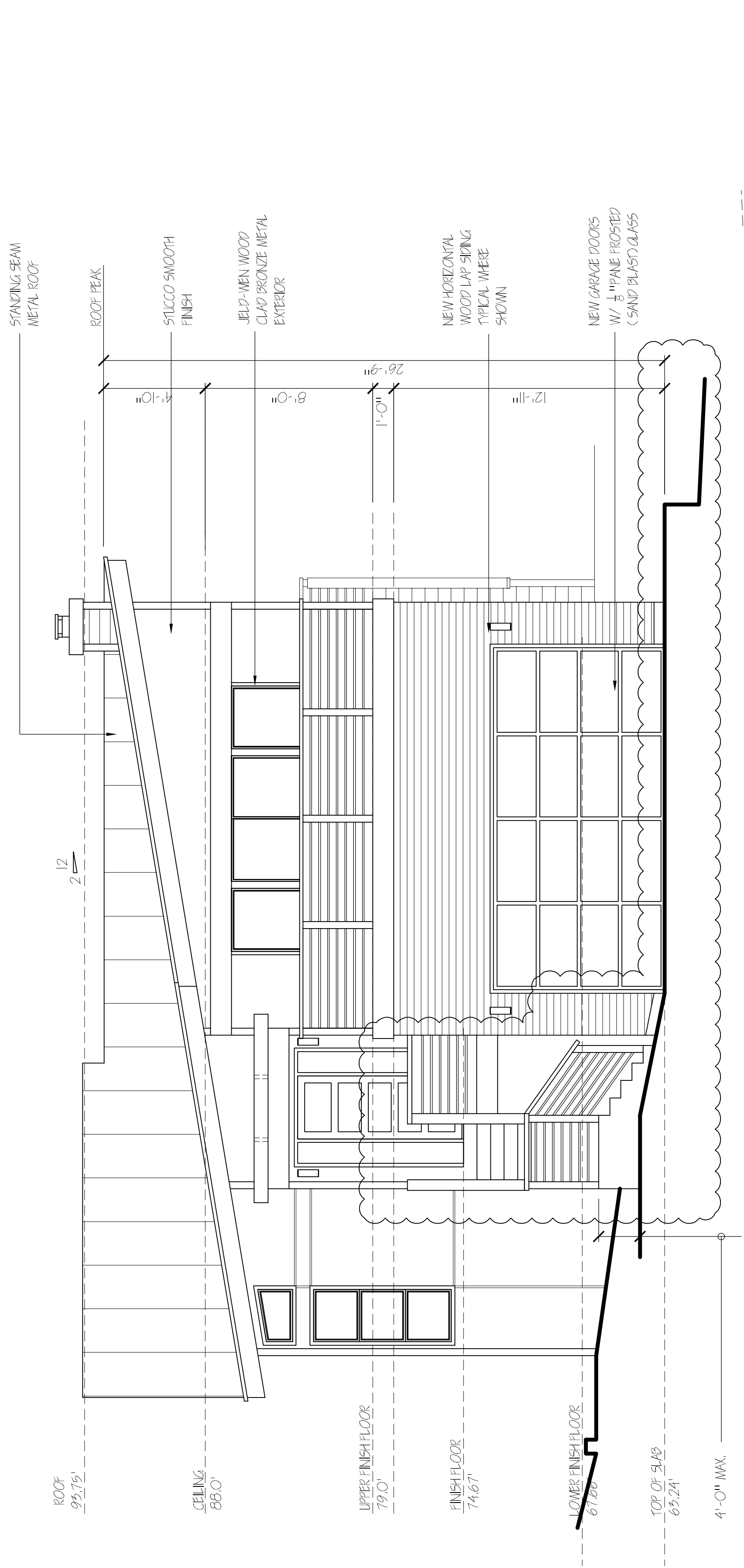
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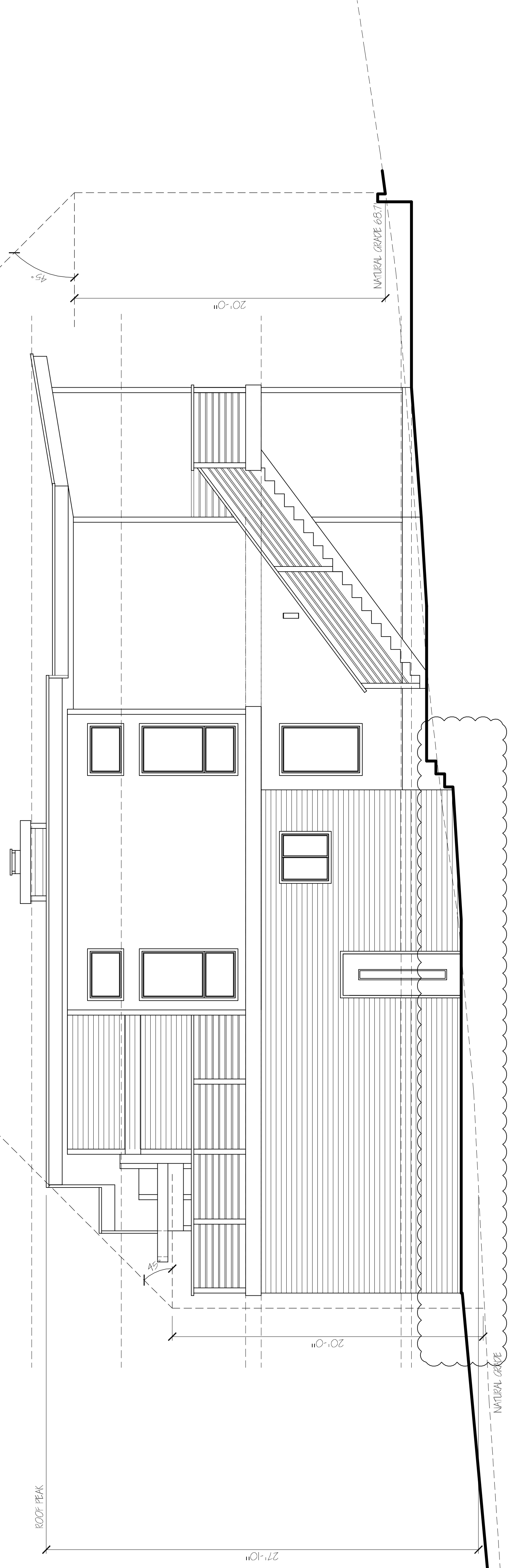
A New Home for:
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 El Granada, Ca. 94018

Date: 09/17/2015
 Scale: NOTED
 Drawn: GF
 SSB
 Sheet

A2
 of



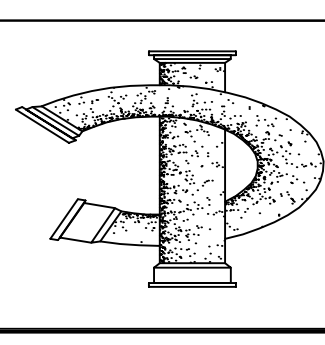
FRONT ELEVATION
 1/4" = 1'-0"



RIGHT-SIDE ELEVATION
 1/4" = 1'-0"

Revisions	By
07/27/2016	GF
08/20/2016	GF

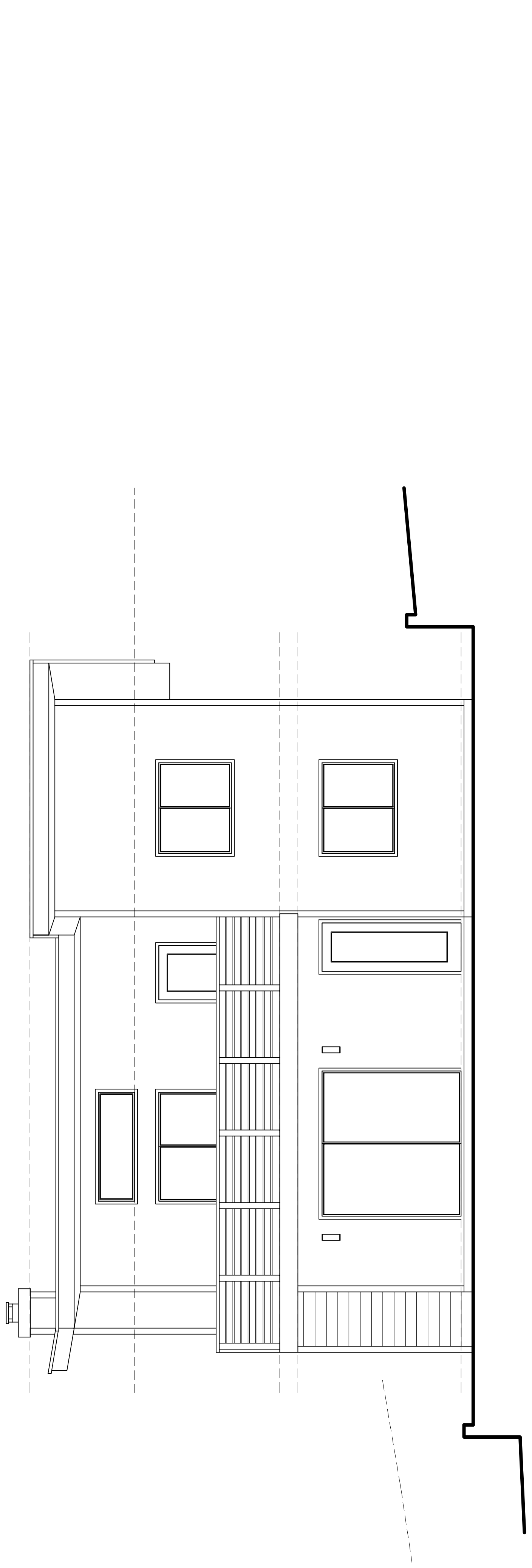
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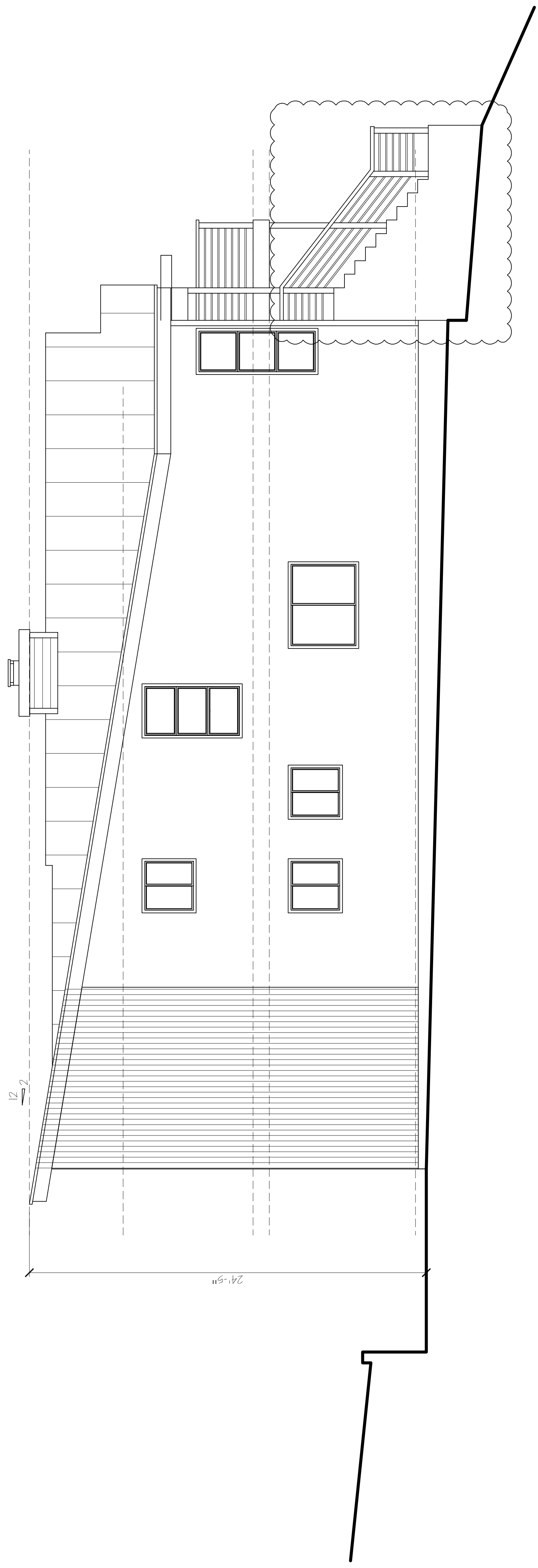
A New Home for:
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 El Granada, Ca. 94018

Date: 09/17/2016
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 SSB
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A3
 of



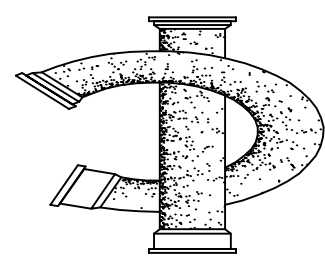
REAR ELEVATION
 1/4" = 1'-0"



LEFT-SIDE ELEVATION
 1/4" = 1'-0"

Revisions	By
07/27/2016	GF
08/20/2016	GF

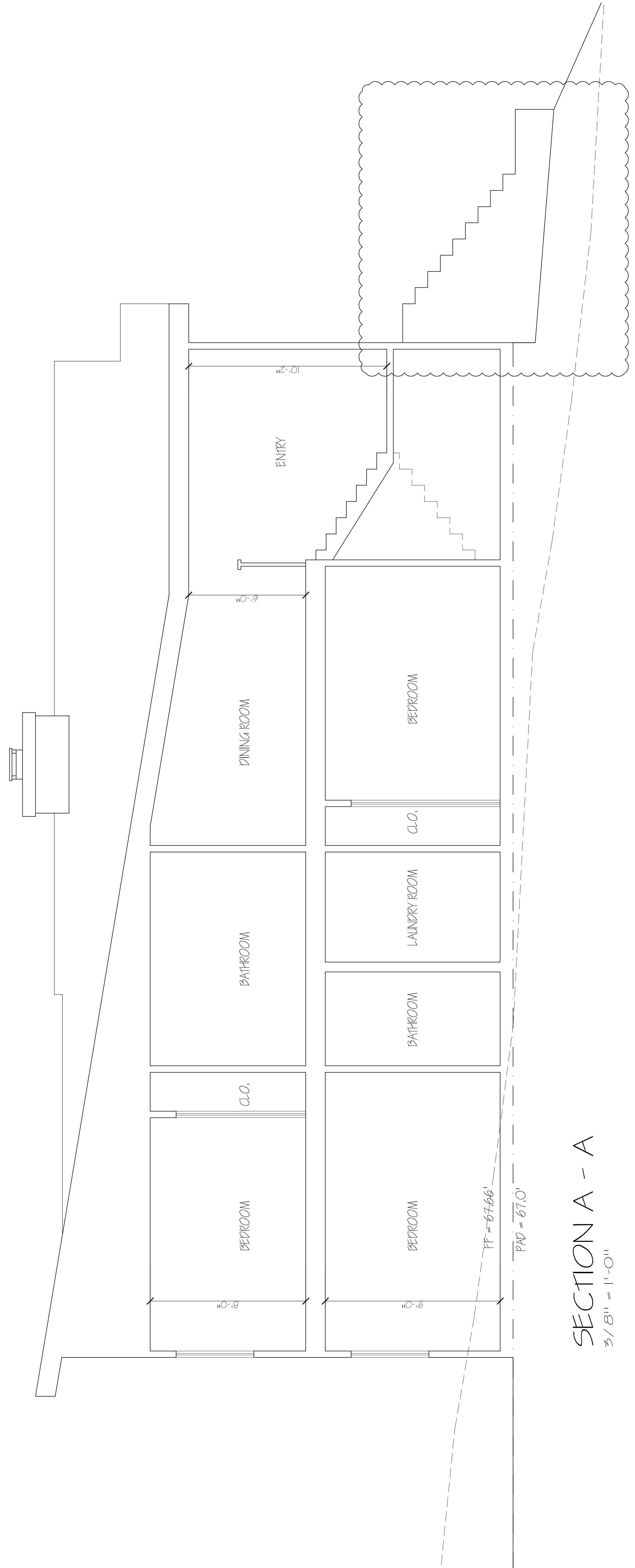
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Date: 09/17/2016
 Scale: NOTED
 Drawn: GF
 S.D.
 Sheet

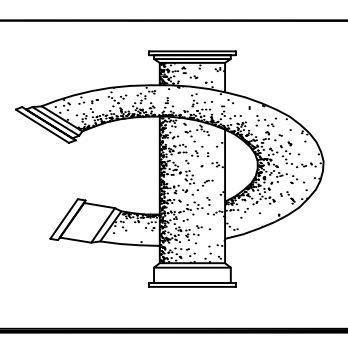
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SECTION A - A
 3/8" = 1'-0"

Revisions	By
07/27/2016	GF
08/20/2016	GF

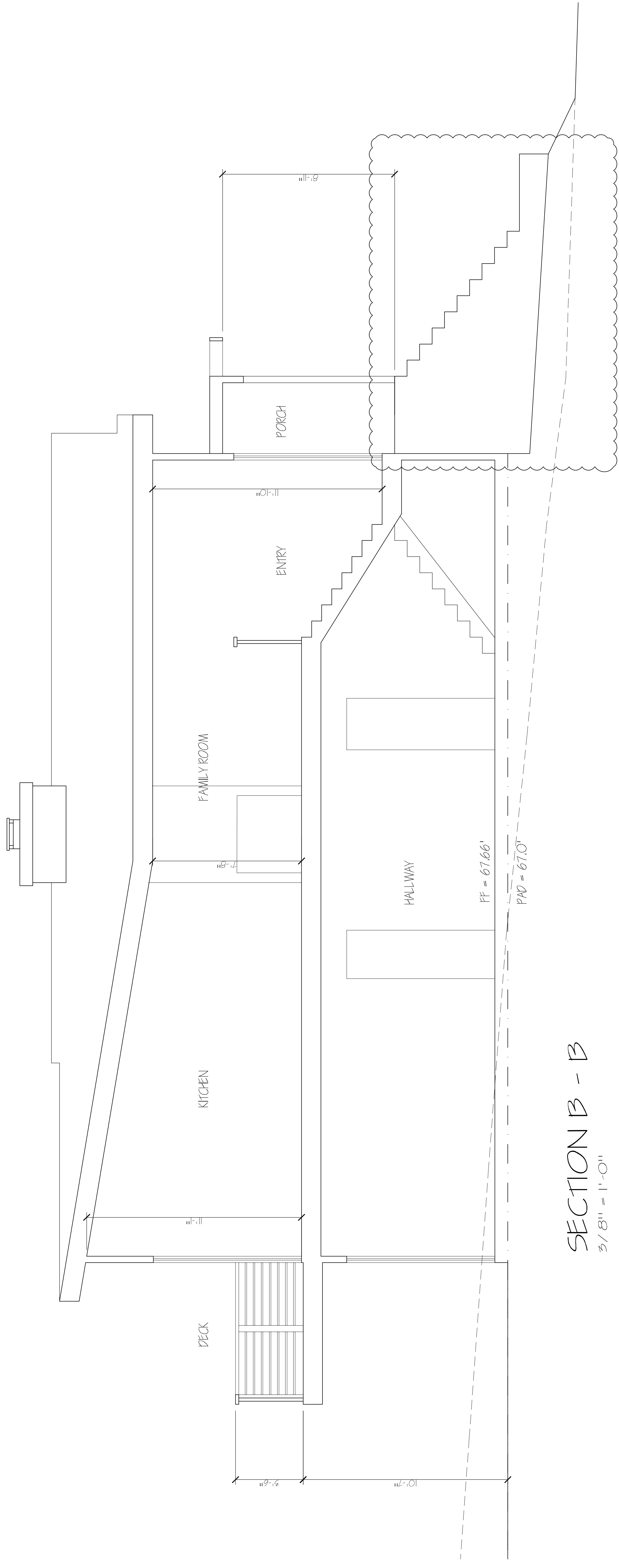
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Date 09/17/2016
 Scale NOTED
 Drawn GF
 SSB
 Sheet

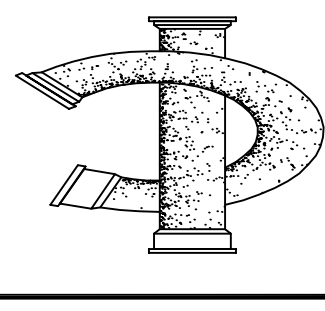
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SECTION B - B
 3/8" = 1'-0"

Revisions	By
08/20/2016	GF

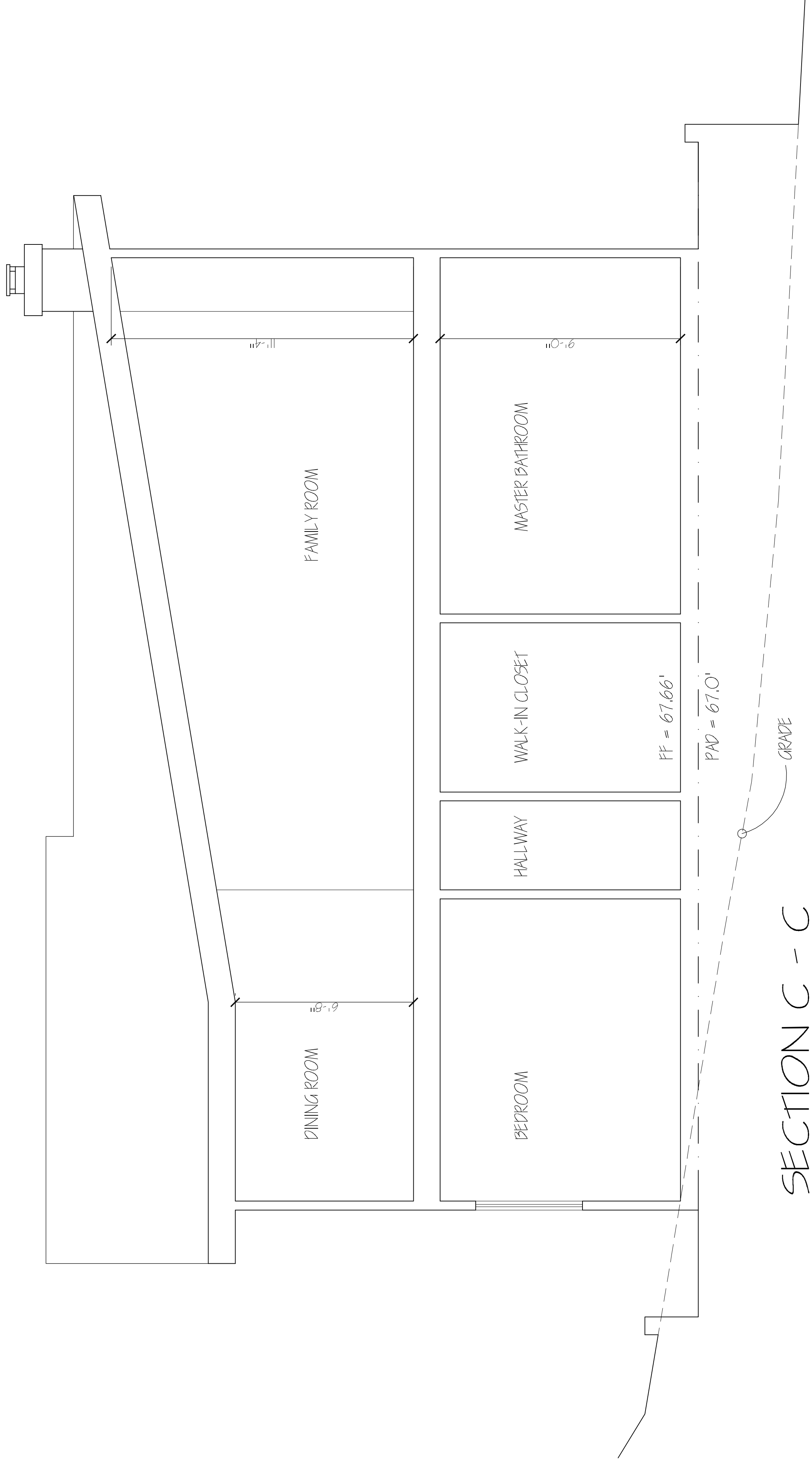
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 San Jose, CA 95117
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A New Home for:
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 El Granada, Ca. 94018

Date 09/17/2016
 Scale NOTED
 Drawn GF
 SGP
 Sheet

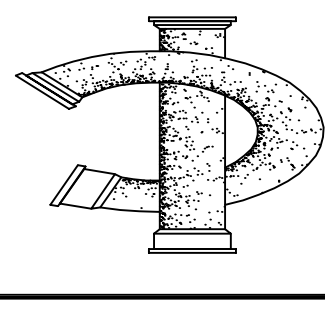
of
A6
 Sheet



SECTION C - C
 3/8" = 1'-0"

Revisions	By
07/27/2016	GF
08/20/2016	GF

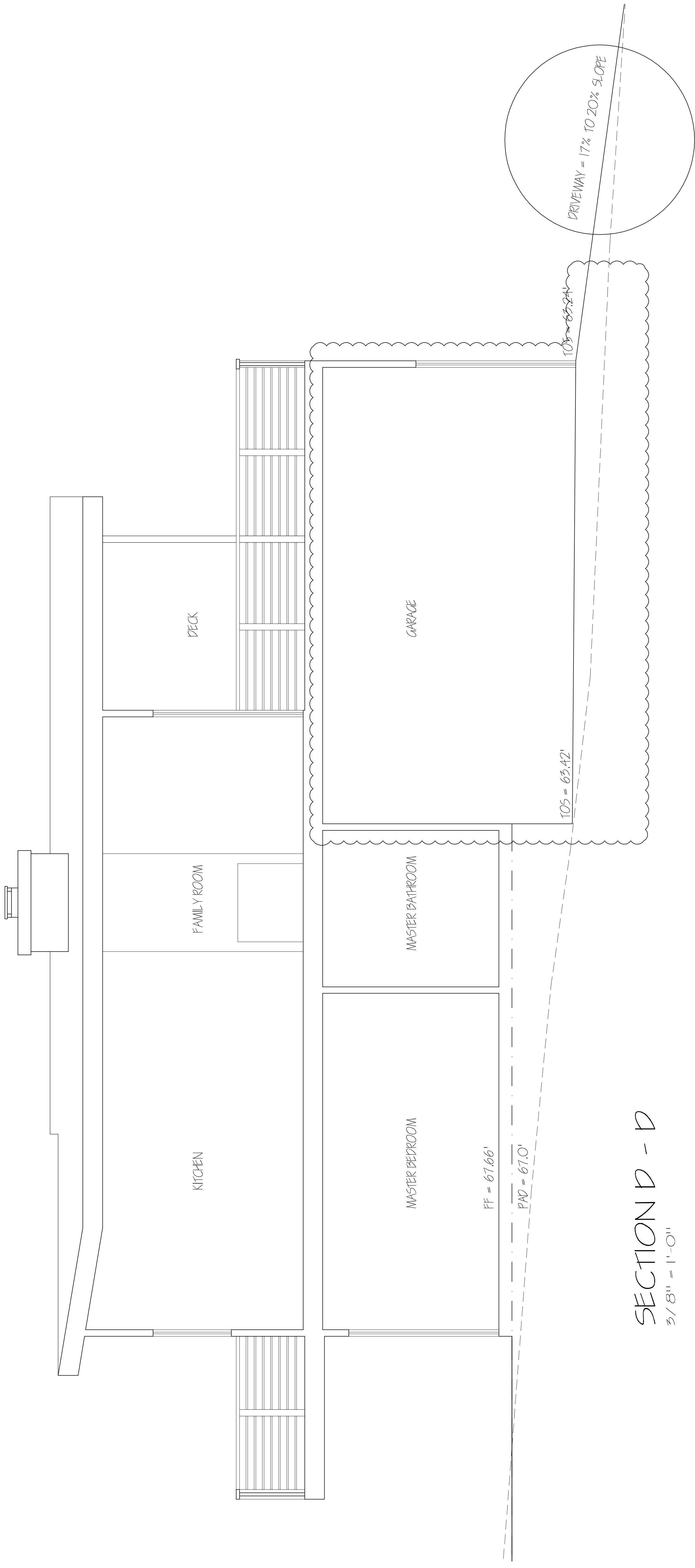
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 El Granada, Ca. 94018

Date: 09/17/2016
 Scale: NOTED
 Drawn: GF
 S.D.
 Sheet

of
A7
 Sheet



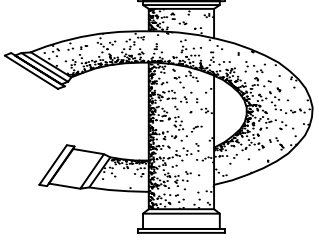
SECTION D - D
 $3/8" = 1'-0"$

A New Home for:

Joe Bettencourt Residence

The Alameda

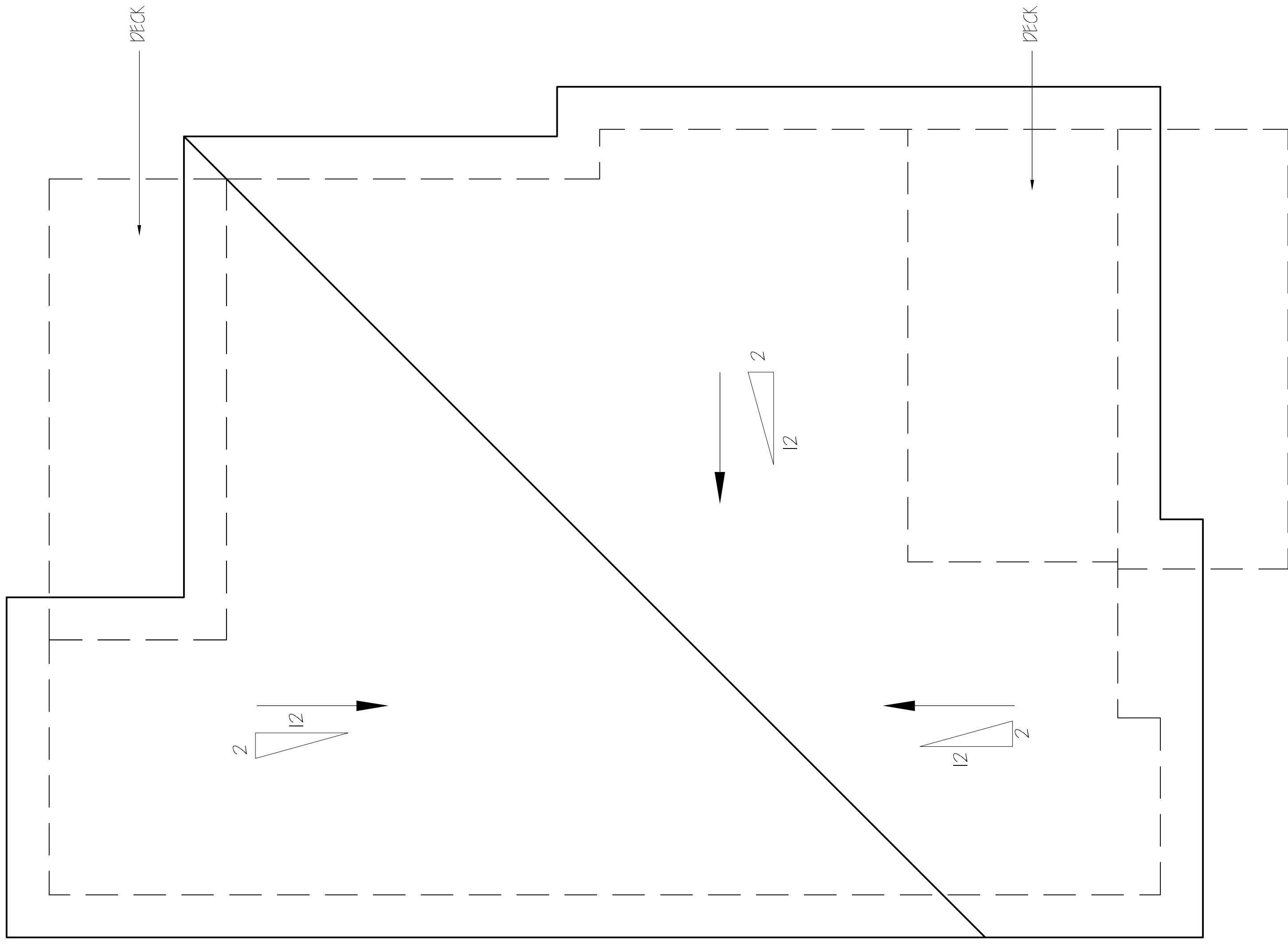
El Granada, Ca. 94018



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Revisions	By

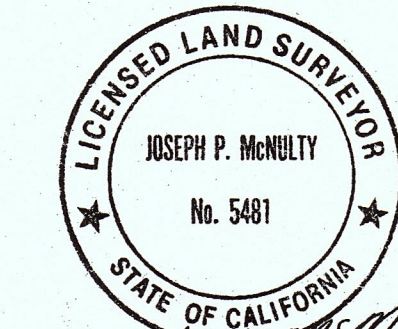


ROOF PLAN
1/4" = 1'-0"

BOUNDARY & TOPOGRAPHY MAP

Prepared By:
 Pat McNulty
 Professional Land Surveyor
 1604 Francis Avenue
 Belmont, California 94002
 650-654-6460

DATE: APRIL 2014 JOB NO.: 8-14



Pat McNulty 4/9/14

LEGEND

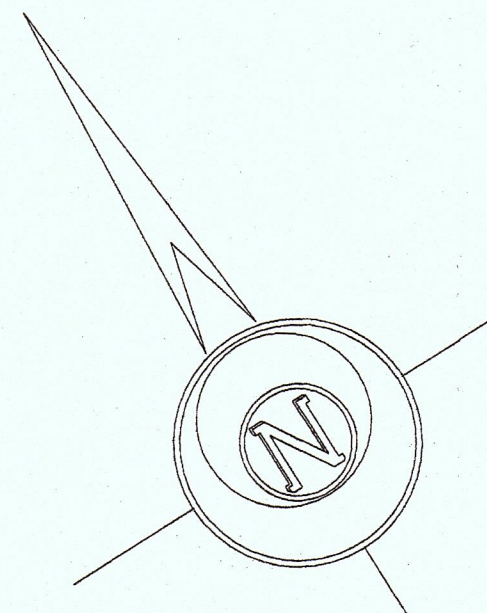
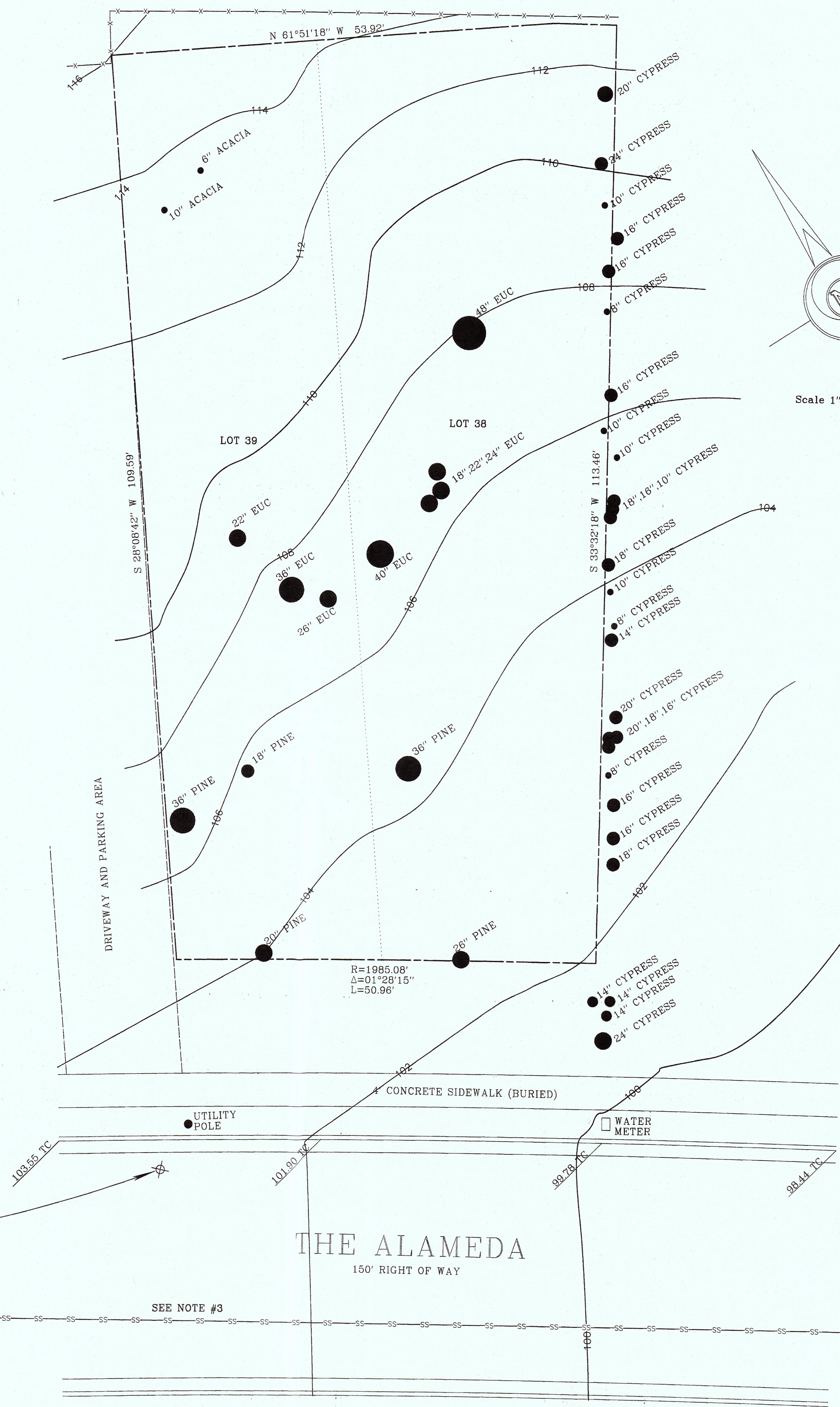
- x—x—x— Fence
- SS—SS—SS— Sanitary Sewer Line
- — — — — PROPERTY LINE
- · — · — Edge of Pavement
- EUC Eucalyptus
- TC Top of Curb

SURVEY FOR:
 Ray Hekkert

SURVEY OF:
 Lots 38, & 39 Block 23 of Volume 6 of Maps page 29
 SITE ADDRESS: Vacant, El Granada
 A.P.N. 047-234-220
 Area = 6,272.90 sq. ft. +/-

NOTES:

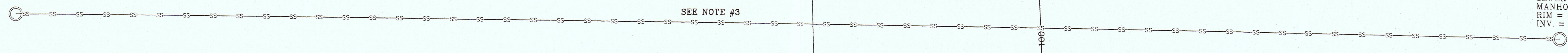
- 1) Survey shows existing site conditions at the time of the survey. Any Site Plan or Grading Plan has been done by others.
- 2) Elevations shown are on an assumed Datum.
- 3) The exact location of the underground sewer line is not known the line shown represents a straight line from manhole to manhole.



Scale 1" = 8'

BENCH MARK:
 A Mag. nail and shiner was set in pavement and used as the Datum Point for this Survey. Elevation = 102.79 (Assumed Datum)

SANITARY SEWER MANHOLE
 RIM = 107.91
 INV. = 101.03

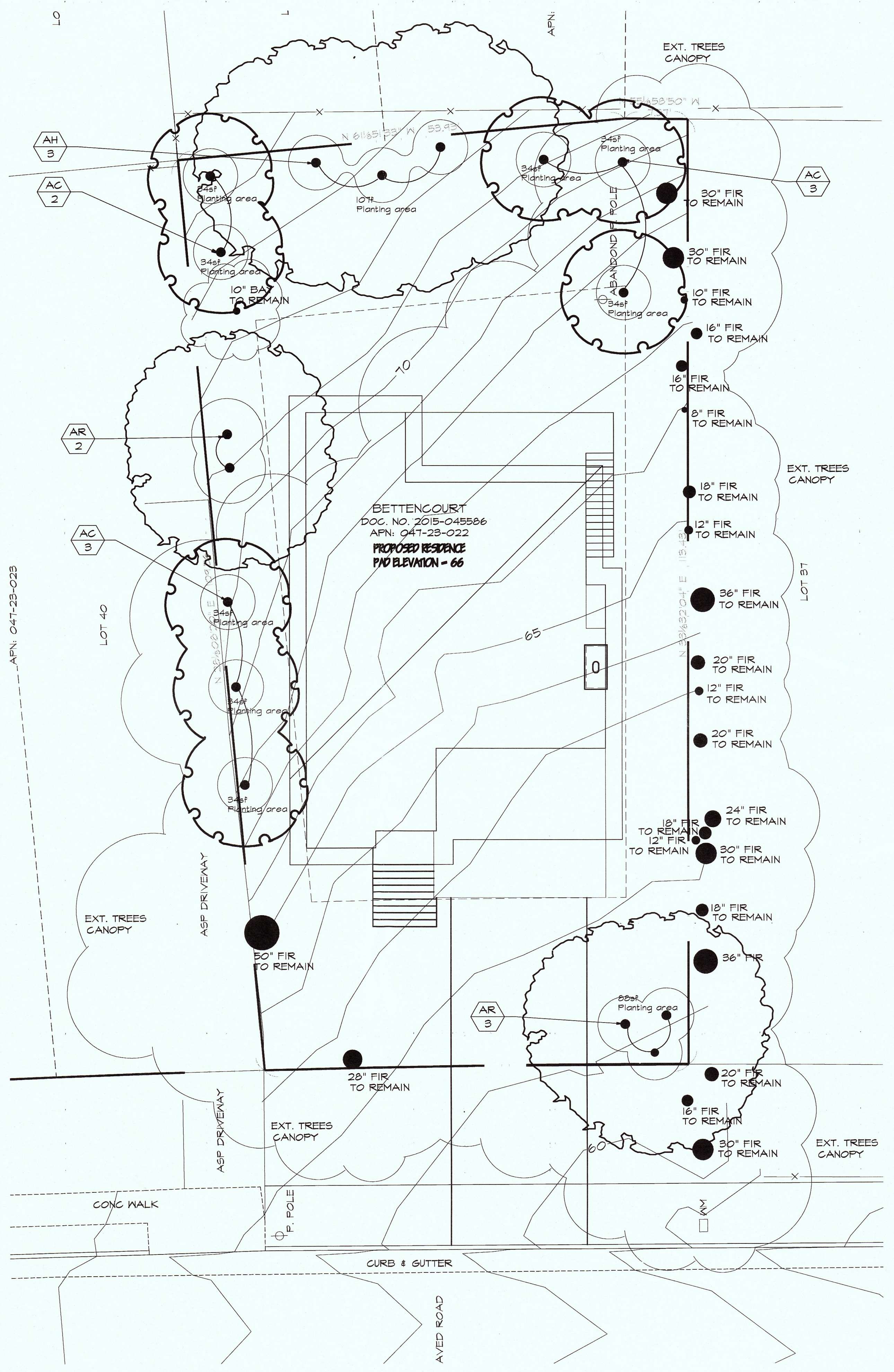
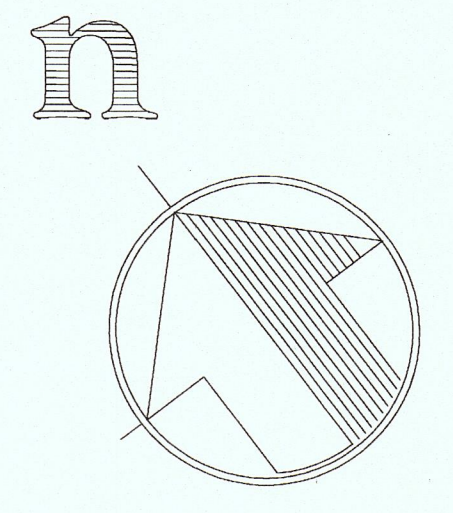


SANITARY SEWER MANHOLE
 RIM = 97.97
 INV. = 92.00

THE ALAMEDA
 150' RIGHT OF WAY

BETTENCOURT RESIDENCE
 THE ALAMEDA, EL GRANADA, CA 94018

LANDSCAPE PLANTING PLAN



PLANT LEGEND

SYM.	SIZE	QTY.	BOTANICAL NAME	COMMON NAME		REMARKS
TREES						
AC	15g	3	Araucaria heterophylla	Norfolk Island Pine	Standard	Low Water Use
AH	15g	8	Aesculus californica	California Buckeye	Natural Form	Low Water Use
AR	15g	5	Acer rubrum 'Red Sunset'	Red Maple	Standard	Low Water Use

LANDSCAPING AREA LEGEND

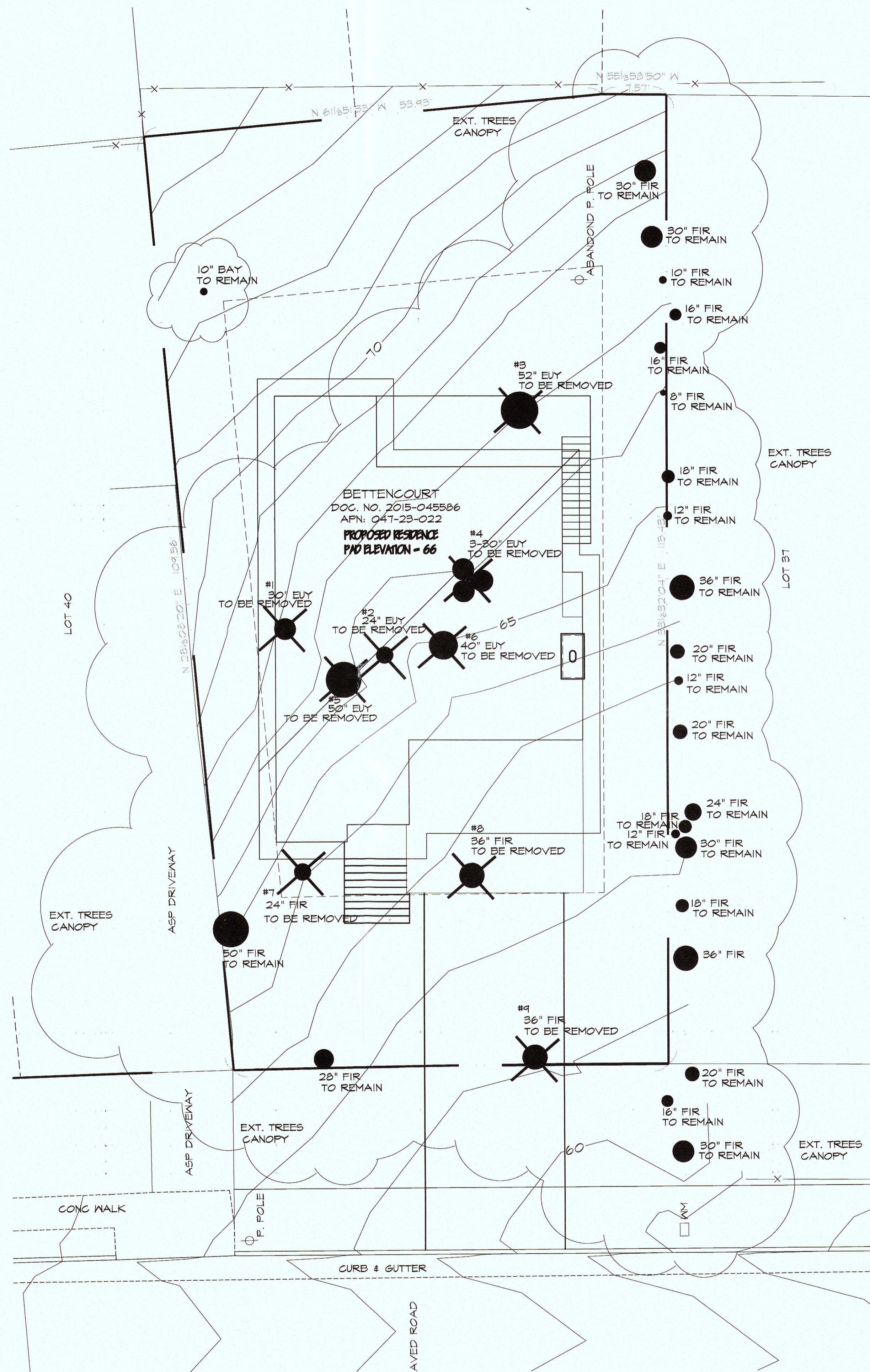
- 8 TREES 34 SQFT NON-LAWN LANDSCAPED AREA
 - 1 TREE CLUSTER AT 107 SQFT NON-LAWN LANDSCAPED AREA
 - 1 TREE CLUSTER 88 SQFT NON-LAWN LANDSCAPED AREA
- 468 SQ FT TOTAL NON-LAWN LANDSCAPING

TREE REPLACEMENT LEGEND

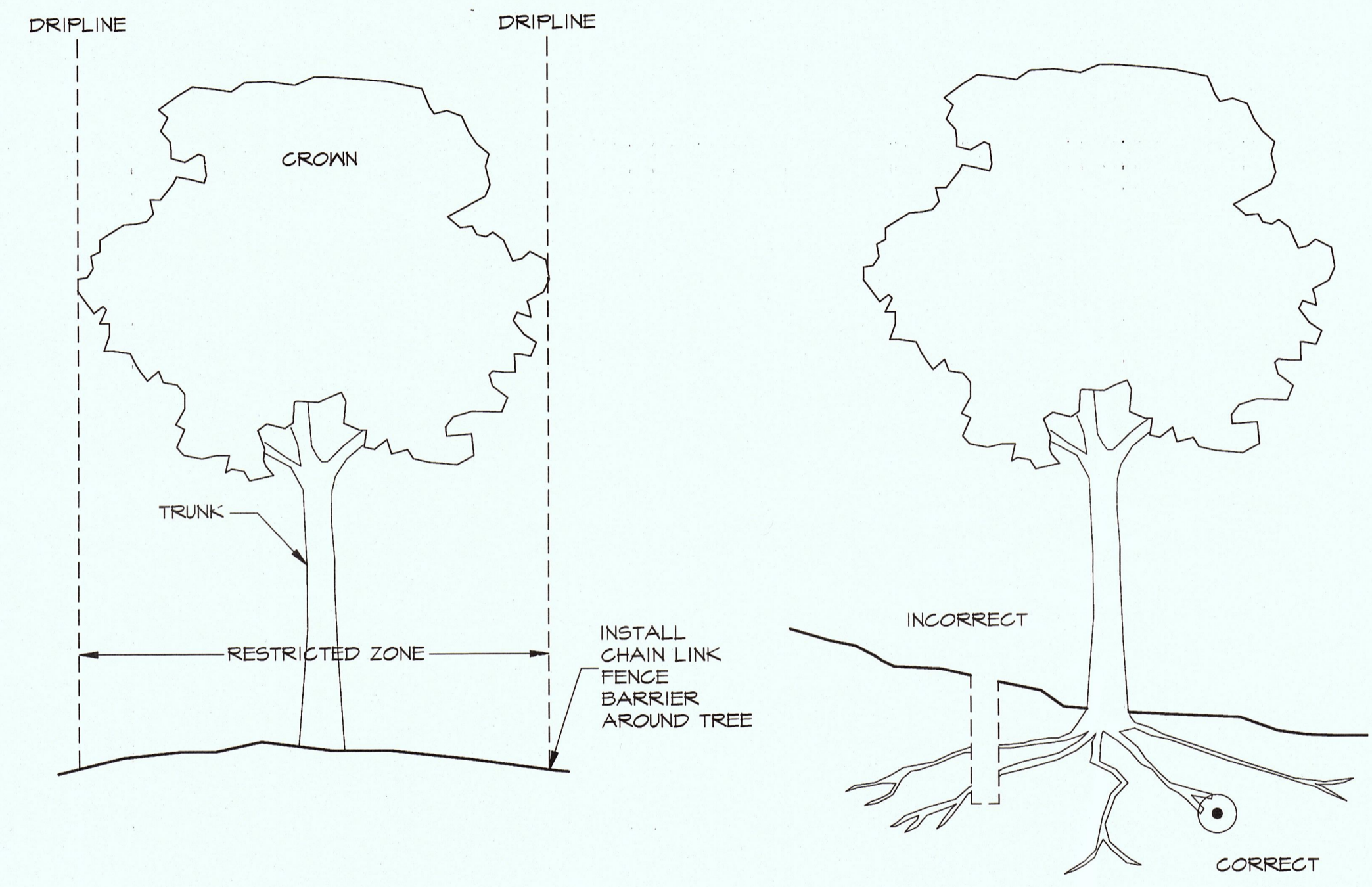
TREES REMOVED:	TREES REPLACED:
9 Trees	16 - 15g New Trees

Planting Notes

- All trees 15 gallons or larger to receive (2) 2'x10' Lodge Pole Pine Stakes with (1) 1"x4" backer board nailed to stakes. Tie all trees to stakes with rubber ties at mid point of trunk, and right below branch crotch. Nail with galvanized roofing nails.
- Provide deep watering/inspection tubes on all trees. Water basins should be sufficient enough to contain water at base of tree, as necessary.
- Fertilizer tablets shall be placed at the mid-point of root ball per manu. recommendation.
- Rototill and amend entire site as necessary for planting needs. Refer to soil analysis report for type type of fertilizer, amendment needed for optimal growth.
- Provide 2" of walking bark under all trees, shrubs and unplanted areas for water conservation.



TREE INVENTORY TABLE			
TREE NO.	BOTANICAL NAME	ACTION	REASON
1	30" EUCALYPTUS	TO BE REMOVED	(N) HOUSE
2	24" EUCALYPTUS	TO BE REMOVED	(N) HOUSE
3	52" EUCALYPTUS	TO BE REMOVED	(N) HOUSE
4	3-30" EUCALYPTUS	TO BE REMOVED	(N) HOUSE
5	50" EUCALYPTUS	TO BE REMOVED	(N) HOUSE
6	40" EUCALYPTUS	TO BE REMOVED	(N) HOUSE
7	24" DOUGLAS FIR	TO BE REMOVED	(N) HOUSE
8	36" DOUGLAS FIR	TO BE REMOVED	(N) HOUSE
9	36" DOUGLAS FIR	TO BE REMOVED	(N) DRIVEWAY

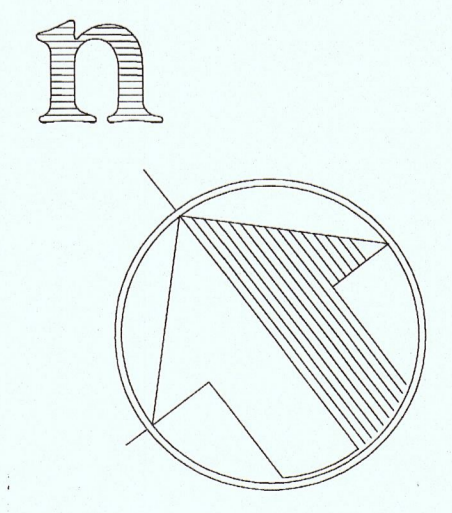


CONSULT A PROFESSIONAL ARBORIST WITH ANY QUESTIONS.
 NO CONSTRUCTION VEHICLES DEBRIS OR TOOLS TO BE PLACED IN RESTRICTED ZONE.
 PROTECT THE CROWN, TRUNK, AND ROOTS FROM DAMAGE.

- AVOID DISTURBING THE SOIL GRADE.
- PRUNE ANY LARGE ROOTS REMOVED, DO NOT TEAR THEM OUT.
- TUNNEL UNDER ROOTS INSTEAD OF TRENCHING.
- ALLOW FOR WATERING OF TREES AND SHRUBS DURING CONSTRUCTION.
- DO NOT DISPOSE OF CHEMICALS IN THE CONSTRUCTION AREA.

TREE PROTECTION NOTES

- PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY IN THE AREA, INCLUDING GRADING, TEMPORARY PROTECTIVE FENCING SHALL BE INSTALLED AT EACH SITE TREE. FENCING IS IDEALLY LOCATED AT OR BEYOND THE CANOPY DRIPLINE AND AS MUCH DRIPLINE AS POSSIBLE WILL BE PROTECTED BY FENCING.
- FENCING SHALL BE MINIMUM OF 5 FEET TALL AT ALL LOCATIONS, AND SHALL FORM A CONTINUOUS BARRIER WITHOUT ENTRY POINTS AROUND ALL TREES OR GROUPS OF TREES. BARRIER-TYPE FENCING SUCH AS CHAIN LINK IS PREFERRED; THE USE OF SIMPLE POST AND CABLE FENCING IS DISCOURAGED. ANY ENCROACHMENT INTO THE DRIPLINE FOR FENCING OR CONSTRUCTION PURPOSES SHOULD BE DISCUSSED AND AGREED UPON IN ADVANCE WITH THE PROJECT ARBORIST.
- THIS FENCING SHALL SERVE AS A BARRIER TO PREVENT DRIPLINE ENCROACHMENT OF ANY TYPE OF CONSTRUCTION ACTIVITIES AND EQUIPMENT. ACCIDENTAL DAMAGE TO BARK, ROOT CROWN, OR LIMBS MAY INCREASE POTENTIAL FOR FUTURE DECLINE.
- CONTRACTORS AND SUBCONTRACTORS SHALL DIRECT ALL EQUIPMENT AND PERSONNEL TO REMAIN OUTSIDE THE FENCED AREA AT ALL TIMES UNTIL PROJECT IS COMPLETE, AND SHALL INSTRUCT EMPLOYEES AS TO THE PURPOSE AND IMPORTANCE OF FENCING.
- A WARNING SIGN SHALL BE POSTED AT EACH TREE INDICATING THE PURPOSE OF THE FENCING.
- THE PROJECT ARBORIST SHALL BE RESPONSIBLE FOR INSPECTION AND APPROVAL OF THE FENCING PRIOR TO ANY GRADING OPERATIONS.
- FENCING MUST REMAIN IN PLACE AND SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETED. THIS SHALL INCLUDE GRADING AND COMPACTION ACTIVITIES, INSTALLATION OF UNDERGROUND UTILITIES, ALL CONSTRUCTION ACTIVITIES AND ANY OTHER CONSTRUCTION OR ACTIVITY THAT IS SCHEDULED PRIOR TO LANDSCAPE INSTALLATION.
- ROOTS OF SINGLE STANDING TREES OFTEN EXTEND UP TO THREE TIMES THE DISTANCE OF THE ACTUAL DRIPLINE AND FUNCTION PRIMARILY IN THE UPTAKE OF NUTRIENTS AND WATER. THE DRIPLINE IS ARBITRARILY ESTABLISHED AS THE MINIMUM ROOT AREA GENERALLY REQUIRED TO PRESERVE TREE HEALTH. AS MUCH AREA AS POSSIBLE AROUND THE CIRCUMFERENCE OF THE TREE SHOULD HAVE MINIMUM INTRUSION TO FURTHER ENSURE TREE SURVIVAL AND HEALTH.



Todd Kalbfeld
 Landscape Design
 LANDSCAPE DESIGN & CONSTRUCTION MANAGEMENT
 9845 TULIP ROAD, SAN JOSE, CA 95098
 (408) 247-6534

REVISIONS BY

BETTENCOURT RESIDENCE
 THE ALAMEDA, EL GRANADA, CA 94018

TREE REMOVAL PLAN

DATE OCT / 2015
 SCALE 1/8"=1'-0"
 DRAWN TK
 JOB BETTENCOURT
 SHEET L-2
 OF SHEETS