

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** September 19, 2024

**TO:** Zoning Hearing Officer

**FROM:** Planning Staff

**SUBJECT:** Consideration of a Use Permit Renewal with Amendment and a Coastal Development Permit, pursuant to Sections 6512.6 and 6328 of the County Zoning Regulations, and Architectural Review Exemption, pursuant to Section 261 of California Streets and Highways Code to allow the continued operation of a wireless telecommunications facility including modifications to remove and relocate antennas and equipment from an existing 198-foot guy tower to an existing 149-foot guy tower, an expansion of ground equipment lease area, addition of a prefabricated equipment shelter, and a new diesel emergency generator. The project is appealable to the California Coastal Commission.

County File Number: PLN2003-00505 (New Cingular Wireless PCS, LLC)

**PROPOSAL**

The project applicant is seeking a Use Permit Renewal and Amendment to allow for the continued operation of a wireless telecommunication facility, and the following modifications: removing existing antennas and related equipment from existing 198-foot tower (Tower 1) to an existing 149-foot tower (Tower 2), located approximately 400 feet to the southwest. This transfer of equipment to Tower 2 involves 12 panel antennas, 2 antenna mounts, 9 remote radio units (RRU's), and other minor equipment. All necessary power and fiber optic lines for the new antennas will be placed underground, and Tower 1 will remain once equipment is removed and continue to operate with no further changes proposed. Additionally, a 287-sq. ft. lease area expansion of the existing ground equipment lease area adjacent to Tower 1 is proposed, expanding from 281.875 sq. ft. to 568.875 sq. ft. in total. This expansion includes a removal of 3 cabinets and related equipment, and replacement with a prefabricated equipment shelter, a cabinet mounted shelter, GPS antenna, and related equipment. This proposed equipment will be screened with additional fencing to maintain visual quality of ground-level equipment area.

## **RECOMMENDATION**

That the Zoning Hearing Officer approve the Use Permit Renewal with Amendment, County File Number PLN2003-00505, by making the required findings and adopting the conditions of approval listed in Attachment A.

## **BACKGROUND**

Report Prepared By: Samuel Becker, Project Planner

Applicant: Melissa Gonzalez of New Cingular Wireless PCS, LLC (AKA AT&T Mobility)

Owner: Seahawk Ranch Corporation

Public Notification: Ten (10) day advanced notification for the hearing was mailed to property owners within 300 feet of the project parcel and a notice for the hearing posted in a newspaper (San Mateo County Times) of general public circulation.

Location: 1 Meyn Road, San Gregorio

APN: 066-310-220

Size: 200 acres

Existing Zoning: Planning Agricultural District/Coastal Development District (PAD/CD)

General Plan Designation: Agriculture

Local Coastal Plan Designation: Agriculture

Sphere-of-Influence: None

Williamson Act: None- Not a Williamson Act contracted parcel.

Existing Land Use: Various- Including existing wireless telecommunications and radio facilities, agricultural uses (grazing, etc.),

Water Supply: No water supply is required for this use and proposal.

Sewage Disposal: No sewage disposal is required for this use and proposal.

Flood Zone: Zone X (area of minimal flooding), Community Panel Number: 06081C0268F, effective date August 2, 2017.

Environmental Evaluation: Categorically exempt pursuant to Section 15301, Class 1 of the California Environmental Quality Act Guidelines (Continued operation of and Minor alterations to existing facilities).

Setting: The project site is located to the west of Cabrillo Highway, south of the city of Half Moon Bay. The project site consists of an open, grass field with telecommunication facilities and radio transmission equipment (e.g. guy towers, telecommunication poles, antennas, and other radio communication devices). The site is known as an “antenna farm”, owned by Seahawk Ranch, the “farm” consists of approximately 30 communication towers/poles ranging in height from 50 to 200 feet. This facility is surrounded by grazing and other basic agricultural uses. The towers which are part of this proposal are located on the western portion of the parcel, more than half a mile from Cabrillo Highway.

Chronology:

<u>Date</u>	<u>Action</u>
March 29, 2004	- Original Use Permit approved
January 12, 2006	- Use Permit Admin Review
March 17, 2008	- Use Permit Admin Review
July 6, 2010	- Use Permit Renewal
April 19, 2012	- Zoning Hearing Officer approved Use Permit Renewal with modifications.
November 19, 2018	- Zoning Hearing Officer approved Use Permit Amendment to remove and replace antennas from existing 198-foot tower to adjacent, existing 198-foot tower.
February 2, 2024	- Application received for Use Permit Renewal, Amendment to remove and replace antennas and related equipment from existing 198-foot tower to adjacent 149-foot tower, expansion of ground equipment area, and addition of a 30-kW standby, diesel generator to the equipment area. The generator qualified for streamlined review as a minor modification, meeting the criteria of AB2421.
July 5, 2024	- Application Deemed Complete; Referrals completed.
September 19, 2024	- Zoning Hearing Officer Meeting

## DISCUSSION

### A. KEY ISSUES

#### 1. Conformance with the General Plan

The proposed Use Permit amendment is to remove and replace a set of panel antennas from existing 198-foot tower (Tower 1) to an existing 149-foot tower (Tower 2). The proposed project conforms to the policies of the San Mateo County General Plan with specific discussion of the following policies:

##### a. Chapter 4- Visual Quality

The project continues to conform with the applicable General Plan policies for Visual Quality as the facility will largely remain as currently constructed, with the exception of proposed amendment to transfer antennas and related equipment to another tower in proximity and the enlarged ground-level equipment space. The changes described and reflected in submitted renewal plans have not yet been installed but have been reviewed to confirm that the proposed changes are negligible regarding visual impact and maintaining the condition of approval that antennas and ground level equipment area, and its related screening equipment, maintain the color/design of equipment from previously approved renewal in order to continue to minimize visibility of the changes to site and its newly proposed equipment.

Policy 4.20 (*Utility Structures*) specifically discusses reducing the adverse visual impact of utility structures and Policy 4.21 (*Scenic Corridors*) discusses the management and appearance of development in order to enhance the visual quality of scenic corridors. The proposed antennas will be located high up on Tower 2, which is approximately 49 feet shorter in height than Tower 1 and will lower the overall placement height of antennas and related equipment and will be painted a neutral gray-white color, similar to antennas on adjacent towers. Given the distance that the antennas will be viewed from Cabrillo Highway (over a 1/2 mile away), the antennas' relatively small size and their color (when viewed against the open sky background), it is staff's position that the antennas will be nominally visible from the Highway and thus will not conflict with the above-cited policies.

##### b. Chapter 7- General Land Use

The project is consistent with Policy 9.2 (*Land Use Objectives for Rural Service Centers*) as the proposal is concentrating development on an already-existing cell site in order to minimize impact upon

surrounding resources and continue to provide a valuable service to the area by filling in service gaps that may exist. Continuing the use on this site meets the land use objectives for the area and eliminates the need to introduce this use at a new location.

2. Compliance with the Local Coastal Program (LCP)

The project site is located within the Coastal Zone and the approval of the original Use Permit included a Coastal Development Permit. The existing facility was found to be compliant with the applicable policies of the LCP (8.5a and 8.23) at the time of its original approval and subsequent modifications remain consistent.

3. Compliance with Zoning Regulations

The project site is located in the Planned Agricultural District (PAD) Zoning District. While the Planned Agricultural District does not specifically list cellular facilities as allowable uses, Section 6500 of the Zoning Regulations allows communications facilities in any zoning district upon issuance of a use permit, if the proposed project complies with the zoning regulations for that district. The existing facility was previously determined to conform with the applicable development criteria set forth by the County Zoning Regulations for the PAD District for non-agricultural development. The proposed modifications do not impact this initial determination and given the relatively minor nature of the modifications; issuance of a new PAD permit is not required.

4. Compliance with Wireless Telecommunication Facilities Ordinance (WTF)

a. Development and Design Standards

Section 6512.2 of the WTF ordinance discusses location, minimizing visual impacts, maximum height, and future co-location of wireless facilities. The project area is located within the Cabrillo Highway State Scenic Corridor. Although the project site is located on the west side of Cabrillo Highway with the towers approximately 1/2 a mile from view from that public road, the facility is not visually obtrusive and relocation of antennas and related equipment to a smaller existing tower, while maintaining color and other screening methods, ensures that the project will not result in any new visual impacts. The proposed expanded lease area is at ground level immediately adjacent to the existing lease area and maintains the long distance from Cabrillo Highway. Additionally, the expanded lease area will be screened by a fenced enclosure to match the existing fencing. The proposed equipment shelter will further reduce visibility of new equipment and reduce any potential visual clutter. The relocation of the existing

equipment to another existing radio tower minimizes disruption and conversion of agricultural lands in the area. The panel antennas will have a negligible visual impact as discussed previously.

b. Performance Standards

The project is in compliance with Sections 6512.2 and 6512.5 of the WTF Ordinance, as the existing facility has maintained a valid FCC license. The existing facility is unlit, has obtained building permits for all modifications, has road access, has maintained the appearance of the facility as conditioned and approved by the original approval, and operates at frequencies and power levels that comply with all FCC guidelines.

5. Conformance with Use Permit Findings

In order to approve the subject Use Permit Renewal and Amendment, the Zoning Hearing Officer must make the following findings:

- a. **That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in the neighborhood.**

The subject antenna facility has been in operation since 2003, has not resulted in any adverse impacts to coastal resources, and has not resulted in any adverse impacts to the surrounding area. The radio frequency analysis submitted with this Use Permit renewal and amendment application indicates that the facility continues to comply with the FCC's current prevailing standards for limiting human exposure to Radio Frequency energy, aided by the tower's location being a long distance from any publicly accessible areas. Additionally, as this is an unmanned communication facility, the operation does not create additional traffic, noise, or intensity of use of the property.

- b. **That the telecommunication facilities are necessary for the public health, safety, convenience, or welfare of the community.**

Staff found that the continued operation of the existing cellular facility at this location will allow for continued cellular communication coverage for private citizens and businesses. The existing wireless telecommunication facility has been in existence for many years and the community has come to rely on the coverage provided by this site. The site facilitates both routine daily conversation but also communication services in emergency situations.

6. Conformance with Conditions of Last Use Permit Approval

Staff has reviewed the most recent Use Permit conditions of approval for this permit, an amendment approved April 18, 2019, and has determined that the project is in compliance with all previous conditions. Given the modifications, all conditions remain with the exception that all new equipment and fencing be painted to match existing development and maintain color conformance.

B. ENVIRONMENTAL REVIEW

That the proposed Use Permit Renewal and Amendment are categorically exempt pursuant to Section 15301, Class 1 of the California Environmental Quality Act Guidelines (Continued operation of and Minor alterations to existing facilities).

C. REVIEWING AGENCIES

Building Inspection Section  
Coastside Fire Protection District  
Environmental Health Services  
California Coastal Commission

**ATTACHMENTS**

- A. Recommended Findings and Conditions of Approval
- B. Location Map
- C. Plans
- D. Photosims

County of San Mateo  
Planning and Building Department

**RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL**

Permit or Project File Number: PLN2003-00505      Hearing Date: September 19, 2024

Prepared By: Samuel Becker,  
Project Planner

For Adoption By: Zoning Hearing Officer

**RECOMMENDED FINDINGS**

Regarding Environmental Review, Find:

1. Categorically exempt pursuant to Section 15301, Class 1 of the California Environmental Quality Act Guidelines (Continued operation of and Minor alterations to existing facilities).

Regarding the Coastal Development Permit, Find:

2. That the project, as described in the application and accompanying materials required by Section 6328.7 and as conditioned in accordance with Section 6328.14, conforms with the plans, policies, requirements, and standards of the San Mateo County Local Coastal Program with regard to the protection of agricultural and visual resources. The proposed panel antennas of the subject cellular facility are not readily visible, due to their small size and distance from the Highway, and because of the concentration of existing and proposed development on this parcel, staff believes the addition of the proposed antennas to Tower 2 will have both minimal visual impact and minimal impact on agricultural resources.
3. Where the project is located between the nearest public road and the sea, or the shoreline of Pescadero Marsh, that the project is in conformity with the public access and public recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Section 30200 of the Public Resources Code). The project is exempt from providing public access because it does not change the existing intensity, height, or bulk of the underlying radio tower. The project does not affect public access or encroach towards the sea.
4. That the project conforms to specific findings required by policies of the San Mateo County Local Coastal Program, particularly with regard the to visual resources and public access policies. The project is less visible from both State and County Scenic Roads (Cabrillo Highway) and public viewpoints as reasonably



possible because the antennas are proposed to be transferred to an existing tower that is smaller in size and will even further reduce visual impacts from publicly-accessible areas.

Regarding the Use Permit, Find:

5. That the establishment, maintenance, and/or conducting of the use, as conditioned, will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources or be detrimental to the public welfare or injuries to property or improvements in said neighborhood because the visual impact is minimal, and the project will not generate additional traffic, noise or intensity of use on the property. The radio frequency and electromagnetic emission are below the maximum permissible exposure as stipulated by the Federal Communications Commission (FCC).
6. That the proposed project is necessary for the public health, safety, and convenience or welfare because the FCC has established the desirability and need for a wireless telephone service to facilitate communication between mobile units and wire-dependent telephones, and the existing system supports that service. Additionally, the project provides the capacity of wireless services in the area that residents have come to expect during the times of standard day to day usage, emergencies, and in the event of natural disasters.

**RECOMMENDED CONDITIONS OF APPROVAL**

Current Planning Section

1. This approval applies only to the proposal, documents and plans described in this report and submitted to and approved by the Zoning Hearing Officer on February 2, 2024. Minor revisions or modifications to the project may be approved by the Director of Planning and Building if they are consistent with the intent of and in substantial conformance with this approval.
2. The Use Permit shall be valid for a period of ten years from the date of approval, September 19, 2034. The applicant shall apply for renewal of the Use Permit and pay applicable renewal fees six months prior to expiration.
3. Any change in use or intensity shall require an amendment to the Use Permit. Amendment to this Use Permit requires an application for amendment, payment of applicable fees, and consideration at a public hearing.
4. The applicant shall maintain approval from the FCC and the CPUC with regard to the operation of this facility. The applicant, upon request by the Planning Department, shall submit proof of approval. If these approvals are ever revoked, the applicant shall inform the Director of Planning and Building of the revocation, at which time an administrative review will commence.

5. The applicant shall maintain the approved color scheme from previous Conditions of Approval associated with the last Use Permit Renewal approved April 19, 2012, including, but not limited to, painting proposed antennas a neutral gray-white color, and painting ground-level equipment and fencing/screening the approved green color. If any modifications are made to the site, including the addition of new equipment and fencing, a building permit shall be issued prior to construction.
6. The facility shall maintain compliance with the performance standards contained with the County's Wireless Telecommunication Facilities Ordinance.

#### Building Inspection Section

7. The applicant shall apply for and obtain a building permit from the Building Inspection Section prior to the commencement of any physical changes to the facility.
8. Prior to building permit issuance, the applicant shall consult with Bay Area Air Quality Management District (BAAQMD) regarding the installation of a generator and provide either an authority to construct letter or exemption letter prior to building permit issuance.

#### Environmental Health Services

9. At building permit phase, and prior to final sign-off, the applicant shall contact Dirk Jensen, djensen@smcgov.org, for assistance to submit a Hazardous Materials Business Plan to the California Environmental Reporting System once the generator is installed.

#### Coastside Fire Protection District

10. CFC 2022 Section 503.2.3 - Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.
11. Coastside Fire Protection District Standard R-001 - Emergency access roads shall be designed and maintained to support the imposed load of a fire apparatus weighing at least 75,000 lbs. and shall have a surface providing all weather driving capabilities. Certification by a civil engineer may be required. Grades of less than 15% shall be surfaced with a minimum Class 2 aggregate base or equivalent with 95% compaction.
12. CFC 2022 Section 505.1 - New and existing buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible from the street or road fronting the property. Address identification characters shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall not be

spelled out. Each character shall be not less than 4-inches (102 mm)-high with a minimum stroke width of 1/2 inch (12.7 mm). Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address identification shall be maintained.

13. CFC 2022 Section 506.1.3 [Added] - When required by the Coastside Fire Protection District, a Knox Box of the size and type designated shall be mounted on the building near the main entrance and shall be located a minimum of 60 inches and not higher than 72 inches above the finished floor, in a location approved by the fire code official. Additional Knox Boxes may be required at rear entrances to buildings. Knox padlocks or Knox Gate Switches may be required at any access as specified by the fire code official.
14. Coastside Fire Protection District Standard R-001 & Standard CFS-004 - Gates shall be a minimum of 2 feet wider than the roadway they serve. Overhead gate structures shall have a minimum of 15.5 feet of vertical clearance.
15. Coastside Fire Protection District Standard R-001 & Standard CFS-004 - Locked gates shall be provided with a Knox Box or Knox Padlock for fire department access. Electric gates shall be provided with a Knox Gate Switch and automatically open during power failures, unless equipped with manual override capability that is approved by Coastside Fire Protection District. Gates providing Fire access to a driveway or other roadway shall be located at least 35 feet from the primary road or street and shall open to allow a vehicle to stop without obstructing traffic on the adjoining roadway.
16. CFC 2022 Section 304.1.2 - Weeds, grass, vines or other growth that is capable of being ignited and endangering property, shall be cut down and removed by the owner or occupant of the premises. Vegetation clearance requirements in wildland-urban interface areas shall be in accordance with Chapter 49.
17. CFC 2022 Section 4907.1 - Hazardous vegetation and fuels shall be managed to reduce the severity of potential exterior wildfire exposure to buildings and to reduce the risk of fire spreading to buildings as required by applicable laws and regulations. Defensible space will be managed around all buildings and structures in State Responsibility Areas (SRA) as required in Public Resources Code 4291.
18. NFPA 37 Section 4.1.1 – Engines shall be situated so that they are readily accessible for maintenance, repair, and firefighting.
19. NFPA 37 Section 4.1.2.2.1 - Dedicated detached structures shall be of noncombustible or fire-resistive construction.

20. NFPA 37 Section 4.1.4.1 - Engines and, if provided, their weatherproof housings that are installed outdoors shall be located at least 1.5m (5ft.) from openings in walls and at least 1.5m (5ft.) from structures having combustible walls except as provided in 4.1.4.1.1 or 4.1.4.1.2.
21. CFC 2022 Section 503.2.7 - The grade of the fire apparatus access road shall be within the limits established by the fire code official based on the fire department's apparatus. Grading must comply with San Mateo County Fire Standard Detail CFS-004.
22. NFPA 37 Section 6.3.1 - Engine-mounted tanks shall be securely mounted on the engine assembly and protected against all of the following:
  - a. Vibration
  - b. Physical damage
  - c. Engine heat
  - d. Exhaust piping heat
23. NFPA 37 Section 6.3.3 - Fuel tanks located outside, either above ground or underground, or located beneath a structure shall comply with the applicable provisions of NFPA 30.



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

# **ATTACHMENT B**



0.28 0 0.14 0.28 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1:9,028



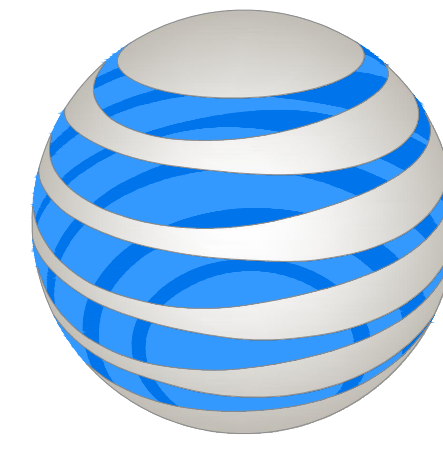
This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT C**



# AT&T

SITE NUMBER: CCL05855  
 SITE NAME: SEAHAWK RANCH  
 SITE TYPE: GUY TOWER / CWIC  
 ADDRESS: 1 MEYN ROAD  
 HALF MOON BAY, CA 94019

USID#: 329590  
 FA#: 15974410  
 LTE1C CELL SITE REPLACEMENT  
 PACE#: MRSFR097724  
 PTN#: 3701A16VYQ  
 5G NR 1DR-2  
 PACE#: MRSFR103438  
 PTN#: 3701A18YQQ  
 5G NR 1DR-2  
 PACE#: MRSFR103442  
 PTN#: 3701A18YQC  
 LTE 4C  
 PACE#: MRSFR103390  
 PTN#: 3701A18YR8  
 LTE 2C  
 PACE#: MRSFR103467  
 PTN#: 3701A18YNV  
 LTE 3C  
 PACE#: MRSFR103430  
 PTN#: 3701A18YQ0

### SHEET INDEX

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APPLICANT:



5005 EXECUTIVE PARKWAY  
 SAN RAMON, CA 94583



P. MARSHALL & ASSOCIATES  
 A CENTERLINE COMMUNICATIONS COMPANY  
 1000 HOLCOMB WOODS PKWY, STE 210  
 ROSWELL, GA 30076  
 OFFICE: (678) 280-2325

## CCL05855

SEAHAWK RANCH

1 MEYN ROAD  
 HALF MOON BAY, CA  
 94019

FA#: 15974410  
 PACE#: MRSFR097724  
 PTN#: 3701A16VYQ



800-227-2600

Call 2 Full Working Days In Advance

### PROJECT TEAM

**APPLICANT / LESSEE:**  
 NEW CINGULAR WIRELESS PCS, LLC  
 5005 EXECUTIVE PARKWAY  
 SAN RAMON, CA 94583

**CONSTRUCTION MANAGER:**  
 BECHTEL INFRASTRUCTURE & POWER CORPORATION  
 5000 EXECUTIVE PARKWAY SUITE 350  
 SAN RAMON CA 94583  
 CONTACT: KEITH CONNER  
 EMAIL: gkconner@bechtel.com  
 PH: (480) 306-3801

**A&E MANAGER:**  
 P.MARSHALL & ASSOCIATES, LLC (PM&A)  
 CONTACT: STEVEN M. RAMON  
 EMAIL: SRAMON@CLINELLC.COM

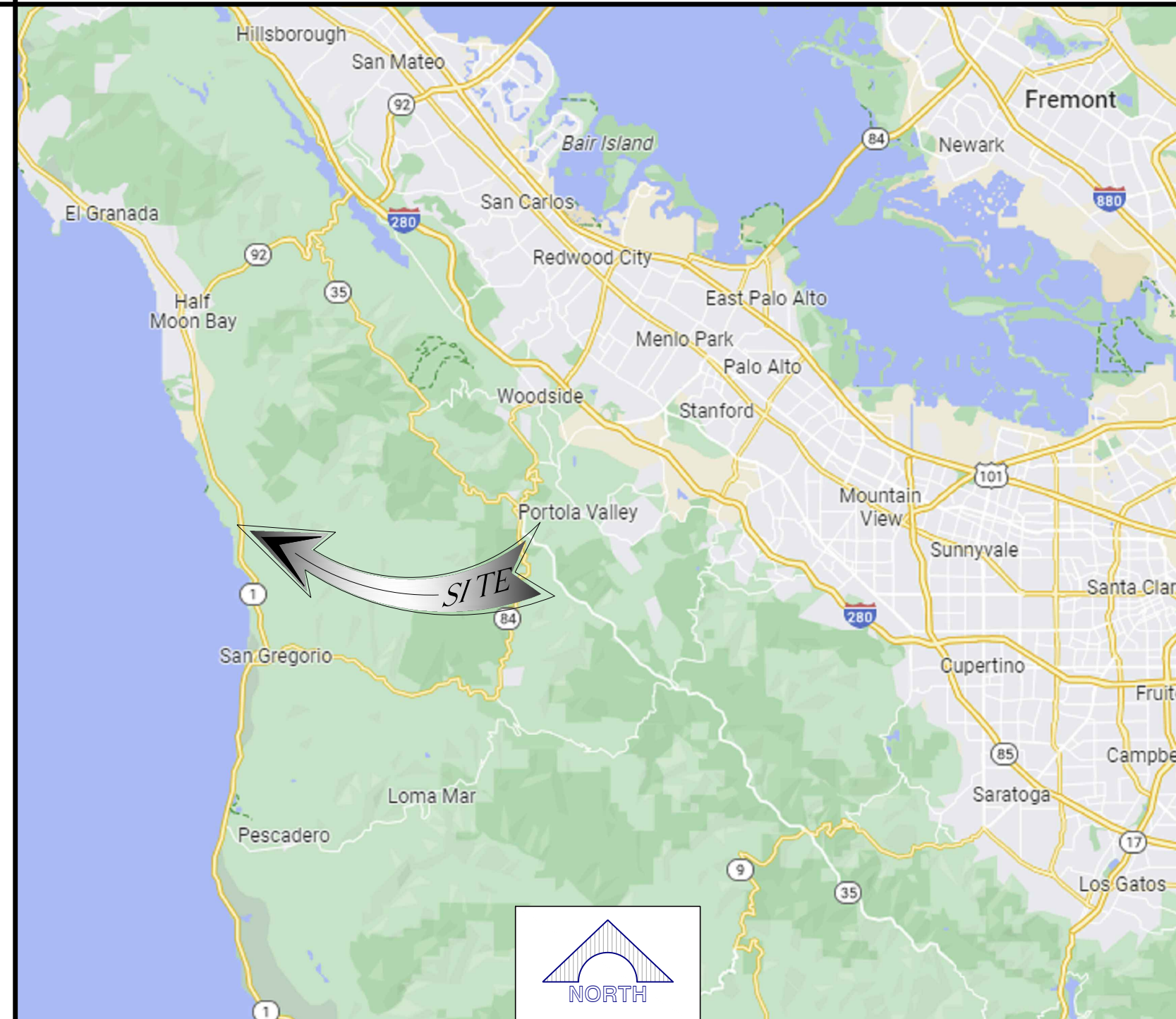
**LEASING MANAGER:**  
 PARACON, INC.  
 CONTACT: RICHARD TANG  
 PHONE: (510) 459-6309  
 EMAIL: RICHARDTANG@PARACONINC.COM

**RFDS VERSION:** 1.0  
**DATE CREATED:** 10/17/2023  
**DATE UPDATED:** 10/17/2023

**PROJECT MANAGER:**  
 CENTERLINE COMMUNICATIONS CORPORATION  
 CONTACT: ALLYSON POE  
 EMAIL: APOE@CLINELLC.COM

**RF ENGINEER:**  
 CONTACT: EDWIN AVILES  
 EMAIL: ea5477@att.com  
 PH: (909) 997-9917

### VICINITY MAP



### CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- CALIFORNIA BUILDING STANDARDS CODE: 2022 TRIENNIAL EDITION OF TITLE 24, WITH AN EFFECTIVE DATE OF JANUARY 1, 2023.  
 PART 1 - CALIFORNIA ADMINISTRATIVE CODE  
 PART 2 - CALIFORNIA BUILDING CODE, BASED ON THE 2021 INTERNATIONAL BUILDING CODE  
 PART 2.5 - CALIFORNIA RESIDENTIAL CODE, BASED ON THE 2021 INTERNATIONAL RESIDENTIAL CODE  
 PART 3 - CALIFORNIA ELECTRICAL CODE, BASED ON THE 2020 NATIONAL ELECTRICAL CODE  
 PART 4 - CALIFORNIA MECHANICAL CODE, BASED ON THE 2021 UNIFORM MECHANICAL CODE  
 PART 5 - CALIFORNIA PLUMBING CODE, BASED ON THE 2021 UNIFORM PLUMBING CODE  
 PART 6 - CALIFORNIA ENERGY CODE  
 PART 7 - VACANT  
 PART 8 - CALIFORNIA HISTORICAL BUILDING CODE  
 PART 9 - CALIFORNIA FIRE CODE, BASED ON THE 2021 INTERNATIONAL FIRE CODE  
 PART 10 - CALIFORNIA EXISTING BUILDING CODE, BASED ON THE 2021 INTERNATIONAL EXISTING BUILDING CODE  
 PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC; ALSO KNOWN AS CALGREEN)  
 PART 12 - CALIFORNIA REFERENCED STANDARDS CODE
- ANSI/TIA-222 (REV H)
- 2021 NFPA 101, LIFE SAFETY CODE
- 2022 NFPA 72, NATIONAL FIRE ALARM AND SIGNALING CODE
- 2022 NFPA 13, STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS

### PROJECT DESCRIPTION

INSTALLATION OF A NEW SITE BUILD, UNMANNED TELECOMMUNICATIONS FACILITY, CONSISTING OF THE FOLLOWING:

- ANTENNA SOW:**
- REMOVE EXISTING ANTENNAS FROM (E) 197'-4" HIGH GUY TOWER
  - INSTALL NEW ANTENNAS ON (E) 148'-8" HIGH GUY TOWER
  - INSTALL (2) AT&T ANTENNA MOUNTS
  - INSTALL (12) AT&T PANEL ANTENNAS
  - INSTALL (9) AT&T REMOTE RADIO UNITS (RRU's)
  - INSTALL (6) AT&T PIPE TO PIPE MOUNT
  - INSTALL (6) AT&T DC-9 SURGE SUPPRESSORS
  - INSTALL (9) POWER & (3) FIBER TRUNKS TO PROPOSED DC9 WITHIN (6) 4"Ø U.G. CONDUIT

- EQUIPMENT SOW:**
- REMOVE (1) EXISTING RBA72 CABINET
  - REMOVE (2) EXISTING RBS 3106 CABINETS
  - REMOVE (1) EXISTING GPS ANTENNA
  - REMOVE (1) EXISTING DC-6 SURGE SUPPRESSOR
  - INSTALL (1) AT&T 30KW BACK-UP DIESEL GENERATOR MOUNTED ON EXISTING CONCRETE PAD
  - INSTALL (1) AT&T CWIC (SATN-71) EQUIPMENT SHELTER MOUNTED ON PROPOSED 8'x8' CONCRETE PAD
  - INSTALL (1) AT&T 4'x4' CONCRETE STOOP
    - (1) VERTIV 7100 DCPP RACK
    - (9) -58V CONVERTER MODULE WITHIN DCPP
    - (12) -48V RECTIFIERS WITHIN DCPP
    - (12) 58V CONVERTERS
    - (8) 190AH BATTERIES
    - (2) EQUIPMENT RACKS
    - (2) 6651 WITHIN RACK
    - (1) SIAD WITHIN RACK
    - (1) 200A INTEGRATED LOAD CENTER PANEL
  - INSTALL (1) AT&T DC50 CABINET MOUNTED SHELTER
  - INSTALL (1) AT&T GPS ANTENNA MOUNTED ON C-WIC SHELTER
  - INSTALL (1) AT&T 4"Ø FIBER CONDUIT APPROX: 45'-0"
  - INSTALL (1) AT&T 2"Ø POWER CONDUIT APPROX: 45'-0"
  - INSTALL (6) AT&T 4"Ø CONDUIT AND STUB UPS

DESIGN RECORD:

REV	DATE	DESCRIPTION	INT.	BH	SMR	SMR
A	11/06/23	ISSUED FOR 90%RDS				
B	12/06/24	ISSUED FOR 95%RDS				
C	01/31/24	ISSUED FOR 95%RDS				

PROFESSIONAL STAMP:

It is a violation of law for any persons, unless they are acting under the direction of a licensed professional engineer, to alter this document

SHEET TITLE:

# T-1

SHEET NAME:

## TITLE SHEET

### SITE INFORMATION

**PROPERTY OWNER:**  
 SEAHAWK RANCH CORP  
 ATTN: KEN JONES  
 22495 CABRILLO HWY S  
 HALF MOON, CA 94109  
 EMAIL: KEJ@SEAHAWKCAPITAL.COM  
 PHONE: (650) 619-7710 (M)

**POWER AGENCY:**  
 TBD  
 PH: TBD  
 TELEPHONE AGENCY:  
 AT&T

**JURISDICTION:** SAN MATEO COUNTY  
**A.P.N.:** 066-310-220  
**CURRENT ZONING:** PAD/CD: PLANNED AGRICULTURE DISTRICT/COASTAL DEVELOPMENT DISTRICT  
**EXISTING USE:** MULTIUSE  
**PROPOSED USE:** MULTIUSE, COMMUNICATIONS FACILITY  
**LATITUDE (NAD 83):** 37.3824100°  
 37° 22' 56.676" N  
**LONGITUDE (NAD 83):** -122.4137940°  
 122° 24' 49.6584" W

**ACCESSIBILITY REQUIREMENTS:** FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. ACCESSIBILITY IS NOT REQUIRED PER CFC2022, SECTION 1207 (LIMITED ACCESS SPACE)

**OCCUPANCY GROUPS:** U  
**TYPE OF CONSTRUCTION:** II-B

### GENERAL CONTRACTOR NOTES

DO NOT SCALE DRAWINGS

THESE PLANS ARE FORMATTED TO BE FULL SIZE AT 24" X 36". CONTRACTORS SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR MATERIAL ORDERS OR BE RESPONSIBLE FOR THE SAME.

### GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

### STATEMENTS

STRUCTURAL ANALYSIS IS NOT WITHIN THE SCOPE OF WORK CONTAINED IN THIS DRAWINGS SET. FOR ANALYSIS OF EXISTING AND/OR PROPOSED COMPONENTS, REFER TO STRUCTURAL ANALYSIS PROVIDED UNDER SEPARATE COVER.

ANTENNA MOUNT ANALYSIS IS NOT WITHIN THE SCOPE OF WORK CONTAINED IN THIS DRAWING SET. FOR ANALYSIS OF MOUNT TO SUPPORT EXISTING AND/OR PROPOSED COMPONENTS, REFER TO ANTENNA MOUNT STRUCTURAL ANALYSIS PROVIDED UNDER SEPARATE COVER.

### DRIVING DIRECTIONS

**FROM:** AT&T CORPORATE OFFICES  
 5001 EXECUTIVE PKWY  
 SAN RAMON, CA 94583

**TO:** 1 MEYN ROAD  
 HALF MOON BAY, CA 94019





**GENERAL CONSTRUCTION NOTES:**

- PLANS ARE INTENDED TO BE DIAGRAMMATIC OUTLINE ONLY, UNLESS NOTED OTHERWISE. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN, IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL CONTACT USA (UNDERGROUND SERVICE ALERT) AT (800) 227-2600, FOR UTILITY LOCATIONS, 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATION, SITE WORK OR CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CBC / UBC'S REQUIREMENTS REGARDING EARTHQUAKE RESISTANCE, FOR, BUT NOT LIMITED TO, PIPING, LIGHT FIXTURES, CEILING GRID, INTERIOR PARTITIONS, AND MECHANICAL EQUIPMENT. ALL WORK MUST COMPLY WITH LOCAL EARTHQUAKE CODES AND REGULATIONS.
- REPRESENTATIONS OF TRUE NORTH, OTHER THAN THOSE FOUND ON THE PLOT OF SURVEY DRAWINGS, SHALL NOT BE USED TO IDENTIFY OR ESTABLISH BEARING OF TRUE NORTH AT THE SITE. THE CONTRACTOR SHALL RELY SOLELY ON THE PLOT OF SURVEY DRAWING AND ANY SURVEYOR'S MARKINGS AT THE SITE FOR THE ESTABLISHMENT OF TRUE NORTH, AND SHALL NOTIFY THE ARCHITECT / ENGINEER PRIOR TO PROCEEDING WITH THE WORK IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE TRUE NORTH ORIENTATION AS DEPICTED ON THE CIVIL SURVEY. THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ARCHITECT / ENGINEER.
- THE BUILDING DEPARTMENT ISSUING THE PERMITS SHALL BE NOTIFIED AT LEAST TWO WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORK, OR AS OTHERWISE STIPULATED BY THE CODE ENFORCEMENT OFFICIAL HAVING JURISDICTION.
- DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
- ALL EXISTING UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON THE PLAN HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ARCHITECT / ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR THE ACCURACY OF THE INFORMATION SHOWN ON THE PLANS, OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTORS SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING EXISTING UTILITIES.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, BOTH HORIZONTAL AND VERTICALLY, PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT / ENGINEER FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT / ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE.
- ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
- ANY DRAIN AND/OR FIELD TILE ENCOUNTERED / DISTURBED DURING CONSTRUCTION SHALL BE RETURNED TO ITS ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON "AS-BUILT" DRAWINGS BY GENERAL CONTRACTOR, AND ISSUED TO THE ARCHITECT / ENGINEER AT COMPLETION OF PROJECT.
- ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.

**APPLICABLE CODES, REGULATIONS AND STANDARDS:**

- SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION.
- THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.
- SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:
  - AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
  - AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, ASD, 15TH EDITION
  - TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-H, STRUCTURAL STANDARD FOR STRUCTURAL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES
  - INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM IEEE 1100 (1999) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRICAL EQUIPMENT.
  - IEEE C62.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY "C3" AND "HIGH SYSTEM EXPOSURE")
  - TIA 607 COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS TELCORDIA GR-63 NETWORK
  - EQUIPMENT-BUILDING SYSTEM (NEBS): PHYSICAL PROTECTION
  - TELCORDIA GR-347 CENTRAL OFFICE POWER WIRING
  - TELCORDIA GR-1275 GENERAL INSTALLATION REQUIREMENTS
  - TELCORDIA GR-1503 COAXIAL CABLE CONNECTIONS
  - ANY AND ALL OTHER LOCAL & STATE LAWS AND REGULATIONS
  - FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

A.B. ABOVE  
 ABV. ABOVE  
 ACCA ADD'L  
 ADD'L ADDITIONAL  
 A.F.F. ABOVE FINISHED FLOOR  
 A.F.G. ABOVE FINISHED GRADE  
 ALUM. ALUMINUM  
 ALT. ALTERNATE  
 ANT. ANTENNA  
 APPRX. APPROXIMATE(LY)  
 ARCH. ARCHITECT(JURAL)  
 AWG. AMERICAN WIRE GAUGE  
 BLDG. BUILDING  
 BLK. BLOCK  
 BLKG. BLOCKING  
 BM. BEAM  
 B.N. BOUNDARY NAILING  
 BTCW. BARE TINNED COPPER WIRE  
 B.O.F. BOTTOM OF FOOTING  
 B/U BACK-UP CABINET  
 CAB. CABINET  
 CANT. CANTILEVER(ED)  
 C.I.P. CAST IN PLACE  
 CLG. CEILING  
 CLR. CLEAR  
 COL. COLUMN  
 CONC. CONCRETE  
 CONN. CONNECTION(OR)  
 CONST. CONSTRUCTION  
 CONT. CONTINUOUS  
 d PENNY (NAILS)  
 DBL. DOUBLE  
 DEPT. DEPARTMENT  
 D.F. DOUGLAS FIR  
 DIA. DIAMETER  
 DIAG. DIAGONAL  
 DIM. DIMENSION  
 DWG. DRAWING(S)  
 DWL. DOWEL(S)  
 EA. EACH  
 EL. ELEVATION  
 ELEC. ELECTRICAL  
 ELEV. ELEVATOR  
 EMT. ELECTRICAL METALLIC TUBING  
 E.N. EDGE NAIL  
 ENG. ENGINEER  
 EQ. EQUAL  
 EXP. EXPANSION  
 EXST.(E) EXISTING  
 EXT. EXTERIOR  
 FAB. FABRICATION(OR)  
 F.F. FINISH FLOOR  
 F.G. FINISH GRADE  
 FIN. FINISH(ED)  
 FLR. FLOOR

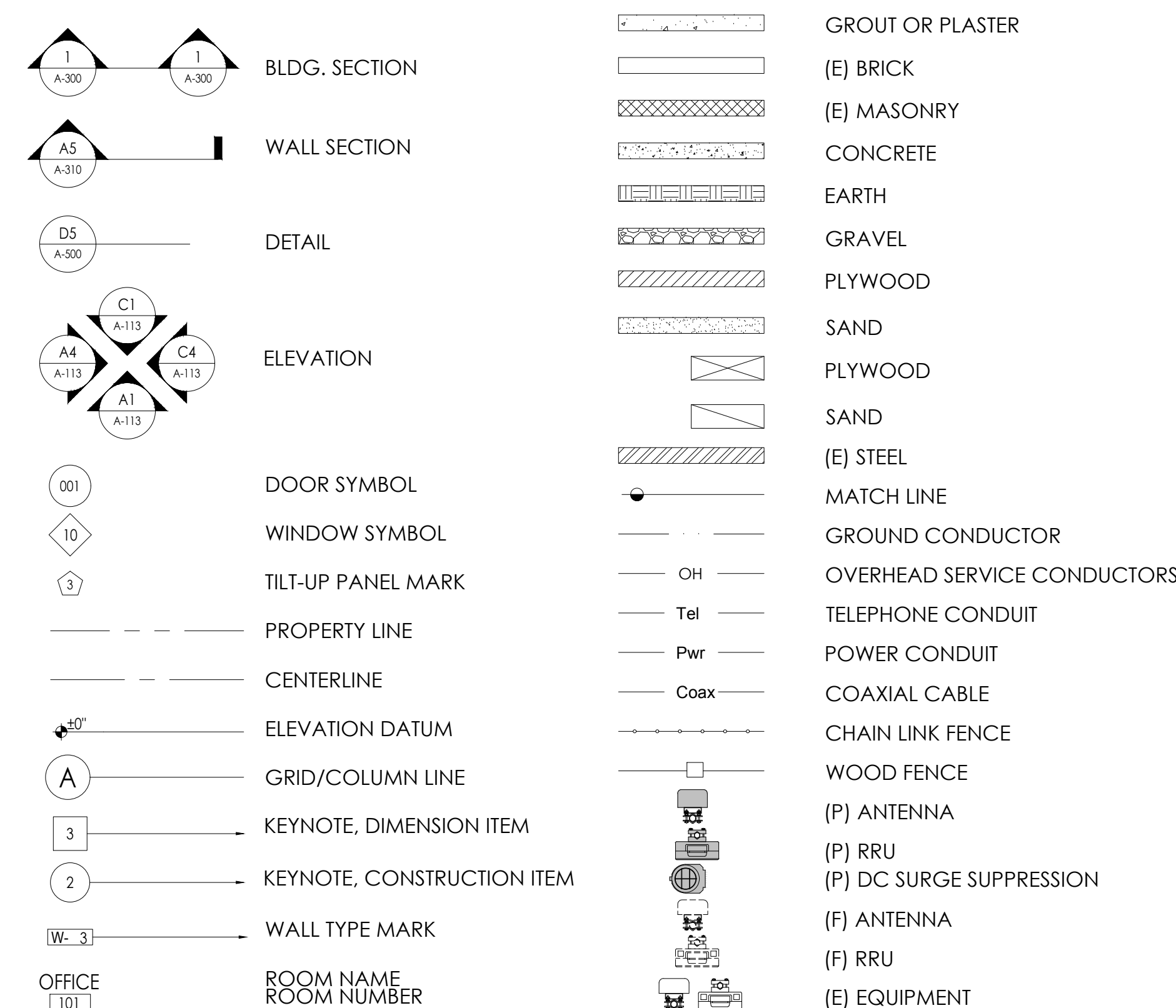
ANCHOR BOLT  
 ABOVE  
 ANTENNA CABLE COVER ASSEMBLY  
 ADDITIONAL  
 ABOVE FINISHED FLOOR  
 ABOVE FINISHED GRADE  
 ALUMINUM  
 ALTERNATE  
 ANTENNA  
 APPROXIMATE(LY)  
 ARCHITECT(JURAL)  
 AMERICAN WIRE GAUGE  
 BUILDING  
 BLOCK  
 BLOCKING  
 BEAM  
 BOUNDARY NAILING  
 BARE TINNED COPPER WIRE  
 BOTTOM OF FOOTING  
 BACK-UP CABINET  
 CABINET  
 CANTILEVER(ED)  
 CAST IN PLACE  
 CEILING  
 CLEAR  
 COLUMN  
 CONCRETE  
 CONNECTION(OR)  
 CONSTRUCTION  
 CONTINUOUS  
 PENNY (NAILS)  
 DOUBLE  
 DEPARTMENT  
 DOUGLAS FIR  
 DIAMETER  
 DIAGONAL  
 DIMENSION  
 DRAWING(S)  
 DOWEL(S)  
 EACH  
 ELEVATION  
 ELECTRICAL  
 ELEVATOR  
 ELECTRICAL METALLIC TUBING  
 EDGE NAIL  
 ENGINEER  
 EQUAL  
 EXPANSION  
 EXISTING  
 EXTERIOR  
 FABRICATION(OR)  
 FINISH FLOOR  
 FINISH GRADE  
 FINISH(ED)  
 FLOOR

FDN. FOUNDATION  
 F.O.C. FACE OF CONCRETE  
 F.O.M. FACE OF MASONRY  
 F.O.S. FACE OF STUD  
 F.O.W. FACE OF WALL  
 F.S. FINISH SURFACE  
 FT.(') FOOT (FEET)  
 FTG. FOOTING  
 G. GROWTH (CABINET)  
 GA. GAUGE  
 GI. GALVANIZE(D)  
 G.F.I. GROUND FAULT CIRCUIT  
 INTERRUPTER  
 GLB. (GLU-LAM) GLUE LAMINATED BEAM  
 GPS GLOBAL POSITIONING SYSTEM  
 GRND. GROUND  
 HDR. HEADER  
 HGR. HANGER  
 HT. HEIGHT  
 ICGB. ISOLATED COPPER GROUND BUS  
 IN. (") INCH(ES)  
 INT. INTERIOR  
 LB.(#) POUND(S)  
 L.B. LAG BOLTS  
 L.F. LINEAR FEET (FOOT)  
 L. LONG(ITUDINAL)  
 MAS. MASONRY  
 MAX. MAXIMUM  
 M.B. MACHINE BOLT  
 MECH. MECHANICAL  
 MFR. MANUFACTURER  
 MIN. MINIMUM  
 MISC. MISCELLANEOUS  
 MTL. METAL  
 (N) NEW  
 NO.(#) NUMBER  
 N.T.S. NOT TO SCALE  
 O.C. ON CENTER  
 OPNG. OPENING  
 P/C PRECAST CONCRETE  
 PCS PERSONAL COMMUNICATION  
 PLY. PLYWOOD  
 PPC POWER PROTECTION CABINET  
 PRC PRIMARY RADIO CABINET  
 P.S.F. POUNDS PER SQUARE FOOT  
 P.S.I. POUNDS PER SQUARE INCH  
 P.T. PRESSURE TREATED  
 PWR. POWER (CABINET)  
 QTY. QUANTITY  
 RAD.(R) RADIUS  
 REF. REFERENCE  
 REINF. REINFORCEMENT(ING)  
 REQ'D/ REQUIRED  
 RGS. RIGID GALVANIZED STEEL

SCH. SCHEDULE  
 SHT. SHEET  
 SIM. SIMILAR  
 SPEC. SPECIFICATIONS  
 SQ. SQUARE  
 S.S. STAINLESS STEEL  
 STD. STANDARD  
 STL. STEEL  
 STRUC. STRUCTURAL  
 TEMP. TEMPORARY  
 THK.(NESS) THICK(NESS)  
 T.N. TOE NAIL  
 T.O.A. TOP OF ANTENNA  
 T.O.C. TOP OF CURB  
 T.O.F. TOP OF FOUNDATION  
 T.O.P. TOP OF PLATE (PARAPET)  
 T.O.S. TOP OF STEEL  
 T.O.W. TOP OF WALL  
 TYP. TYPICAL  
 U.G. UNDER GROUND  
 U.L. UNDERWRITERS LABORATORY  
 U.N.O. UNLESS NOTED OTHERWISE  
 V.I.F. VERIFY IN FIELD  
 W. WIDE (WIDTH)  
 W/W WITH  
 WD. WOOD  
 W.P. WEATHERPROOF  
 WT. WEIGHT  
 © CENTERLINE  
 P. PLATE, PROPERTY LINE

**ABBREVIATIONS:**

**SYMBOLS LEGEND:**



**APPLICANT:**

5005 EXECUTIVE PARKWAY  
 SAN RAMON, CA 94583

**VENDOR:**

**P. MARSHALL & ASSOCIATES**  
 A CENTERLINE COMMUNICATIONS COMPANY  
 1000 HOLCOMB WOODS PKWY. STE. 210  
 ROSWELL, GA. 30076  
 OFFICE: (678) 280-2325

**SITE INFORMATION:**

**CCL05855**

**SEAHAWK RANCH**

1 MEYN ROAD  
 HALF MOON BAY, CA  
 94019

FA#: 15974410  
 PACE#: MRSFR097724  
 PT#: 3701A16VYQ

**DESIGN RECORD:**

REV	DATE	DESCRIPTION	INT.	BH	SMR	SMR
A	11/06/23	ISSUED FOR 90%SDS				
B	12/06/24	ISSUED FOR 95%SDS				
C	01/31/24	ISSUED FOR 95%SDS				

**PROFESSIONAL STAMP:**

It is a violation of law for any persons, unless they are acting under the direction of a licensed professional engineer, to alter this document

**SHEET TITLE:**

**GN-1**

**SHEET NAME:**

**GENERAL NOTES**

COMPLIANCE WITH CFC 2022 SECTION 1207 - OUTDOOR BATTERY SYSTEMS

**1207.4 GENERAL INSTALLATIONS REQUIREMENTS**

**1207.4.1 ELECTRICAL DISCONNECTS:**

IN ACCORDANCE WITH SECTION 1207.4.1, THE ESS IS UNDER THE EXCLUSIVE CONTROL OF A COMMUNICATIONS FACILITY AND WILL HAVE ELECTRICAL DISCONNECT SIGNAGE IN ACCORDANCE WITH NFPA 76. SEE EMERGENCY SHUT DOWN AND BACK UP BATTERY DISCONNECT SIGNAGE ON SITE SIGNAGE SHEET IN THIS DRAWING SET.

**1207.4.2 WORKING CLEARANCES:**

IN ACCORDANCE WITH SECTION 1207.4.2, THE ESS WILL MAINTAIN PROPER WORKING CLEARANCES AS PRESCRIBED BY THE CALIFORNIA ELECTRICAL CODE AND THE MANUFACTURER'S INSTRUCTIONS.

**1207.4.4 SEISMIC AND STRUCTURAL DESIGN:**

IN ACCORDANCE WITH SECTION 1207.4.4, THE ESS WILL NOT EXCEED THE FLOOR LOADING LIMITATION OF THE BUILDING, REFERENCE PASSING STRUCTURAL ANALYSIS REPORT UNDER SEPARATE COVER.

**1207.4.5 VEHICLE IMPACT PROTECTION:**

THE ESS CABINETS ARE LOCATED IN AN UNOCCUPIED AND UNMANNED OUTDOOR TELECOMMUNICATIONS FACILITY AND IS NOT SUBJECT TO IMPACT BY VEHICLES. SHOULD THE ESS BE SUBJECT TO POTENTIAL IMPACT BY VEHICLES, IMPACT PROTECTION SHALL BE IN PLACE IN ACCORDANCE WITH SECTION 312.

**1207.4.6 COMBUSTIBLE STORAGE:**

IN ACCORDANCE WITH SECTION 1207.4.6, NO COMBUSTIBLE MATERIALS WILL BE STORED WITHIN 3' OF THE BATTERY CABINETS.

**1207.4.7 TOXIC AND HIGHLY TOXIC GASES:**

THE ESS BATTERY CABINET IS LOCATED OUTDOORS AND IS NATURALLY VENTILATED, NO EXHAUST SYSTEM IS REQUIRED.

**1207.4.8 SIGNAGE:**

IN ACCORDANCE WITH SECTION 1207.4.8, HAZARD SIGNAGE WILL BE PLACED AT THE BATTERY STORAGE SYSTEM INDICATING "DANGER", "LEAD ACID BATTERIES", "CORROSIVE LIQUIDS", ENERGIZED ELECTRICAL CIRCUITS", "NO SMOKING". SEE SITE SIGNAGE SHEET IN THIS DRAWING SET.

**1207.4.9 SECURITY OF INSTALLATIONS:**

IN ACCORDANCE WITH SECTION 1207.4.9, THE BATTERY CABINETS AND ENCLOSURES WILL BE LOCKED AND SECURED AGAINST UNAUTHORIZED ENTRY.

**1207.4.10 OCCUPIED WORK CENTERS:**

THE TELECOMMUNICATIONS FACILITY AND IT'S ESS IS UNMANNED AND NOT OCCUPIED BY ANY PERSONNEL OTHER THAN THOSE DIRECTLY INVOLVED IN ITS MAINTENANCE.

**1207.4.11 OPEN RACK INSTALLATIONS:**

THE TELECOMMUNICATIONS FACILITY/CABINETS ARE LOCKED AND ONLY AUTHORIZED PERSONNEL HAVE ACCESS TO THE FACILITY AND ESS.

**1207.4.12 WALK-IN UNITS:**

WALK-IN UNITS SHALL BE ENTERED ONLY FOR INSPECTION, MAINTENANCE AND REPAIR OF ESS UNITS AND ANCILLARY EQUIPMENT, AND ARE NOT OCCUPIED FOR ANY OTHER PURPOSES.

**1207.8.3 CLEARANCE TO EXPOSURES:**

IN ACCORDANCE WITH SECTION 1207.8.3, THE ESS IS IN A WEATHERPROOF ENCLOSURE CONSTRUCTED OF NONCOMBUSTIBLE MATERIALS AND IS AT LEAST 10' FROM ANY LOT LINES, PUBLIC WAYS, BUILDINGS, STORED COMBUSTIBLE MATERIALS, HAZARDOUS MATERIALS, HIGH-PILED STOCK, OR OTHER EXPOSURE HAZARDS.

**1207.5.5 FIRE SUPPRESSION SYSTEMS**

THE ESS IS FOR A LEAD-ACID BATTERY SYSTEMS UNDER THE EXCLUSIVE CONTROL OF A COMMUNICATIONS UTILITY THAT OPERATE AT LESS THAN 50 VAC AND 60 VDC. ADDITIONALLY, THE ESS IS LOCATED OUTDOORS AND DOES NOT REQUIRE AN AUTOMATIC FIRE SUPPRESSION SYSTEM.

**1207.5.5.1 WATER-REACTIVE SYSTEMS:**

THE ESS IS A VALVE REGULATED LEAD ACID (VRLA) BATTERY SYSTEM THAT DOES NOT UTILIZE WATER-REACTIVE MATERIALS.

**1207.5.2 MAXIMUM ALLOWABLE QUANTITIES:**

THE ESS IS A VALVE REGULATED LEAD ACID (VRLA) BATTERY SYSTEM AND PER TABLE 1207.5 THE MAXIMUM ALLOWABLE QUANTITY IS "UNLIMITED".

**1207.5.8 MEANS OF EGRESS SEPARATION:**

IN ACCORDANCE WITH SECTION 1207.5.8, THE ESS IS LOCATED A MINIMUM OF 10' AWAY FROM ANY MEANS OF EGRESS AND DOES NOT OBSTRUCT OR IMPEDE SAFE EGRESS UNDER FIRE CONDITIONS.

**1207.5.1 SIZE AND SEPARATION:**

PER EXCEPTION 1 IN SECTION 1207.5.1, THE ESS IS A LEAD-ACID BATTERY SYSTEM WHICH IS UNDER THE EXCLUSIVE CONTROL OF A COMMUNICATIONS UTILITY AND IS IN COMPLIANCE WITH NFPA 76.

**1207.6.1 EXHAUST VENTILATION:**

THE CABINETS CONTAINING BATTERIES ARE OUTDOORS AND MEET VENTILATION REQUIREMENTS. THE ESS IS ALSO UNDER THE EXCLUSIVE CONTROL OF A COMMUNICATIONS UTILITY AND IS UNDER THE 1,000 GALLON THRESHOLD NOTED IN SECTION 1207.6.2.3.

**1207.6.2 SPILL CONTROL AND NEUTRALIZATION:**

IN COMPLIANCE WITH SECTION 1207.6.2 OF THE 2022 CALIFORNIA FIRE CODE, A SPILL CONTAINMENT SYSTEM KIT WILL BE STORED AT THE LEASE AREA. THE ESS IS ALSO UNDER THE EXCLUSIVE CONTROL OF A COMMUNICATIONS UTILITY AND IS UNDER THE 1,000 GALLON THRESHOLD NOTED IN SECTION 1207.6.2.3.

**1207.6.2.1 SPILL CONTROL:**

THE ESS IS STORED IN CABINETS WHICH COME EQUIPPED WITH SPILL CONTROL TRAYS WHICH ARE CAPABLE OF CONTAINING MORE THAN THE SINGLE LARGEST BATTERY OR VESSEL STORED IN THE CABINET. THE ESS IS ALSO UNDER THE EXCLUSIVE CONTROL OF A COMMUNICATIONS UTILITY AND IS UNDER THE 1,000 GALLON THRESHOLD NOTED IN SECTION 1207.6.2.3.

**1207.6.2.2 NEUTRALIZATION:**

SEE RESPONSE FOR SECTION 1207.6.2 ABOVE, A SPILL CONTAINMENT SYSTEM KIT WILL BE STORED AT THE LEASE AREA. THE ESS IS ALSO UNDER THE EXCLUSIVE CONTROL OF A COMMUNICATIONS UTILITY AND IS UNDER THE 1,000 GALLON THRESHOLD NOTED IN SECTION 1207.6.2.3.

**1207.6.4 SAFETY CAPS:**

IN ACCORDANCE WITH SECTION 1207.6.4, THE PROPOSED BATTERIES SHALL BE EQUIPPED WITH SELF-RESEALING FLAME ARRESTING CAPS.

**1207.6.5 THERMAL RUNAWAY:**

IN ACCORDANCE WITH SECTION 1207.6.5, THE CABINETS CONTAINING BATTERIES SHALL CONTAIN THERMAL RUNAWAY MANAGEMENT.

**1207.5.7 VEGETATION CONTROL:**

IN ACCORDANCE WITH SECTION 1207.5.7, THE OUTDOOR ESS SHALL BE CLEARED OF COMBUSTIBLE VEGETATION AREAS WITHIN 10' ON EACH SIDE OF THE OUTDOOR ESS CABINETS. EXCEPTION FOR SINGLE SPECIMENS OF TREES, SHRUBBERY OR CULTIVATED GROUND COVER SUCH AS GREEN GRASS, IVY, SUCCULENTS OR SIMILAR PLANTS USED AS GROUND COVER PROVIDED THAT THEY DO NOT FORM A MEANS OF READILY TRANSMITTING FIRE.

Container	5- Gallon D.O.T.	20- Gallon D.O.T.	Lockable Rolling Cart with Organizers	55- Gallon D.O.T.
<b>ENVIRGUARD</b> Global Compliance Solutions				
Tyvek body coveralls	1	2	2	2
Headgear/face shield	1	2	2	2
Goggles	1	2	2	2
Rubber Gloves	1	2	2	2
pH test Kit	1	1	1	1
Duct Tape	1	1	1	1
Absorbent wipes	10	20	15	20
Hazmat disposal bags	2	2	2	3
Disposable respirator	1	2	2	2
Emergency response guidebook	1	1	1	1
NeutraSorb	5 lbs.	10 lbs.	5 lbs.	(4x) 10 lbs.
Neutralizing & absorbing Pads	3	3	5	6
SOCs		2		7
Scoop		1	1	1
Brush		1 brush	1	1 broom with collapsible handle
pH7			1 qt. bottle	16 oz. bottle.
Squeezegee				1 with collapsible handle

Spill Clean-Up Kits Neutralizing Products Cabinet Kits

**5-Gallon Spill Clean-up Kit**

**Kit Includes**

- 5-Gallon D.O.T. container
- 1 pair of Tyvek body coveralls
- 1 headgear/face shield
- 1 pair of goggles
- 1 pair of rubber gloves
- 1 roll of duct tape, 1 pH test kit
- 3 neutralizing & absorbing pads
- 10 absorbent wipes
- 2 hazmat disposal bags
- 1 disposable respirator
- 1 emergency response guidebook
- 5 lbs. NeutraSorb (acid absorbent & neutralizer)



**Part Number**

- SCK-5 - Also available for NiCd (SCK-5-K) applications

**Regulations In Compliance With**

- Fire Codes
- Building Codes
- OSHA 1920.178

**Specifications**

- Height: 14.5"
- Diameter: 11.25"

APPLICANT:



5005 EXECUTIVE PARKWAY  
SAN RAMON, CA 94583

VENDOR:



**P. MARSHALL & ASSOCIATES**  
A CENTERLINE COMMUNICATIONS COMPANY  
1000 HOLCOMB WOODS PKWY. STE 210  
ROSWELL, GA 30076  
OFFICE: (678) 280-2325

SITE INFORMATION:

**CCL05855**

**SEAHAWK RANCH**

1 MEYN ROAD  
HALF MOON BAY, CA  
94019

FA#: 15974410  
PACE#: MRSFR097724  
PT#: 3701A16VYQ

DESIGN RECORD:

REV	DATE	DESCRIPTION	INT.	BH	SMR	SMR
A	11/06/23	ISSUED FOR 90%DCS				
B	12/06/24	ISSUED FOR 95%DCS				
C	01/31/24	ISSUED FOR 95%DCS				

PROFESSIONAL STAMP:

It is a violation of law for any persons, unless they are acting under the direction of a licensed professional engineer, to alter this document

SHEET TITLE:

**GN-2**

SHEET NAME:

**CFC 2022 SECTION 1207 COMPLIANCE**

**NOTES:**

OWNER: SEAHAWK RANCH CORP  
 APN: 066-310-220

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY OF ANY PARCEL OF LAND, NOR DOES IT IMPLY OR INFER THAT A BOUNDARY SURVEY WAS PERFORMED. THIS IS A SPECIALIZED TOPOGRAPHIC MAP WITH PROPERTY AND EASEMENTS BEING A GRAPHIC DEPICTION BASED ON INFORMATION GATHERED FROM VARIOUS SOURCES OF RECORD AND AVAILABLE MONUMENTATION. PROPERTY LINES AND LINES OF TITLE WERE NEITHER INVESTIGATED NOR SURVEYED AND SHALL BE CONSIDERED APPROXIMATE ONLY. NO PROPERTY MONUMENTS WERE SET.

THE EASEMENTS (IF ANY) THAT APPEAR ON THIS MAP HAVE BEEN PLOTTED BASED SOLELY ON INFORMATION CONTAINED IN THE TITLE REPORT BY: XXXX XXXX XXXX FILE NO. XXXXXXX, DATED XXXX,XX XXXX. WITHIN SAID TITLE REPORT THERE ARE XXXX (XX) EXCEPTIONS LISTED, XXXX (XX) OF WHICH ARE EASEMENTS AND XXXX (XX) OF WHICH CAN NOT BE PLOTTED.

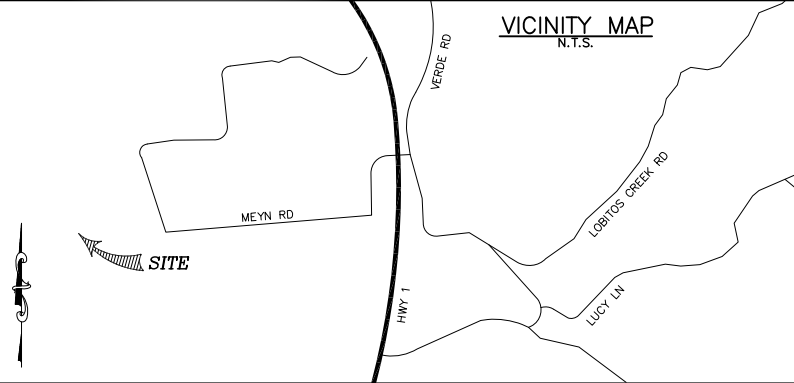
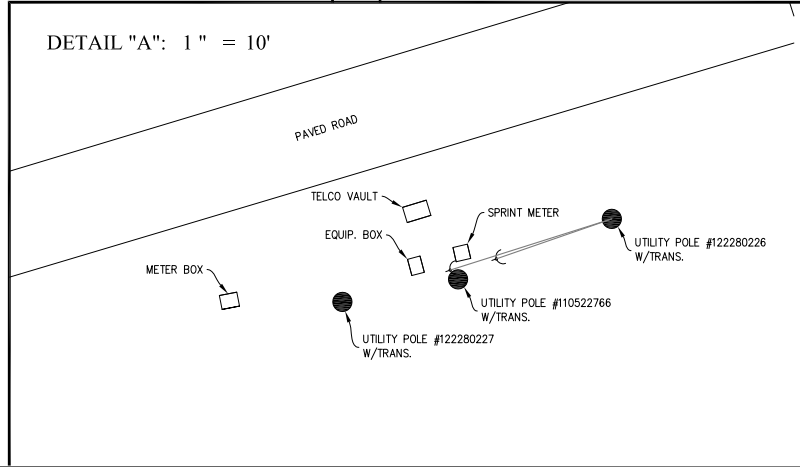
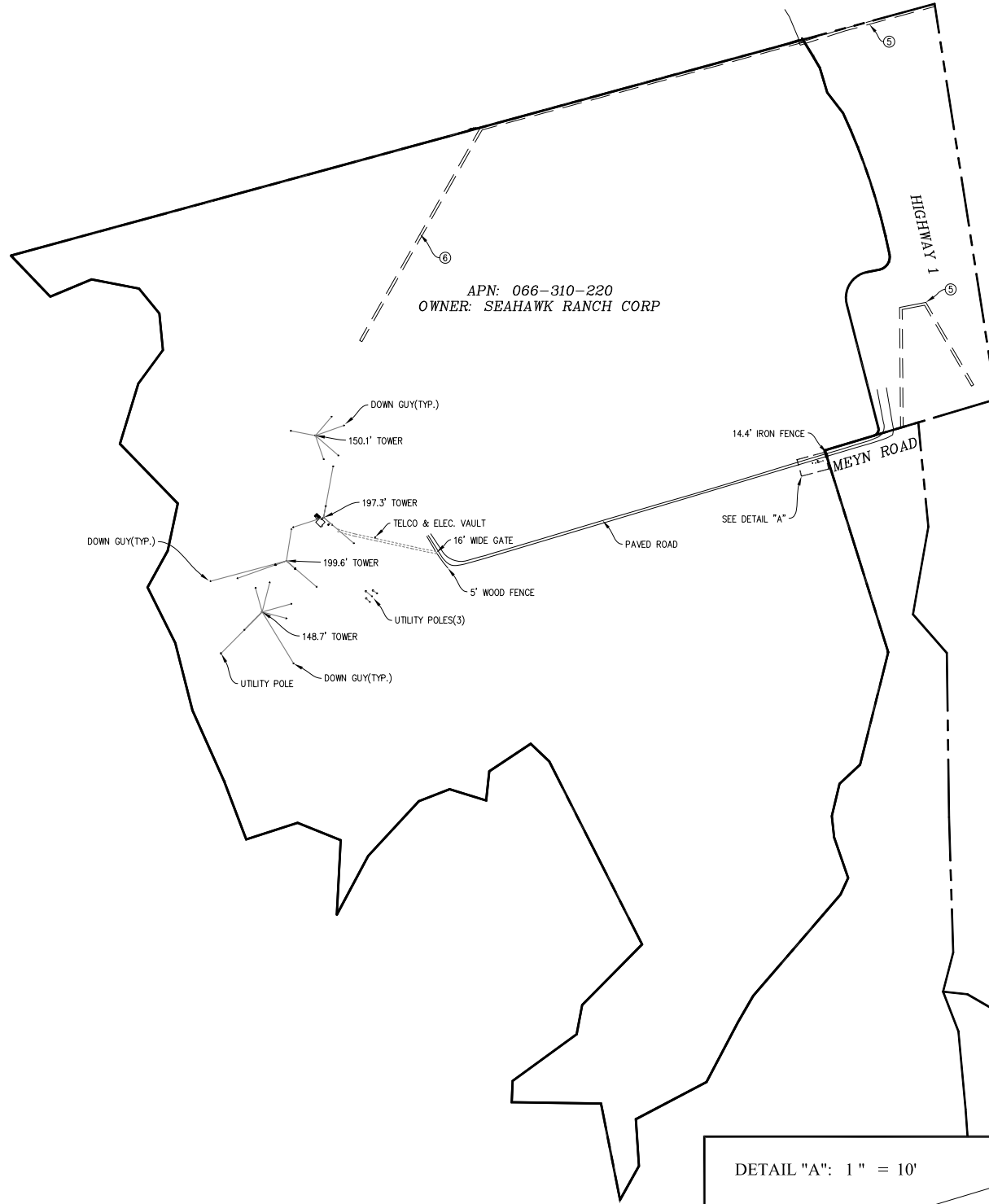
THE UNDERGROUND UTILITIES (IF ANY) THAT APPEAR ON THIS MAP HAVE BEEN LOCATED BY FIELD OBSERVATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD RATE MAP FOR COMMUNITY NO. 060311, PANEL NO. 0268F, DATED AUGUST 2, 2017 SHOWS THAT THE LOCATION OF THIS SITE FALLS WITHIN ZONE 'X', AREAS OF MINIMAL FLOOD HAZARD

THE LATITUDE AND LONGITUDE AT THE LOCATION AS SHOWN WAS DETERMINED BY GPS OBSERVATIONS.

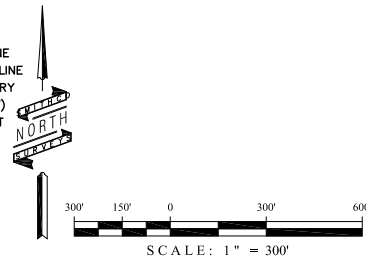
LAT. 37° 23' 00.29" N. NAD 83 (37.383414°)  
 LONG. 122° 24' 46.73" W. NAD 83 (-122.412981°)  
 ELEV. 150.9' NAVD 88 (BASIS OF DRAWING)

The information shown above meets or exceeds the requirements set forth in FAA order 8260.19D for 1-A accuracy ( $\pm 20'$  horizontally and  $\pm 3'$  vertically). The horizontal datum (coordinates) are expressed as degrees, minutes and seconds, to the nearest hundredth of a second. The vertical datum (heights) are expressed in feet and decimalA thereof and are determined to the nearest 0.1 foot.



**LEGEND**

- SITE BOUNDARY LINE
- OVERHEAD POWER LINE
- PROPERTY BOUNDARY (PER TITLE REPORT)
- EDGE OF PAVEMENT
- FENCELINE
- POWER POLE
- SPOT ELEVATION
- CONCRETE PAD



PREPARED FOR:



PREPARED BY:



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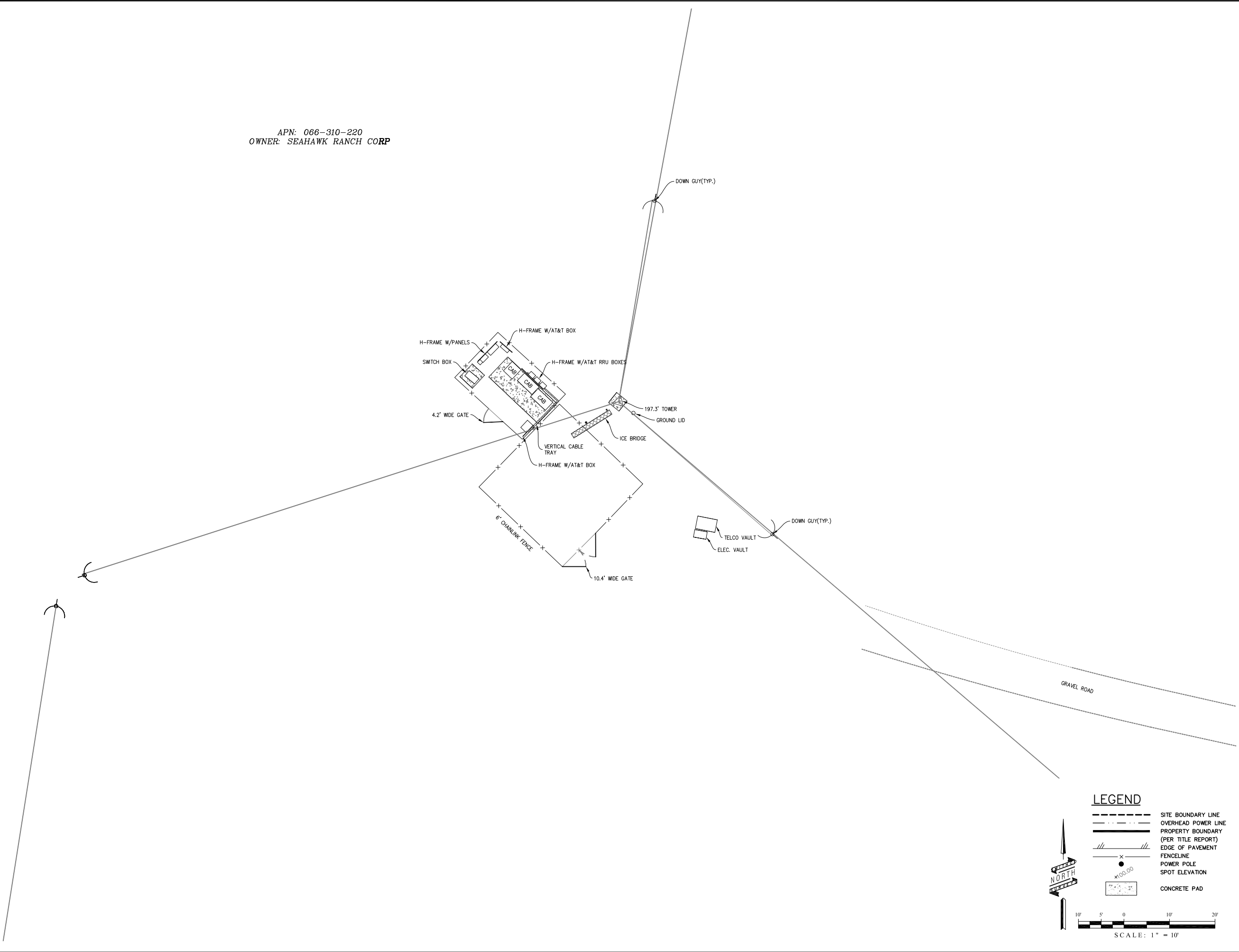
PROFESSIONAL SEAL:

REVISION			
#	DATE	DESCRIPTION	BY
0	09/21/23	PRELIMINARY ISSUE	LA
1	10/27/23	TITLE REVIEW	KP
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CCL05855B  
 SEAHAWK RANCH  
 22495 CABRILLO HWY S  
 HALF MOON BAY, CA 94019  
 SAN MATEO COUNTY

APN: 066-310-220  
 OWNER: SEAHAWK RANCH CORP



PREPARED FOR:  
**INFRASTRUCTURE**  
 23 MAUCHLY #110,  
 IRVINE, CA 92618

PREPARED BY:  
**SMITHCO**  
 SURVEYING & ENGINEERING  
 P.O. BOX 81626 BAKERSFIELD, CA 93380  
 PHONE: (661) 393-1217 FAX: (661) 393-1218

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REVISION			
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CCL05855B  
 SEAHAWK RANCH  
 22495 CABRILLO HWY S  
 HALF MOON BAY, CA 94019  
 SAN MATEO COUNTY

**LEGEND**

- SITE BOUNDARY LINE
- OVERHEAD POWER LINE
- PROPERTY BOUNDARY (PER TITLE REPORT)
- EDGE OF PAVEMENT
- FENCELINE
- POWER POLE
- SPOT ELEVATION
- CONCRETE PAD

100.00

NORTH

SCALE: 1" = 10'

**LESSOR'S PROPERTY LEGAL DESCRIPTION PER TITLE REPORT:**

1. NAME OF ASSURED:  
J5 INFRASTRUCTURE PARTNERS LLC
2. THE ESTATE OR INTEREST IN THE LAND WHICH IS COVERED BY THIS GUARANTEE IS:  
FEE AS TO PARCEL(S) ONE AND FIVE; EASEMENT AS TO PARCEL(S) TWO, THREE AND FOUR
3. THE LAND REFERRED TO IN THIS GUARANTEE IS DESCRIBED AS FOLLOWS:  
REAL PROPERTY IN THE UNINCORPORATED AREA OF THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL ONE:  
BEGINNING AT A POINT ON THE BANK OF THE PACIFIC OCEAN, AT A POST MARKING THE SOUTHWEST CORNER OF THE LANDS CONVEYED BY W. W. MCCOY TO BAILARD AND KENNISON, BY DEED RECORDED IN BOOK 2 OF DEEDS AT PAGE 465 ON APRIL 20, 1861; THENCE ALONG THE SOUTHERLY LINE OF SAID LAST MENTIONED PARCEL OF LAND, NORTH 72° 30' EAST 54.84 CHAINS, MORE OR LESS, TO A POINT IN THE CENTER LINE OF THE COUNTY ROAD LEADING FROM PESCADERO TO SPANISHTOWN, KNOWN AS DIVISION 3, ROUTE 1, SAN MATEO COUNTY HIGHWAY; THENCE SOUTH 9° 15' EAST ALONG THE CENTER OF SAID ROAD, 23.22 CHAINS; THENCE SOUTH 72° 57' WEST, A DISTANCE OF 10.32 CHAINS, MORE OR LESS, TO THE MOST WESTERLY CORNER OF THAT CERTAIN TRACT OF LAND CONTAINING 6.41 ACRES, CONVEYED TO HENRY BRUTT, BY DEED RECORDED AUGUST 17, 1903 IN BOOK 107 OF DEEDS AT PAGE 192; THENCE ALONG THE SOUTHWESTERLY LINE OF SAID LAST MENTIONED PARCEL OF LAND, SOUTH 17° 30' EAST 11.30 CHAINS, MORE OR LESS, TO THE CENTER OF LOBITOS CREEK AND THENCE DOWN SAID CREEK TO THE PACIFIC OCEAN AND THENCE NORTHERLY ALONG THE BANK OF THE PACIFIC OCEAN TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM SO MUCH AS LIES WITHIN THE FOLLOWING DESCRIBED PARCEL: A STRIP OF LAND 20 FEET WIDE LYING ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTER LINE, GRANTED TO THE COUNTY OF SAN MATEO, BY DEED DATED NOVEMBER 11, 1914 AND RECORDED DECEMBER 30, 1914 IN BOOK 237 OF DEEDS AT PAGE 241, RECORDS OF SAN MATEO COUNTY AND DESCRIBED AS FOLLOWS:

BEGINNING IN THE CENTER OF HIGHWAY STATION 289 PLUS 44.25 ROUTE 3, DIVISION 1, SAN MATEO COUNTY HIGHWAY; THENCE SOUTH 72° 57' WEST 681.12 FEET TO THE WESTERLY LINE OF HENRY BRUTT PROPERTY.

ALSO EXCEPTING THEREFROM THE LANDS DESCRIBED IN THE DEED FROM MACKAY RADIO AND TELEGRAPH COMPANY, A CALIFORNIA CORPORATION TO THE STATE OF CALIFORNIA, RECORDED APRIL 17, 1942 IN BOOK 1008, PAGE 410, INSTRUMENT NO. 51099-E OFFICIAL RECORDS OF SAN MATEO COUNTY.

ALSO EXCEPTING THEREFROM THE LANDS DESCRIBED IN THE DEED FROM MACKAY RADIO AND TELEGRAPH COMPANY, A DELAWARE CORPORATION TO THE STATE OF CALIFORNIA, RECORDED JUNE 22, 1950 IN BOOK 1882, PAGE 409, INSTRUMENT NO. 66368-I OFFICIAL RECORDS OF SAN MATEO COUNTY.

ALSO EXCEPTING THEREFROM THE LANDS DESCRIBED IN THE DEED FROM ITT WORLD COMMUNICATIONS INC., FORMERLY MACKAY RADIO AND TELEGRAPH COMPANY, A DELAWARE CORPORATION TO VERA I. COBURN, RECORDED DECEMBER 30, 1983 UNDER INSTRUMENT NO. 83144026 OFFICIAL RECORDS OF SAN MATEO COUNTY.

PARCEL TWO:  
THE RIGHT TO LAY DOWN, PERPETUATE AND MAINTAIN A LINE OF PIPE OVER AND ACROSS THAT CERTAIN PARCEL OF LAND GRANTED BY LEVY BROS. TO EDWARD FREY, BY DEED DATED MAY 22, 1903 AND RECORDED JUNE 30, 1903 IN BOOK 96 OF DEEDS AT PAGE 392 AND OVER AND ACROSS THAT CERTAIN PARCEL OF LAND GRANTED BY LEVY BROS. TO HENRY BRUTT, BY DEED DATED MAY 22, 1903 AND RECORDED AUGUST 17, 1903 IN BOOK 107 OF DEEDS AT PAGE 192 AND THEREBY TO CARRY THE WATERS OF SAID LOBITOS CREEK IN A NORTHERLY AND EASTERLY AND WESTERLY DIRECTION TO THOSE LANDS FIRST ABOVE DESCRIBED AND THERE TO ENJOY AND USE THE SAME AND THE SAID LINE OF PIPE TO BE SO LAID AND MAINTAINED AS TO DO AS LITTLE INJURY AS POSSIBLE TO THE SAID LANDS SO GRANTED TO EDWARD FREY AND HENRY BRUTT, WHICH SAID RIGHT OF WAY WAS RESERVED IN SAID TWO LAST ABOVE MENTIONED DEEDS.

PARCEL THREE:  
A RIGHT OF WAY FOR THE USE AND MAINTENANCE OF A TWO AND ONE-HALF INCH WATER PIPELINE, AS RESERVED IN THE DEED TO STATE OF CALIFORNIA RECORDED ON JUNE 22, 1950 IN BOOK 1882, PAGE 409 (66368-I) OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:  
A STRIP OF LAND 10 FEET IN WIDTH LYING 5 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTER LINE:

COMMENCING AT A POINT ON THE NORTHERLY LINE OF THE COUNTY ROAD (40 FEET WIDE) EXTENDING FROM THE HALF MOON BAY-PESCADERO ROAD TO THE LOBITOS STATION OF THE OCEAN SHORE RAILROAD COMPANY, DISTANT THEREON S. 73° 22' 42" W., 376.72 FEET FROM THE MOST EASTERLY CORNER OF THAT PARCEL OF LAND CONVEYED TO MACKAY RADIO AND TELEGRAPH COMPANY, A CORPORATION OF THE STATE OF DELAWARE, BY DEED RECORDED AUGUST 26, 1946 IN BOOK 1306 AT PAGE 140, OFFICIAL RECORDS OF SAN MATEO COUNTY, SAID POINT OF COMMENCEMENT ALSO BEING DISTANT S. 73° 22' 42" W., 130.90 FEET, FROM ENGINEER'S STATION 101.64.33 ON THE C10 LINE OF THE DEPARTMENT OF PUBLIC WORKS SURVEY FOR THE STATE HIGHWAY IN SAN MATEO COUNTY, BETWEEN HALF MOON BAY AND PESCADERO; ROAD IV-SM-56-C; THENCE FROM SAID POINT OF COMMENCEMENT N. 0° 29' 03" W., 456.15 FEET; THENCE N. 78° 58' 48" E., 95.00 FEET; THENCE S. 30° 08' 20" E., 362.30 FEET.

PARCEL FOUR:  
A RIGHT OF WAY FOR A BURIED CABLE ALONG A 10 FOOT STRIP OF LAND AS RESERVED IN THE DEED TO THE STATE OF CALIFORNIA, RECORDED JUNE 22, 1950 IN BOOK 1882, PAGE 409 (66368-I) OFFICIAL RECORDS DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEASTERLY CORNER OF THAT PARCEL OF LAND CONVEYED TO MACKAY RADIO AND TELEGRAPH COMPANY, A CORPORATION OF THE STATE OF DELAWARE, BY DEED RECORDED AUGUST 26, 1946 IN BOOK 1306 AT PAGE 140, OFFICIAL RECORDS OF SAN MATEO COUNTY, SAID CORNER BEING THE INTERSECTION OF THE NORTHERLY LINE OF SAID PARCEL WITH THE CENTER LINE OF THE HALF MOON BAY-PESCADERO ROAD; THENCE FROM SAID POINT OF COMMENCEMENT ALONG SAID NORTHERLY LINE S. 75° 21' 18" W., 357.65 FEET; THENCE S. 73° 03' 45" W., 184.13 FEET TO A POINT IN A LINE PARALLEL WITH AND DISTANT 70 FEET SOUTHWESTERLY FROM THE C10 LINE OF THE DEPARTMENT OF PUBLIC WORKS SURVEY FOR THE STATE HIGHWAY IN SAN MATEO COUNTY BETWEEN HALF MOON BAY AND PESCADERO, ROAD IV-SM-56-C, SAID POINT BEING DISTANT 70.00 FEET SOUTHWESTERLY, AT RIGHT ANGLES FROM ENGINEERS STATION 117+28.19 ON SAID C10 LINE; THENCE ALONG SAID PARALLEL LINE S. 32° 07' 55" E., 10.36 FEET; THENCE N. 73° 03' 45" E., 181.17 FEET, TO A LINE PARALLEL WITH AND DISTANT 10 FEET SOUTHERLY, AT RIGHT ANGLES, FROM SAID NORTHERLY LINE; THENCE ALONG LAST SAID PARALLEL LINE N. 75° 21' 18" E., 356.48 FEET, TO SAID CENTERLINE; THENCE ALONG SAID CENTERLINE, N. 8° 54' 28" W., 10.05 FEET, TO THE POINT OF COMMENCEMENT.

PARCEL FIVE:  
ALL THAT CERTAIN PARCEL OF LAND LYING BETWEEN THE TOP OF THE BLUFF AND THE MEAN HIGH TIDE OF THE PACIFIC OCEAN; BOUNDED ON THE NORTH BY THE WESTERLY EXTENSION OF THE NORTHERLY LINE OF THE LANDS DESCRIBED IN DEED FROM MACKAY RADIO AND TELEGRAPH COMPANY, A CORPORATION OF THE STATE OF CALIFORNIA, TO MACKAY RADIO AND TELEGRAPH COMPANY, A CORPORATION OF THE STATE OF DELAWARE, DATED DECEMBER 31, 1943 AND RECORDED AUGUST 26, 1946 IN BOOK 1306 OFFICIAL RECORDS OF SAN MATEO COUNTY, PAGE 140 (22036-G), AND BOUNDED ON THE SOUTH BY THE WESTERLY EXTENSION OF THE SOUTHERLY LINE OF SAID LANDS DESCRIBED IN DEED RECORDED AUGUST 26, 1946 (22036-G) OF OFFICIAL RECORDS.

APN: 066-310-220 AND JPN NO. 066-031-310-20A

4. ASSURANCES:  
ACCORDING TO THE PUBLIC RECORDS AS OF THE DATE OF GUARANTEE,  
A. TITLE TO THE ESTATE OR INTEREST IN THE LAND IS VESTED IN:  
SEAHAWK RANCH CORPORATION, A SOUTH DAKOTA CORPORATION  
B. TITLE TO THE ESTATE OR INTEREST IS SUBJECT TO DEFECTS, LIENS, OR ENCUMBRANCES SHOWN IN SCHEDULE B WHICH ARE NOT NECESSARILY SHOWN IN THE ORDER OF THEIR PRIORITY.

**EASEMENT(S) PER TITLE REPORT:**

3. AN EASEMENT FOR POLES AND WRES FOR TRANSMISSION OF ELECTRICITY AND INCIDENTAL PURPOSES, RECORDED JUNE 13, 1921 AS BOOK 15, PAGE 289 OF OFFICIAL RECORDS.  
IN FAVOR OF: GREAT WESTERN POWER COMPANY  
AFFECTS: AS DESCRIBED THEREIN  
>>> THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION. <<<
4. AN EASEMENT FOR RIGHT OF WAY FOR DISTRIBUTION OF ELECTRICITY AND INCIDENTAL PURPOSES, RECORDED JULY 18, 1925 AS BOOK 177, PAGE 273 OF OFFICIAL RECORDS.  
IN FAVOR OF: GREAT WESTERN POWER COMPANY OF CALIFORNIA, A CALIFORNIA CORPORATION  
AFFECTS: AS DESCRIBED THEREIN  
>>> THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION. <<<
5. A WAIVER OF ANY CLAIMS FOR DAMAGES BY REASON OF THE LOCATION, CONSTRUCTION, LANDSCAPING OR MAINTENANCE OF A CONTIGUOUS FREEWAY, HIGHWAY OR ROADWAY, AS CONTAINED IN THE DOCUMENT RECORDED JUNE 22, 1950 AS BOOK 1882, PAGE 409 OF OFFICIAL RECORDS.  
>>> APPROXIMATE LOCATION PLOTTED AS SHOWN HEREON <<<
6. AN EASEMENT FOR COMMUNICATION FACILITIES AND INCIDENTAL PURPOSES, RECORDED DECEMBER 01, 1967 AS BOOK 5400, PAGE 420 OF OFFICIAL RECORDS.  
IN FAVOR OF: THE PACIFIC TELEPHONE AND TELEGRAPH COMPANY  
AFFECTS: AS DESCRIBED THEREIN  
>>>
7. AN UNRECORDED LEASE DATED AUGUST 28, 1999, EXECUTED BY SEAHAWK RANCH CORPORATION, A SOUTH DAKOTA CORPORATION AS LESSOR AND SPRINT SPECTRUM L.P., A DELAWARE LIMITED PARTNERSHIP AS LESSEE, AS DISCLOSED BY A MEMORANDUM OF AGREEMENT RECORDED DECEMBER 31, 1999 AS INSTRUMENT NO. 1999-212613 OF OFFICIAL RECORDS.  
DEFECTS, LIENS, ENCUMBRANCES OR OTHER MATTERS AFFECTING THE LEASEHOLD ESTATE, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.  
>>> SUPPORTING DOCUMENTS ILLEGIBLE <<<
8. AN UNRECORDED LEASE DATED AUGUST 13, 2014, EXECUTED BY SEAHAWK RANCH CORPORATION, A SOUTH DAKOTA CORPORATION AS LESSOR AND GTE MOBILNET OF CALIFORNIA LIMITED PARTNERSHIP, A CALIFORNIA LIMITED PARTNERSHIP, D/B/A VERIZON WIRELESS, BY CELCO PARTNERSHIP, ITS GENERAL PARTNER AS LESSEE, AS DISCLOSED BY A MEMORANDUM OF OPTION AND LAND AND TOWER LEASE AGREEMENT RECORDED OCTOBER 16, 2014 AS INSTRUMENT NO. 2014-094138 OF OFFICIAL RECORDS.  
DEFECTS, LIENS, ENCUMBRANCES OR OTHER MATTERS AFFECTING THE LEASEHOLD ESTATE, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.  
>>> NOT PLOTTABLE - UNDERLYING DOCUMENTS NOT PROVIDED <<<
9. A RIGHT OF FIRST REFUSAL IN FAVOR OF GTE MOBILNET OF CALIFORNIA LIMITED PARTNERSHIP, A CALIFORNIA LIMITED PARTNERSHIP, D/B/A VERIZON WIRELESS, BY CELCO PARTNERSHIP, ITS GENERAL PARTNER AS CONTAINED IN OR DISCLOSED BY A DOCUMENT RECORDED OCTOBER 16, 2014 AS INSTRUMENT NO. 2014-094138 OF OFFICIAL RECORDS.  
>>> NOT PLOTTABLE - UNDERLYING DOCUMENTS NOT PROVIDED <<<
10. AN OPTION IN FAVOR OF GTE MOBILNET OF CALIFORNIA LIMITED PARTNERSHIP, A CALIFORNIA LIMITED PARTNERSHIP, D/B/A VERIZON WIRELESS, BY CELCO PARTNERSHIP, ITS GENERAL PARTNER AS CONTAINED IN OR DISCLOSED BY A DOCUMENT RECORDED OCTOBER 16, 2014 AS INSTRUMENT NO. 2014-094138 OF OFFICIAL RECORDS.  
>>> NOT PLOTTABLE - UNDERLYING DOCUMENTS NOT PROVIDED <<<
11. A DOCUMENT ENTITLED MEMORANDUM OF THIRD AMENDMENT TO LEASE RECORDED APRIL 22, 2019 AS INSTRUMENT NO. 2019-028960 OF OFFICIAL RECORDS.  
>>> NOT PLOTTABLE - UNDERLYING DOCUMENTS NOT PROVIDED <<<



PREPARED FOR:



23 MAUCHLY #110,  
IRVINE, CA 92618

PREPARED BY:



P.O. BOX 81626 BAKERSFIELD, CA 93380  
PHONE: (661) 393-1217 FAX: (661) 393-1218

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PROFESSIONAL SEAL:

**REVISION**

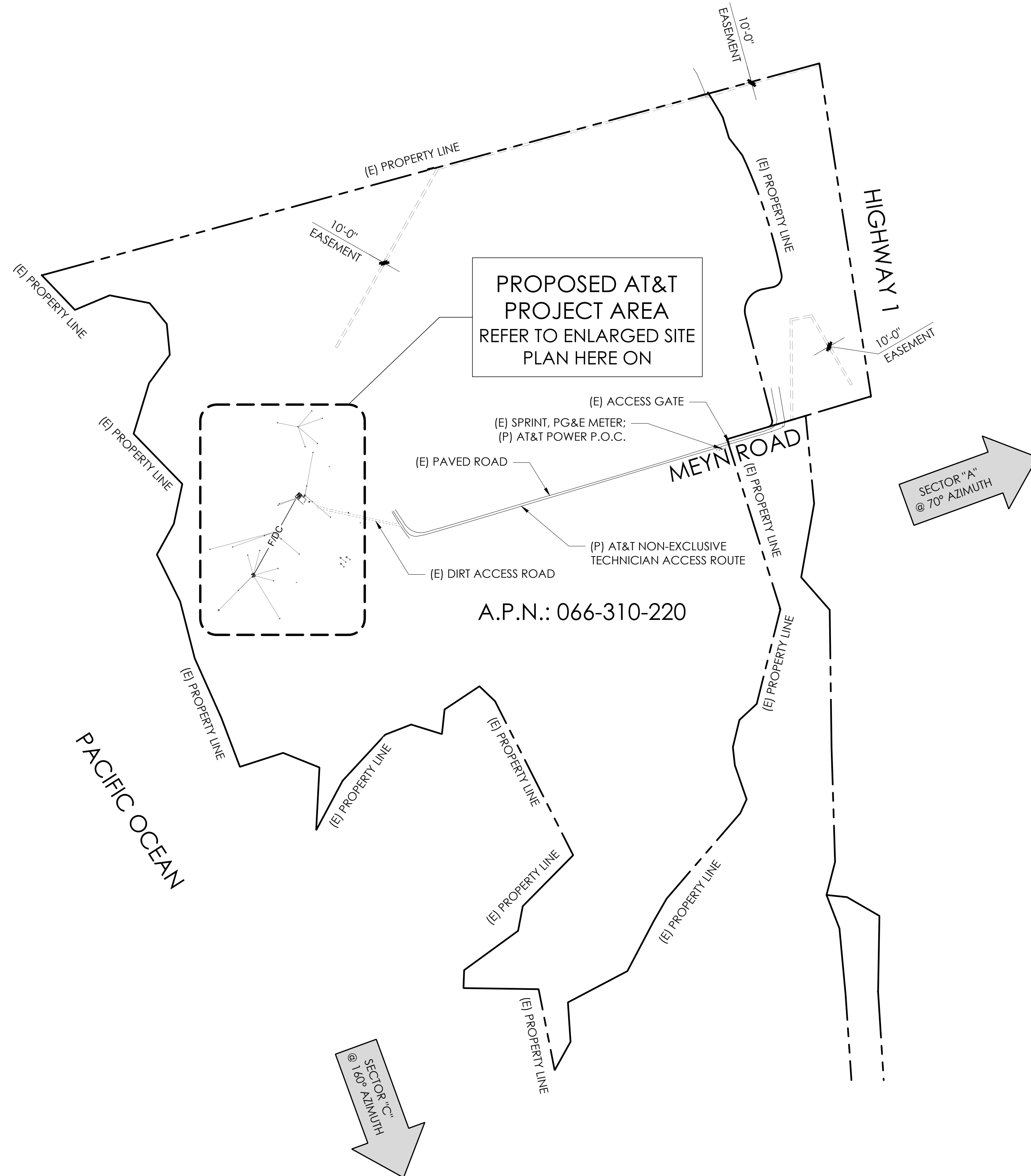
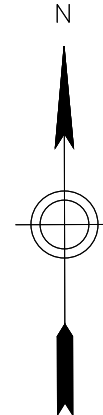
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SMITHCO JOB NO.: 56-1490

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CCL05855B  
SEAHAWK RANCH

22495 CABRILLO HWY S  
HALF MOON BAY, CA 94019  
SAN MATEO COUNTY



SECTOR "B"  
@ 340° AZIMUTH


SECTOR "A"  
@ 70° AZIMUTH

SECTOR "C"  
@ 100° AZIMUTH

PROPOSED AT&T  
PROJECT AREA  
REFER TO ENLARGED SITE  
PLAN HERE ON


A.P.N.: 066-310-220

APPLICANT:



5005 EXECUTIVE PARKWAY  
SAN RAMON, CA 94583

VENDOR:



**P. MARSHALL & ASSOCIATES**  
A CENTERLINE COMMUNICATIONS COMPANY  
1000 HOLCOMB WOODS PKWY, STE 210  
ROSWELL, GA 30076  
OFFICE: (678) 280-2325

SITE INFORMATION:

**CCL05855**

**SEAHAWK RANCH**

1 MEYN ROAD  
HALF MOON BAY, CA  
94019

FA#: 15974410  
PACE#: MRSFR097724  
PT#: 3701A16VYQ

DESIGN RECORD:

REV	DATE	DESCRIPTION	INT.	BH	SMR	SMR
A	11/06/23	ISSUED FOR 90%ZDS				
B	12/06/24	ISSUED FOR 95%ZDS				
C	01/31/24	ISSUED FOR 95%ZDS				

PROFESSIONAL STAMP:

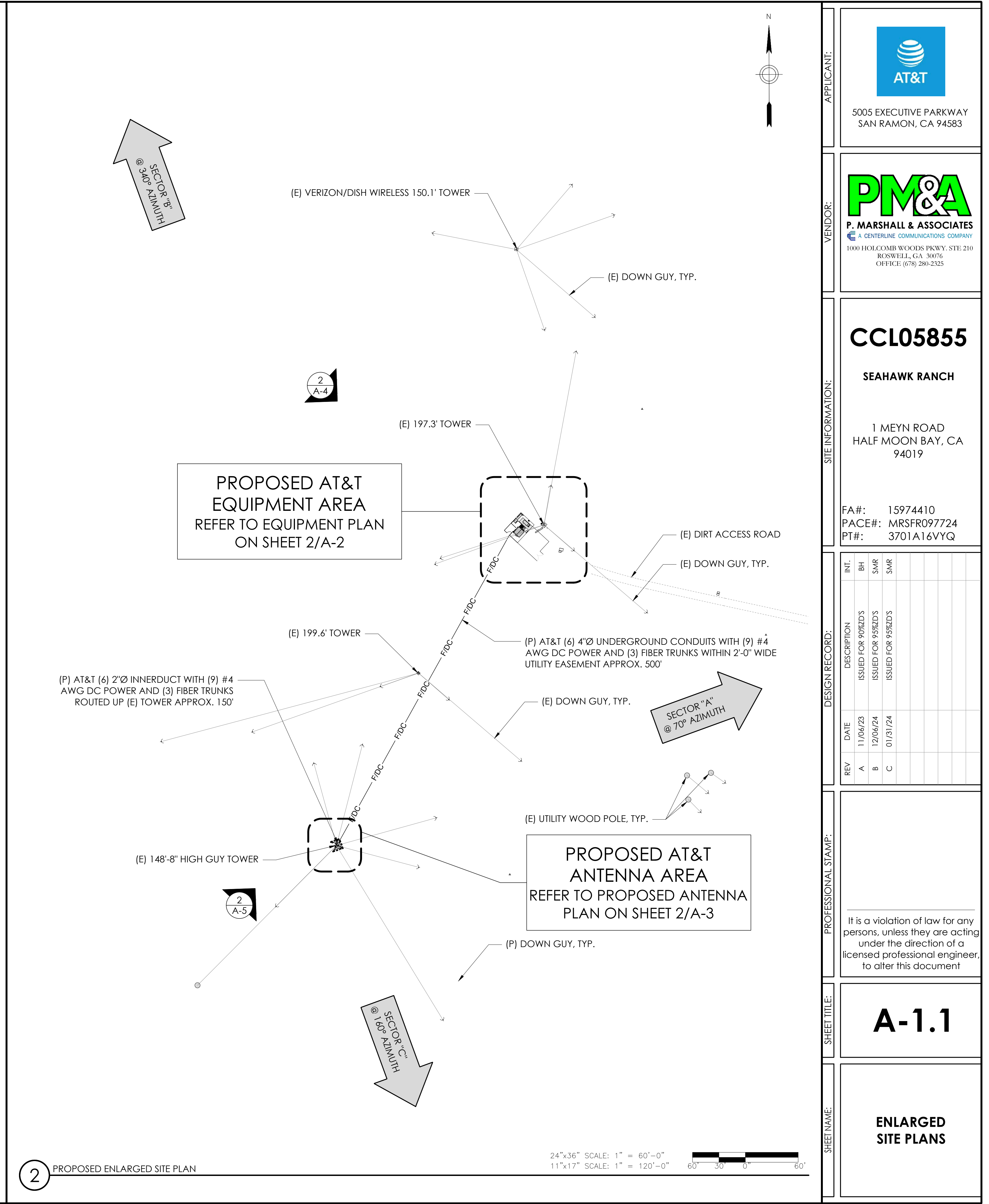
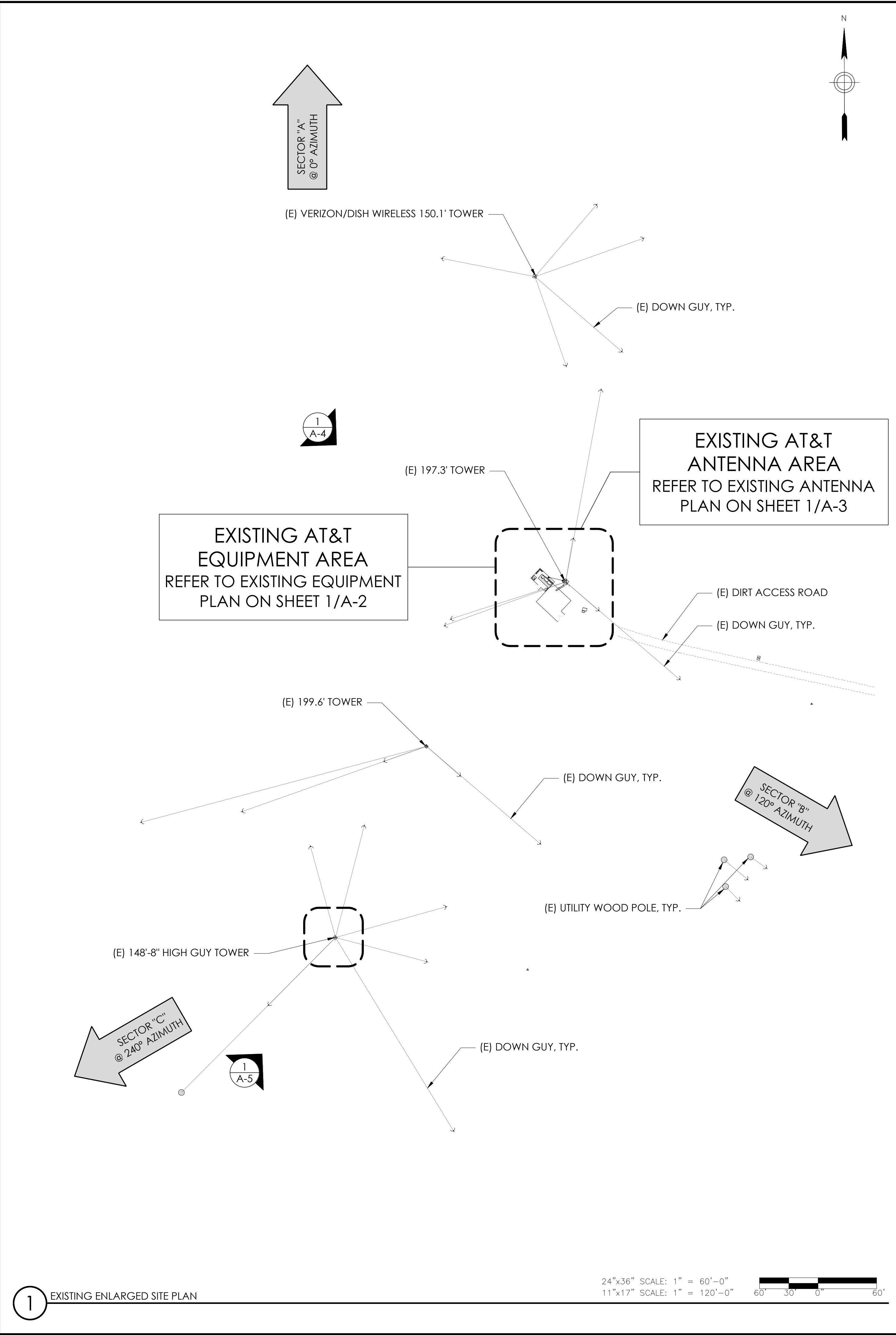
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SHEET TITLE:


**A-1**

SHEET NAME:

**OVERALL SITE PLAN**



APPLICANT:



5005 EXECUTIVE PARKWAY  
SAN RAMON, CA 94583

VENDOR:



P. MARSHALL & ASSOCIATES  
A CENTERLINE COMMUNICATIONS COMPANY  
1000 HOLCOMB WOODS PKWY. STE 210  
ROSWELL, GA 30076  
OFFICE: (678) 280-2325

SITE INFORMATION:

**CCL05855**

SEAHAWK RANCH

1 MEYN ROAD  
HALF MOON BAY, CA  
94019

FA#: 15974410  
PACE#: MRSFR097724  
PT#: 3701A16VYQ

DESIGN RECORD:

REV	DATE	DESCRIPTION	INT.	BH	SMR	SMR
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B	12/04/24	ISSUED FOR 95%ZDS				
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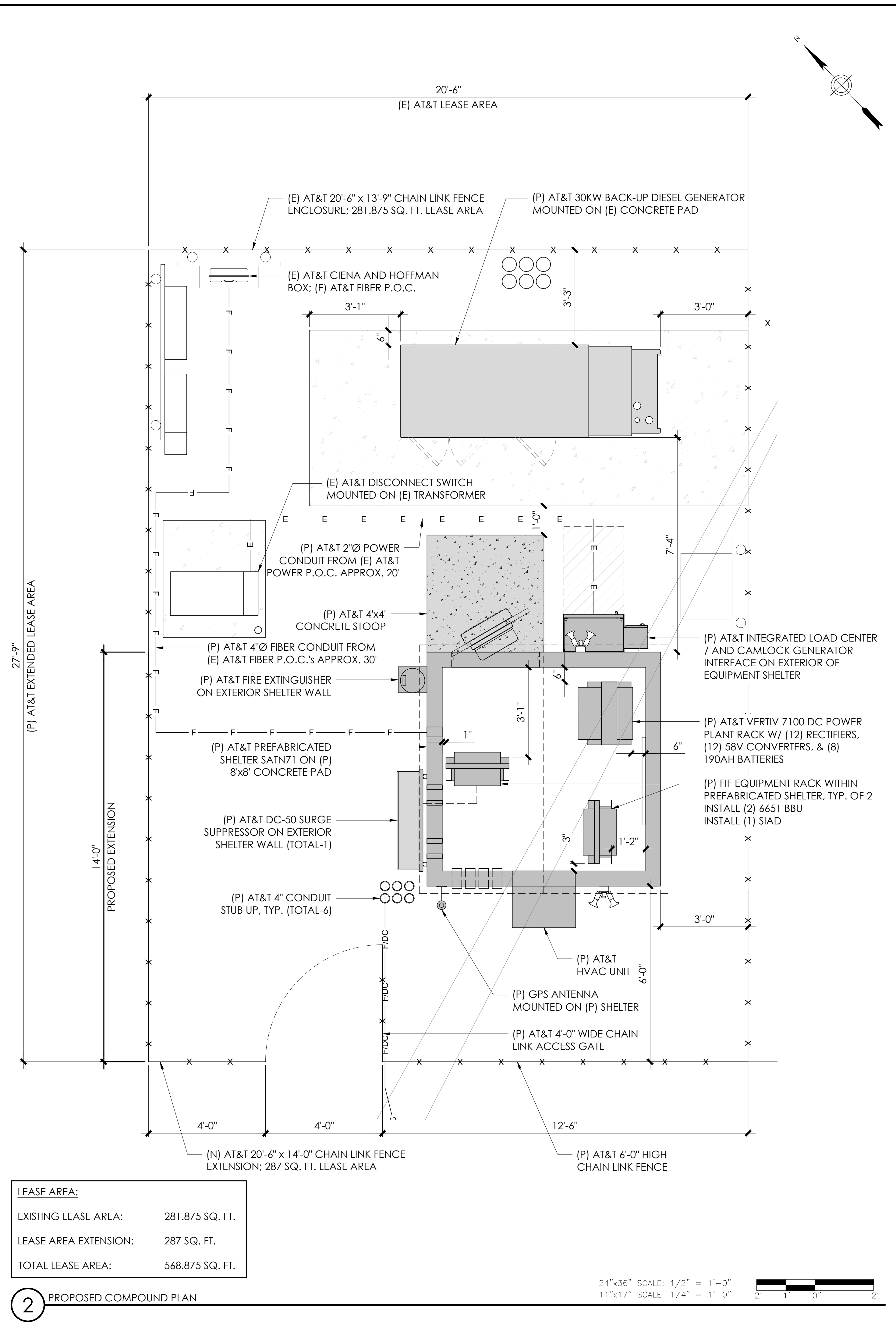
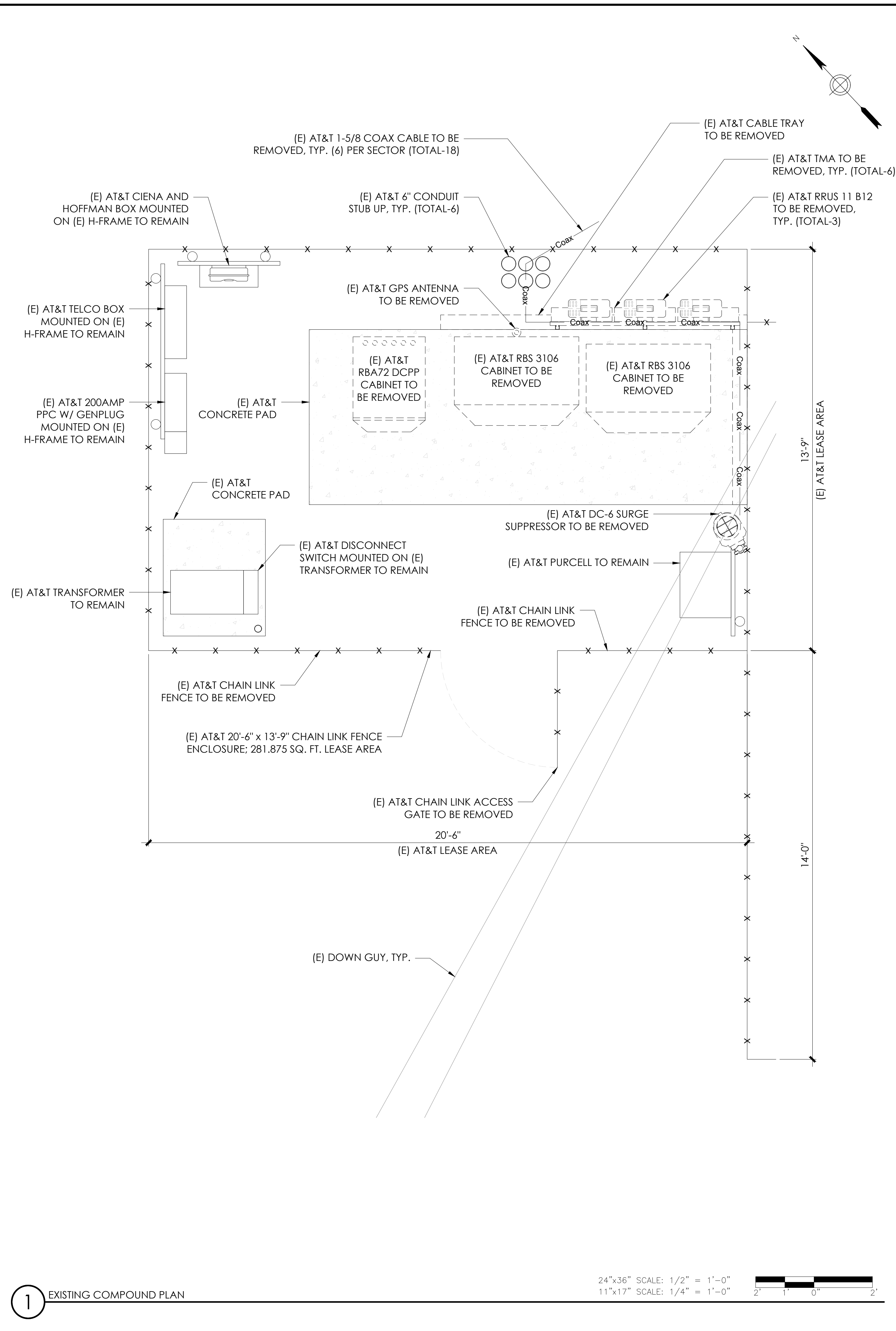
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SHEET TITLE:

**A-1.1**

SHEET NAME:

**ENLARGED SITE PLANS**




<b>LEASE AREA:</b>	
EXISTING LEASE AREA:	281.875 SQ. FT.
LEASE AREA EXTENSION:	287 SQ. FT.
TOTAL LEASE AREA:	568.875 SQ. FT.

**2** PROPOSED COMPOUND PLAN

**APPLICANT:**

  
 5005 EXECUTIVE PARKWAY  
 SAN RAMON, CA 94583

**VENDOR:**

  
**P. MARSHALL & ASSOCIATES**  
 A CENTERLINE COMMUNICATIONS COMPANY  
 1000 HOLCOMB WOODS PKWY, STE 210  
 ROSWELL, GA 30076  
 OFFICE: (678) 280-2325

**SITE INFORMATION:**

**CCL05855**

**SEAHAWK RANCH**

1 MEYN ROAD  
 HALF MOON BAY, CA  
 94019

FA#: 15974410  
 PACE#: MRSFR097724  
 PT#: 3701A16VYQ

**DESIGN RECORD:**

REV	DATE	DESCRIPTION	INT.	BH	SMR	SMR
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C	01/31/24	ISSUED FOR 95%ZDS				

**PROFESSIONAL STAMP:**

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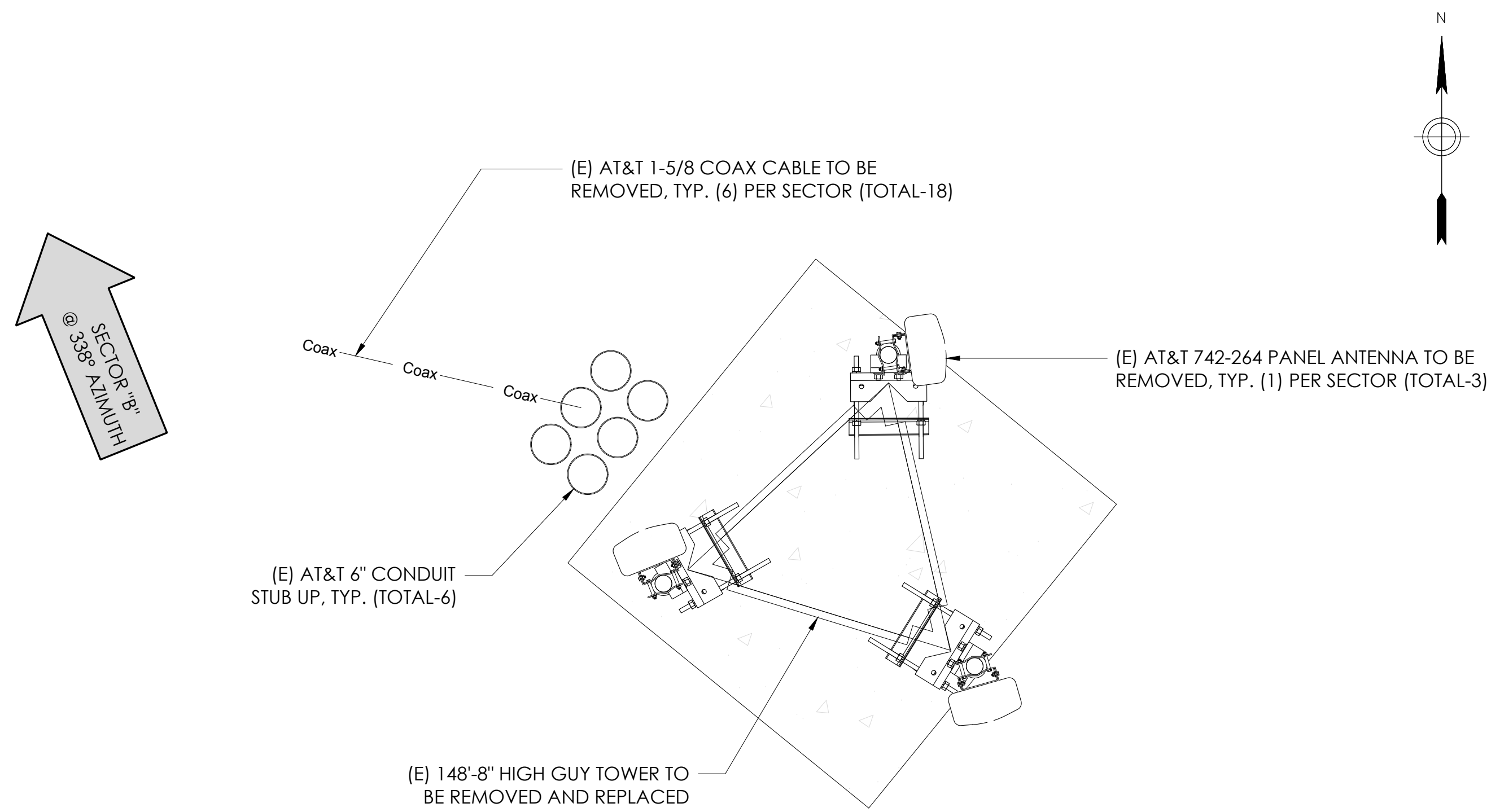
**SHEET TITLE:**

**A-2**

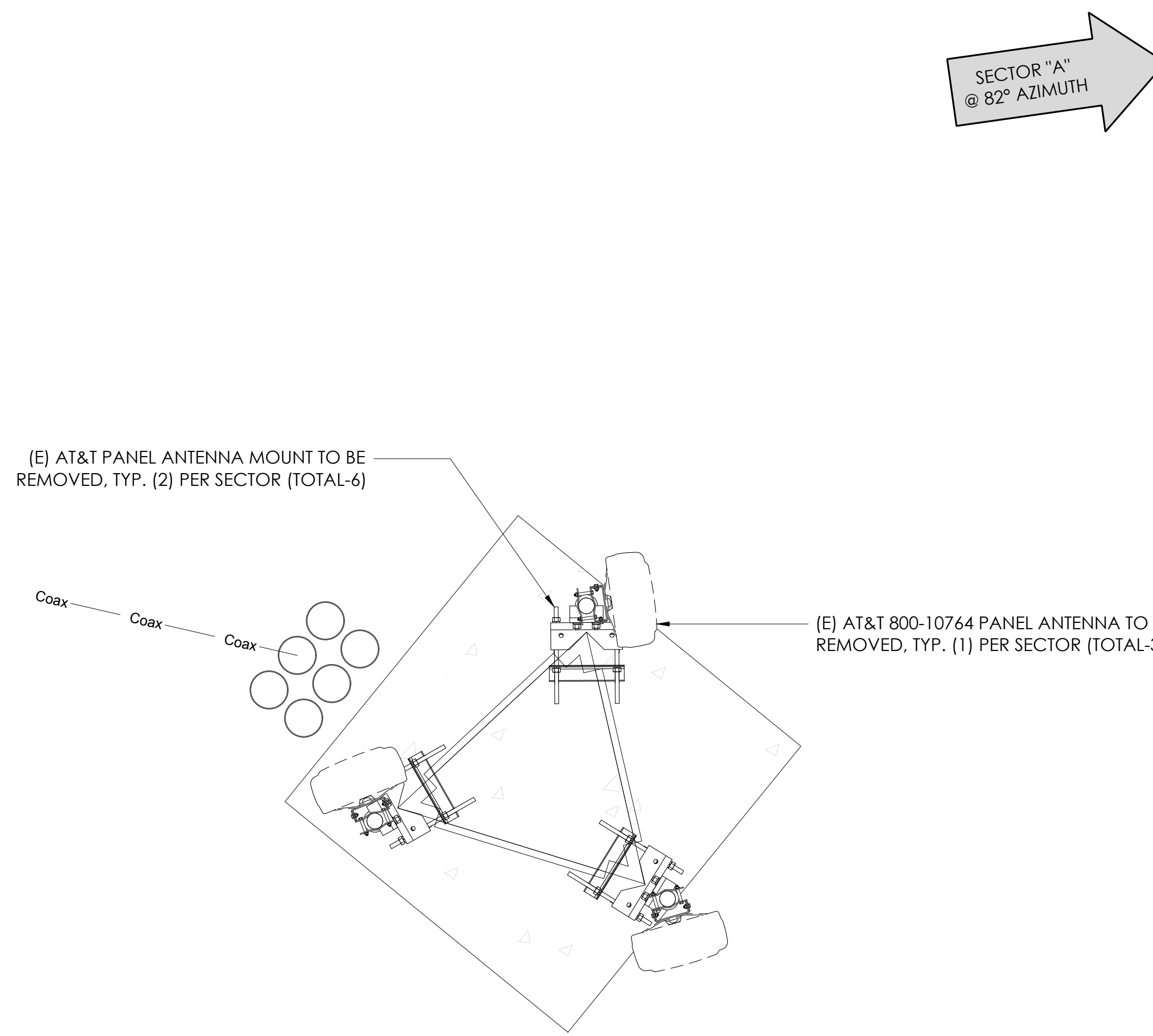
**SHEET NAME:**

**EQUIPMENT PLANS**





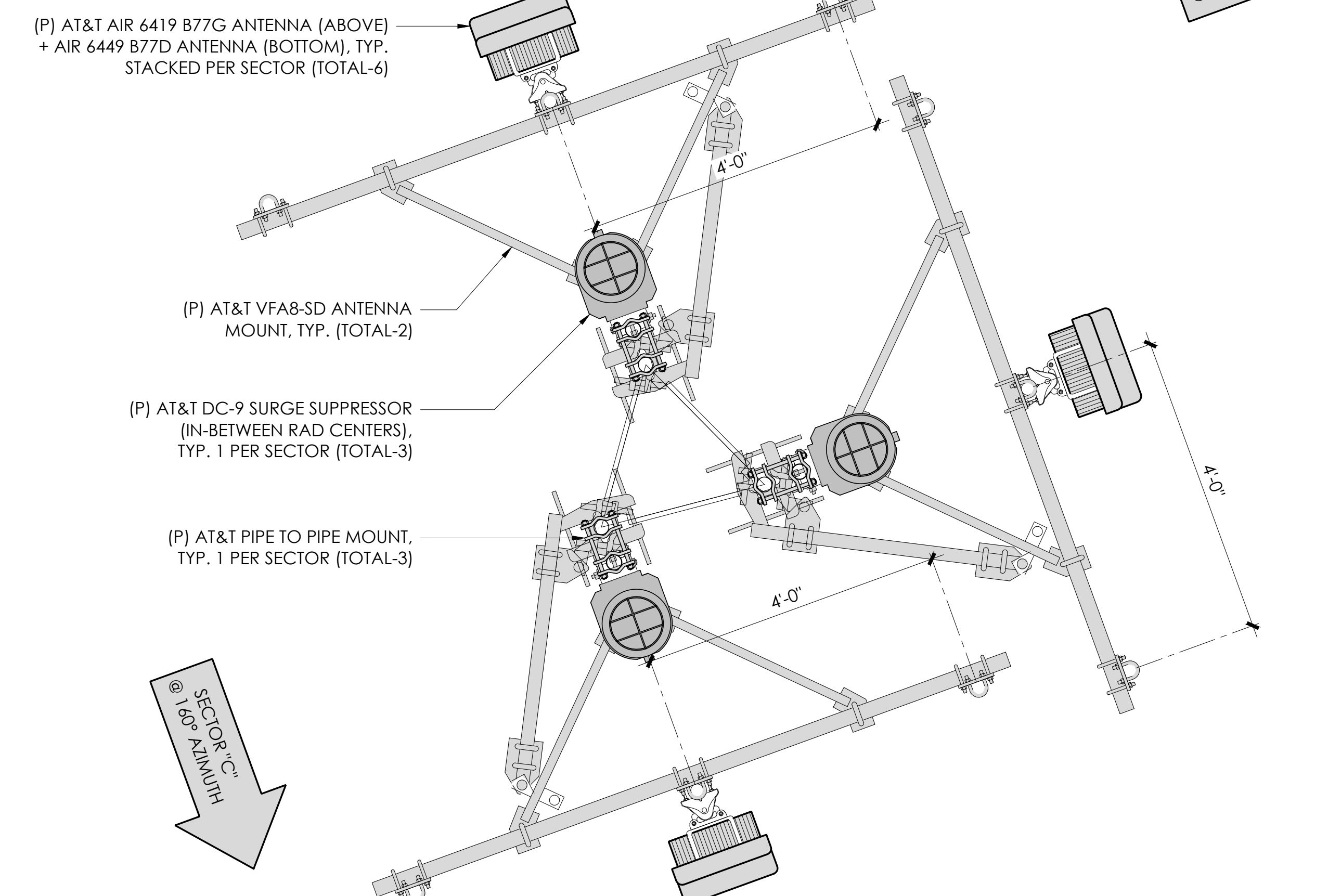
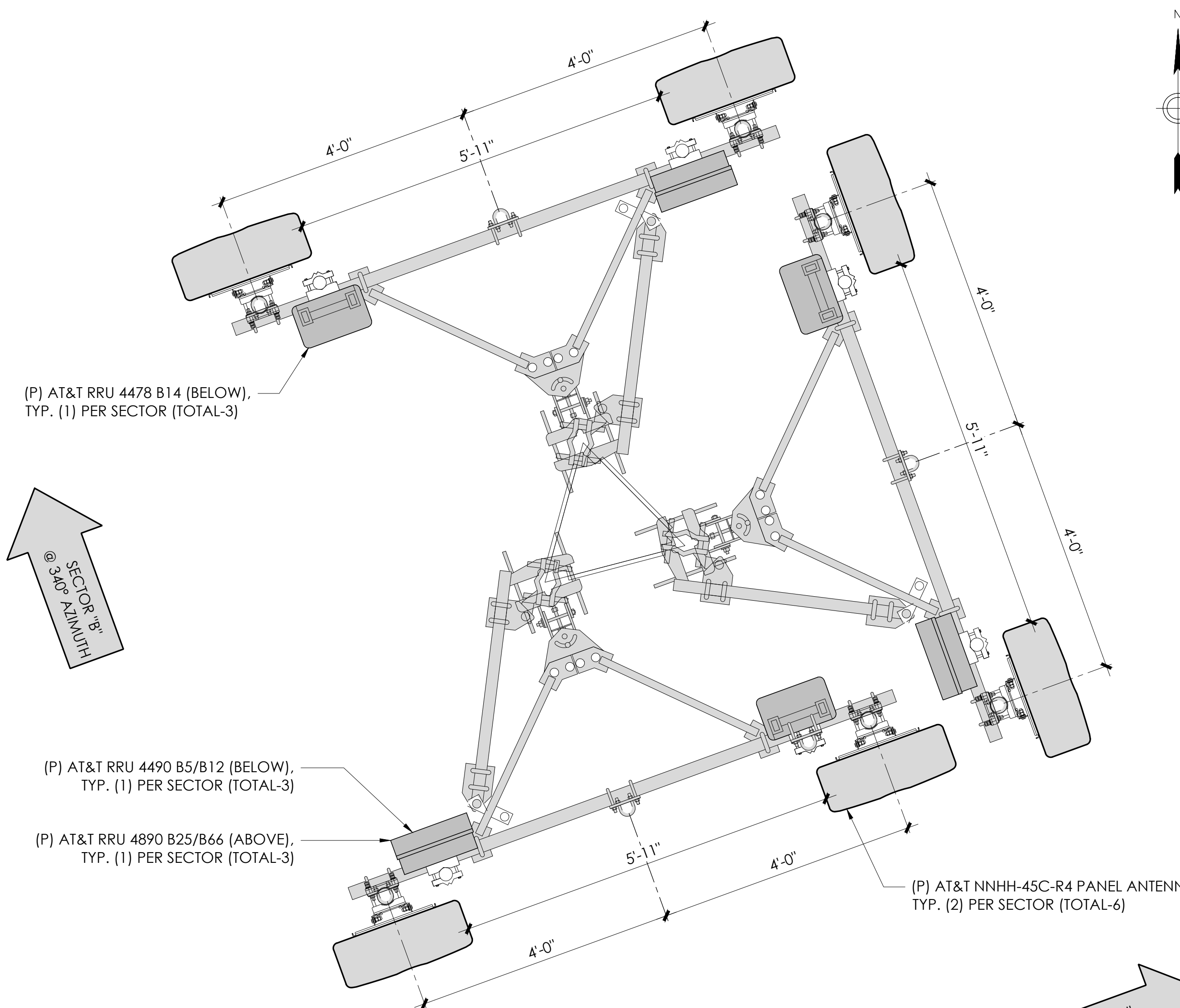
PANEL ANTENNA RAD CENTER 172'-0"



PANEL ANTENNA RAD CENTER 166'-0"

24"x36" SCALE: 3/4" = 1'-0"  
 11"x17" SCALE: 3/8" = 1'-0"  
 1" 6" 0"

1 EXISTING ANTENNA PLAN



24"x36" SCALE: 3/4" = 1'-0"  
 11"x17" SCALE: 3/8" = 1'-0"  
 1" 6" 0"

2 PROPOSED ANTENNA PLAN

APPLICANT: 5005 EXECUTIVE PARKWAY SAN RAMON, CA 94583

VENDOR: P. MARSHALL & ASSOCIATES A CENTERLINE COMMUNICATIONS COMPANY 1000 HOLCOMB WOODS PKWY, STE 210 ROSWELL, GA 30076 OFFICE: (678) 280-2325

SITE INFORMATION: **CCL05855** SEAHAWK RANCH 1 MEYN ROAD HALF MOON BAY, CA 94019

FA#: 15974410  
 PACE#: MRSFR097724  
 PT#: 3701A16VYQ

REV	DATE	DESCRIPTION	INT.	BH	SMR	SMR
A	11/06/23	ISSUED FOR 90%ZDS				
B	12/06/24	ISSUED FOR 95%ZDS				
C	01/31/24	ISSUED FOR 95%ZDS				

DESIGN RECORD:

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SHEET TITLE: **A-3**

SHEET NAME: **ANTENNA PLANS**

Position	Antenna			RRU		Additional Antenna Information		Line Information	
	Use	Type	Technology	Existing		Azimuth	RAD Center	Coax	Power/Fiber
	Swap/New	Existing	Existing	RRU Type	RRU Location	Existing	Existing	Existing	Existing
<b>ALPHA</b>									
1	TO BE REMOVED	Kathrein 742-264	UMTS 850 UMTS 1900	NONE	N/A	82	172		
2	TO BE REMOVED	Kathrein 800-10764	LTE 700 GSM 850	RRUS 11	BOTTOM	82	166	(6) 1-5/8"	
<b>BETA</b>									
1	TO BE REMOVED	Kathrein 742-264	UMTS 850 UMTS 1900	NONE	N/A	338	172		
2	TO BE REMOVED	Kathrein 800-10764	LTE 700 GSM 850	RRUS 11	BOTTOM	338	166	(6) 1-5/8"	
<b>GAMMA</b>									
1	TO BE REMOVED	Kathrein 742-264	UMTS 850 UMTS 1900	NONE	N/A	164	172		
2	TO BE REMOVED	Kathrein 800-10764	LTE 700 GSM 850	RRUS 11	BOTTOM	164	166	(6) 1-5/8"	

(0) 0.8" dia power trunk cables + (0) 0.4" dia fiber trunk cables

NOTES TO CONTRACTOR:  
 1. CONTRACTOR IS TO REFER TO AT&T'S MOST CURRENT RADIO FREQUENCY DATA SHEET (RFDS) PRIOR TO CONSTRUCTION.  
 2. CABLE LENGTHS WERE DETERMINED BASED ON VISUAL INSPECTION DURING SITE-WALK. CONTRACTOR TO VERIFY ACTUAL LENGTH DURING PRE-CONSTRUCTION WALK.  
 3. CONTRACTOR TO VERIFY PORTS HAVE SUFFICIENT ROOM.

NOTE:  
 (E) ANTENNA AZIMUTHS ARE ESTIMATED AND ARE TO BE VERIFIED BY RF.

Position	Antenna		RRUS		Additional Antenna Location		Line Information	
	Type	Technology	Type	Location	Azimuth	Rad Center	Coax Cables Final	Power/Fiber Final
<b>ALPHA</b>								
1	NNHH-45C-R4 COMMSCOPE	LTE 700 LTE 1900 5G 1900 LTE AWS	(1) RRUS 4490 B5/B12 (1) RRUS 4890 B25/B66	TOP TOP	70	140'-0"	N/A	(3) #4 AWG DC POWER TRUNKS (1) FIBER TRUNK
2	NNHH-45C-R4 COMMSCOPE	LTE FNET	(1) RRUS 4478 B14	TOP	70	140'-0"		
<b>BETA</b>								
1	NNHH-45C-R4 COMMSCOPE	LTE 700 LTE 1900 5G 1900 LTE AWS	(1) RRUS 4490 B5/B12 (1) RRUS 4890 B25/B66	TOP TOP	340	140'-0"	N/A	(3) #4 AWG DC POWER TRUNKS (1) FIBER TRUNK
2	NNHH-45C-R4 COMMSCOPE	LTE FNET	(1) RRUS 4478 B14	TOP	340	140'-0"		
<b>GAMMA</b>								
1	NNHH-45C-R4 COMMSCOPE	LTE 700 LTE 1900 5G 1900 LTE AWS	(1) RRUS 4490 B5/B12 (1) RRUS 4890 B25/B66	TOP TOP	160	140'-0"	N/A	(3) #4 AWG DC POWER TRUNKS (1) FIBER TRUNK
2	NNHH-45C-R4 COMMSCOPE	LTE FNET	(1) RRUS 4478 B14	TOP	160	140'-0"		

Position	Antenna		RRUS		Additional Antenna Location		Line Information	
	Type	Technology	Type	Location	Azimuth	Rad Center	Coax Cables Final	Power/Fiber Final
<b>ALPHA</b>								
3	AIR6419 B77G ERICSSON (ABOVE) + AIR6449 B77D ERICSSON (BELOW)	5G DoD 5G CBAND	N/A	N/A	70	132'-0"	N/A	N/A
<b>BETA</b>								
3	AIR6419 B77G ERICSSON (ABOVE) + AIR6449 B77D ERICSSON (BELOW)	5G DoD 5G CBAND	N/A	N/A	340	132'-0"	N/A	N/A
<b>GAMMA</b>								
3	AIR6419 B77G ERICSSON (ABOVE) + AIR6449 B77D ERICSSON (BELOW)	5G DoD 5G CBAND	N/A	N/A	160	132'-0"	N/A	N/A

APPLICANT:  
  
 5005 EXECUTIVE PARKWAY  
 SAN RAMON, CA 94583

VENDOR:  
  
**P. MARSHALL & ASSOCIATES**  
 A CENTERLINE COMMUNICATIONS COMPANY  
 1000 HOLCOMB WOODS PKWY, STE 210  
 ROSWELL, GA 30076  
 OFFICE: (678) 280-2325

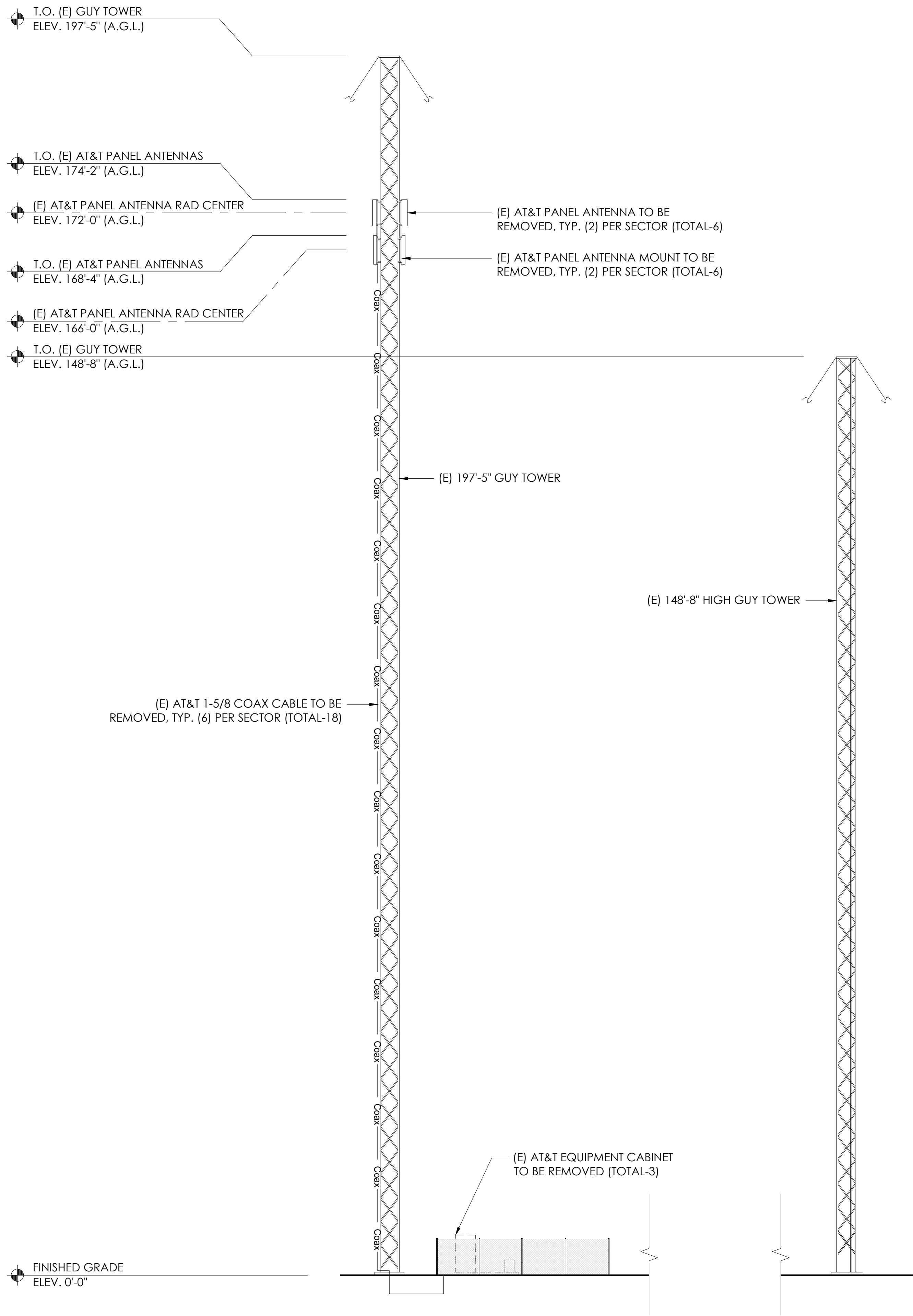
SITE INFORMATION:  
**CCL05855**  
**SEAHAWK RANCH**  
 1 MEYN ROAD  
 HALF MOON BAY, CA  
 94019  
 FA#: 15974410  
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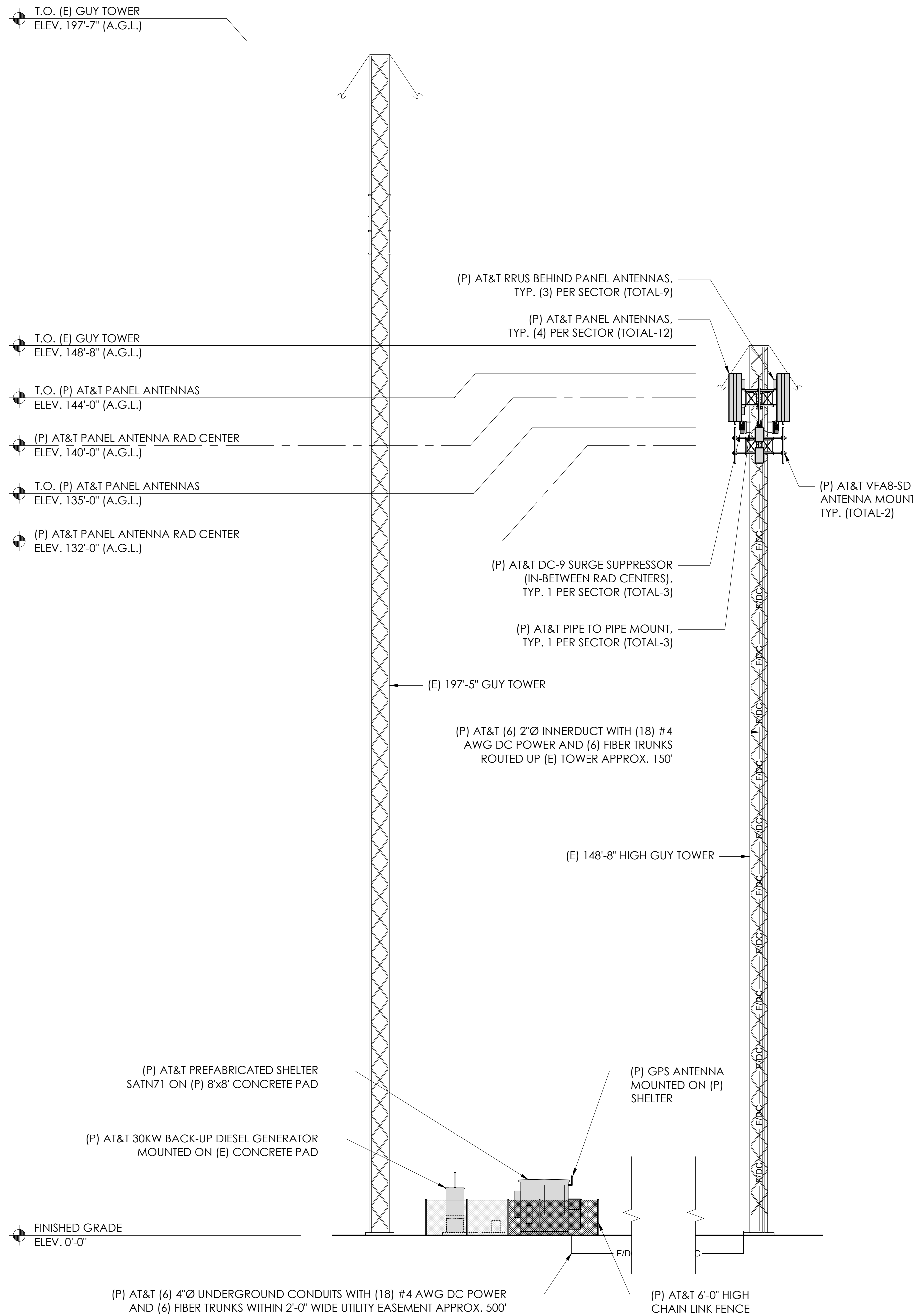
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SHEET TITLE:  
**A-3.1**  
 SHEET NAME:  
**RF SCHEDULES**



1 EXISTING NORTHWEST ELEVATION


24"x36" SCALE: 3/32" = 1'-0"  
 11"x17" SCALE: 3/64" = 1'-0"



2 PROPOSED NORTHWEST ELEVATION


24"x36" SCALE: 3/32" = 1'-0"  
 11"x17" SCALE: 3/64" = 1'-0"

**APPLICANT:**



5005 EXECUTIVE PARKWAY  
 SAN RAMON, CA 94583

**VENDOR:**



**P. MARSHALL & ASSOCIATES**  
 A CENTERLINE COMMUNICATIONS COMPANY  
 1000 HOLCOMB WOODS PKWY, STE 210  
 ROSWELL, GA 30076  
 OFFICE: (678) 280-2325

**SITE INFORMATION:**

**CCL05855**

**SEAHAWK RANCH**

1 MEYN ROAD  
 HALF MOON BAY, CA  
 94019

FA#: 15974410  
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**PROFESSIONAL STAMP:**

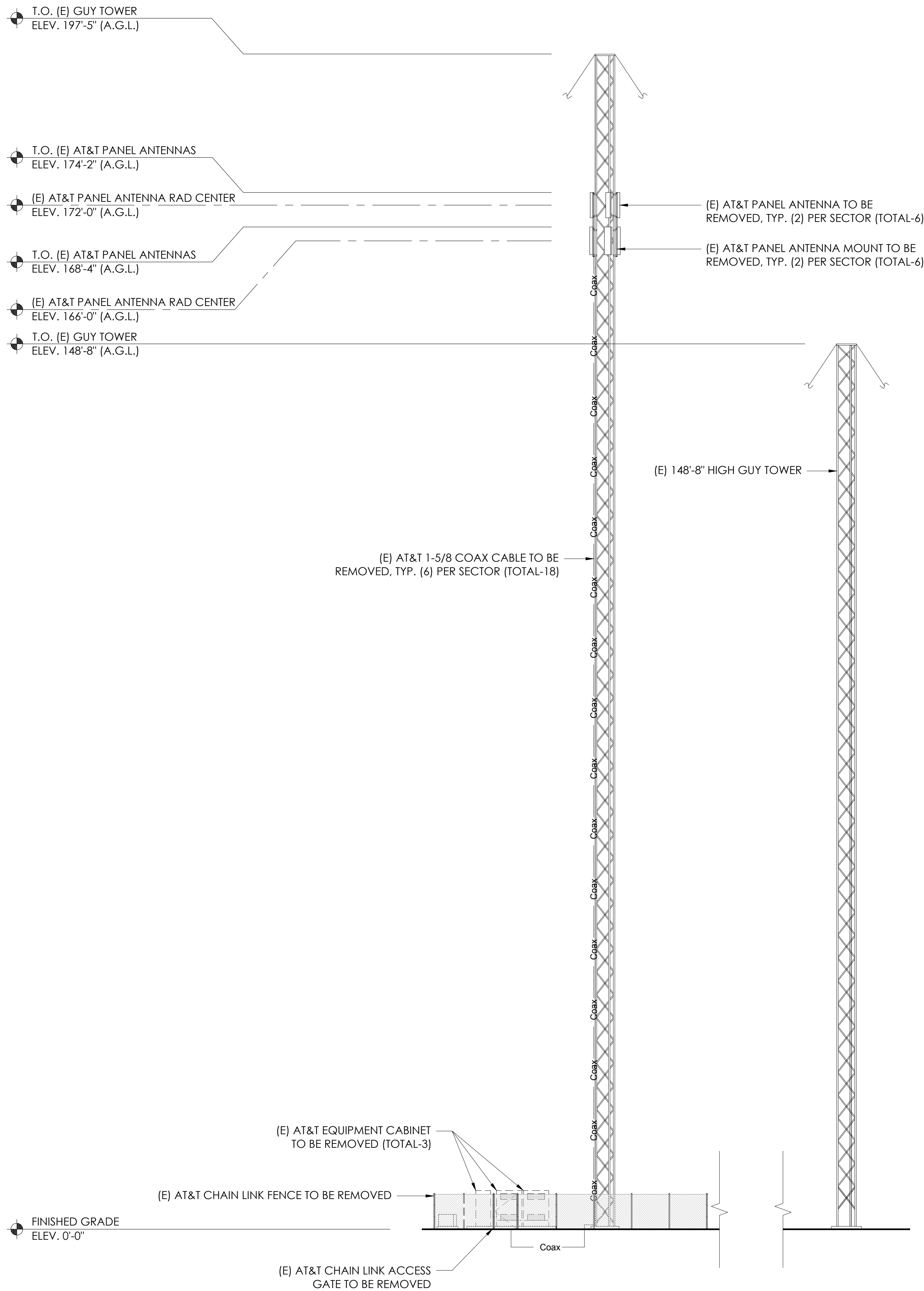
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**SHEET TITLE:**

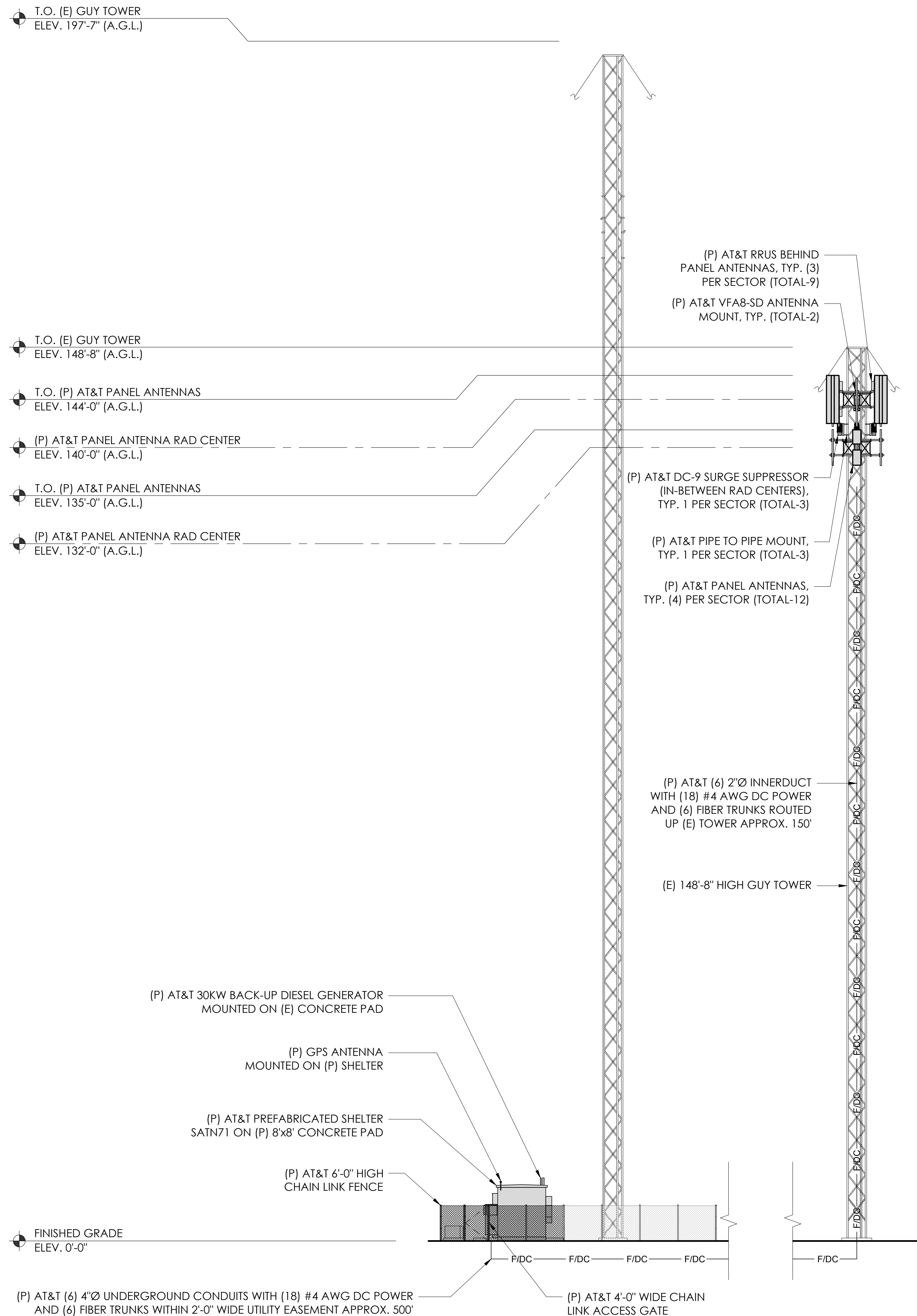
**A-4**

**SHEET NAME:**

**NORTHWEST ELEVATIONS**



24"x36" SCALE: 3/32" = 1'-0"  
 11"x17" SCALE: 3/64" = 1'-0"  
 8' 4' 0"



24"x36" SCALE: 3/32" = 1'-0"  
 11"x17" SCALE: 3/64" = 1'-0"  
 8' 4' 0"

**APPLICANT:**  
  
 5005 EXECUTIVE PARKWAY  
 SAN RAMON, CA 94583

**VENDOR:**  
  
**P. MARSHALL & ASSOCIATES**  
 A CENTERLINE COMMUNICATIONS COMPANY  
 1000 HOLCOMB WOODS PKWY, STE 210  
 ROSWELL, GA 30076  
 OFFICE: (678) 280-2325

**SITE INFORMATION:**  
**CCL05855**  
**SEAHAWK RANCH**  
 1 MEYN ROAD  
 HALF MOON BAY, CA  
 94019  
 FA#: 15974410  
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**SHEET TITLE:**  
**A-5**

**SHEET NAME:**  
**SOUTHWEST ELEVATIONS**

**ELECTRICAL INSTALLATION METHODS:**

- This installation shall comply with the currently adopted edition of the National Electrical Code and with utility company and local code requirements.
- Install sufficient lengths of LFMC including all conduit fittings (nuts, reducing bushings, elbows, couplings, etc) necessary for connection from IMC or PVC conduit to the interior of the BTS cabinet.
- Power, control and equipment ground wiring in tubing or conduit shall be single conductor (#14 AWG and larger), 600V, oil resistant THHN or THWN-2, Class B stranded copper cable rated for 90°C (wet and dry) operation; listed or labeled for the location and raceway system used.
- Cut, coil and tape a 3 foot pigtail from end of LFMC for terminating by BTS equipment manufacturer.
- Supplemental equipment ground wiring located indoors shall be single conductor (#6 AWG and larger), 600V, oil resistant THHN or THWN-2 green insulation, Class B stranded copper cable rated for 90°C (wet and dry) operation, listed or labeled for the location and raceway system used.
- Supplemental equipment ground wiring located outdoors or below grade shall be single conductor #2 AWG solid, tinned, copper cable.
- Power and control wiring, not in tubing or conduit, shall be multi-conductor, Type TC. Cable (#14 AWG and larger), 600V, oil resistant THHN or THWN-2, Class B, Stranded copper cable rated for 90°C (Wet or Dry) operation, with outer jacket listed or labeled for the location used.
- Cables shall not be routed through ladder-style cable tray runs.
- Raceway and cable tray shall be listed or labeled for electrical use in accordance with NEMA, UL, ANSI/IEEE and NEC.
- New raceway or cable tray shall match the existing installation where possible.
- All power and grounding connections shall be crimp style, compression, wire lugs and wirenuts by Thomas and Betts (or equal). Lugs and wirenuts shall be rated for operation at no less than 75°C.
- Each end of every power, grounding and T1 conductor and cable shall be labeled with color coded insulation or electrical tape. The identification method shall conform with NEC & OSHA and match existing installation requirements.
- All electrical components shall be clearly labeled with engraved laminated plastic labels. All equipment shall be labeled with their voltage rating, phase configuration, wire configuration, power or ampacity rating and branch circuit ID numbers (panelboard and circuit identification).
- All tie wraps shall be cut flush with approved cutting tool to remove sharp edges.
- Rigid nonmetallic conduit (PVC Schedule 40 or PVC Schedule 80) shall be used underground, direct buried in areas of occasional light vehicle traffic or encased in reinforced concrete in areas of heavy vehicle traffic.
- All conduit run above ground or exposed shall be LFMC, IMC or Rigid Steel.
- Electrical metallic tubing (EMT) shall be used for concealed indoor locations.
- Liquid tight flexible metallic conduit shall be used indoors and outdoors where vibration occurs or flexibility is needed.
- Conduit and tubing fittings shall be threaded or compression type and approved for the location used. Setscrew fittings are not acceptable.
- Cabinets, boxes and wireways shall be listed or labeled for electrical use in accordance with NEMA, UL, ANSI/IEEE and NEC.
- Cabinets, boxes and wireways shall match the existing installation where possible.
- Provide necessary tagging on the breakers, cables and distribution panels in accordance with applicable codes and standards to safeguard life and property.
- The subcontractor shall review and inspect the existing facility grounding system and lightning protection system (as designed and installed) for strict compliance with the NEC. The site specific lightning protection code and general compliance with Telcordia and TIA grounding standards. The subcontractor shall report any violations or adverse findings to the contractor for resolution.
- All electrode systems (including telecommunication, radio, lightning protection and AC power GES's) shall be bonded together at or below grade by two or more

- Perform IEEE fall-of-potential resistance to earth testing (per IEEE 1100 and 81) for new ground electrode systems. The subcontractor shall furnish and install supplemental ground electrodes as needed to achieve a test result of 5 ohms or less.
- Metal raceway shall not be used as the NEC required equipment ground conductor. Stranded copper conductors with green insulation sized in accordance with the NEC shall be furnished and installed with the power circuits to BTS equipment.
- Each indoor BTS cabinet frame shall be directly connected to the master ground bar with supplemental equipment ground wires #6 or larger.
- Exothermic welds shall be used for all grounding connections below grade.
- Approved antioxidant coatings (i.e. conductive gel or paste) shall be used on all compression and bolted ground connections.
- ICE bridge bonding conductors shall be exothermically bonded or bolted to the bridge and the tower ground bar.
- Surfaces to be connected to ground conductors shall be cleaned to a bright surface at all connections.
- Exposed ground connections shall be made with compression connectors which are then bolted to equipment using stainless steel hardware. Installation torque shall be per manufacturer's requirements.
- DC power cables shall be Cobra COP-FLEX 2000, Flexible Class B or approved equal.

**ELECTRICAL NOTES**

**GENERAL REQUIREMENTS:**

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL ELECTRICAL CODE AND ALL STATE AND LOCAL CODES. NOTHING IN THESE PLANS OR SPECIFICATIONS SHALL BE CONSTRUED AS TO PERMIT WORK NOT CONFORMING TO THE MOST STRINGENT OF THESE CODES. SHOULD CHANGES BE NECESSARY IN THE DRAWINGS OR SPECIFICATIONS TO MAKE THE WORK COMPLY WITH THESE REQUIREMENTS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING AND CEASE WORK ON PARTS OF THE CONTRACT WHICH ARE AFFECTED.
- THE CONTRACTOR SHALL MAKE A SITE VISIT PRIOR TO BIDDING AND CONSTRUCTION TO VERIFY ALL EXISTING CONDITIONS AND SHALL NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES. THE CONTRACTOR ASSUMES ALL LIABILITY FOR FAILURE TO COMPLY WITH THIS PROVISION.
- THE EXTENT OF THE WORK IS INDICATED BY THE DRAWINGS, SCHEDULES, AND SPECIFICATIONS AND IS SUBJECT TO THE TERMS AND CONDITIONS OF THE CONTRACT. THE WORK SHALL CONSIST OF FURNISHING ALL LABOR, EQUIPMENT, MATERIALS, AND SUPPLIES NECESSARY FOR A COMPLETE AND OPERATIONAL ELECTRICAL SYSTEM. THE WORK SHALL ALSO INCLUDE THE COMPLETION OF ALL ELECTRICAL WORK NOT MENTIONED OR SHOWN WHICH IS NECESSARY FOR SUCCESSFUL OPERATION OF ALL SYSTEMS.
- THE CONTRACTOR SHALL PREPARE A BID FOR A COMPLETE AND OPERATIONAL SYSTEM, WHICH INCLUDES THE COST FOR MATERIAL AND LABOR.
- WORKMANSHIP AND NEAT APPEARANCE SHALL BE AS IMPORTANT AS THE OPERATION. DEFECTIVE OR DAMAGED MATERIALS SHALL BE REPLACED OR REPAIRED PRIOR TO FINAL ACCEPTANCE IN A MANNER ACCEPTABLE TO OWNER AND ENGINEER.
- COMPLETE THE ENTIRE INSTALLATION AS SOON AS THE PROGRESS OF THE WORK WILL PERMIT. ARRANGE ANY OUTAGE OF SERVICE WITH THE OWNER AND BUILDING MANAGER IN ADVANCE. MINIMIZE DOWNTIME ON THE BUILDING ELECTRICAL SYSTEM.
- THE ENTIRE ELECTRICAL SYSTEM INSTALLED UNDER THIS CONTRACT SHALL BE DELIVERED IN PROPER WORKING ORDER. REPLACE, WITHOUT ADDITIONAL COST TO THE OWNER, ANY DEFECTIVE MATERIAL AND EQUIPMENT WITHIN ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
- ANY ERROR, OMISSION OR DESIGN DISCREPANCY ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION OR CORRECTION BEFORE CONSTRUCTION.
- "PROVIDE" INDICATES THAT ALL ITEMS ARE TO BE FURNISHED, INSTALLED AND CONNECTED IN PLACE.
- CONTRACTOR SHALL SECURE ALL NECESSARY BUILDING PERMITS AND PAY ALL REQUIRED FEES

**EQUIPMENT LOCATION:**

- THE DRAWINGS INDICATE DIAGRAMMATICALLY THE DESIRED LOCATIONS OR ARRANGEMENTS OF CONDUIT RUNS, OUTLETS, EQUIPMENT, ETC., AND ARE TO BE FOLLOWED AS CLOSELY AS POSSIBLE. PROPER JUDGEMENT MUST BE EXERCISED IN EXECUTING THE WORK SO AS TO SECURE THE BEST POSSIBLE INSTALLATION IN THE AVAILABLE SPACE LIMITATIONS OR INTERFERENCE OF STRUCTURE CONDITIONS ENCOUNTERED.
- IN THE EVENT CHANGES IN THE INDICATED LOCATIONS OR ARRANGEMENTS ARE NECESSARY, DUE TO FIELD CONDITIONS IN THE BUILDING CONSTRUCTION OR REARRANGEMENT OF FURNISHINGS OR EQUIPMENT, SUCH CHANGES SHALL BE MADE WITHOUT COST, PROVIDING THE CHANGE IS ORDERED BEFORE THE CONDUIT RUNS, ETC., AND WORK DIRECTLY CONNECTED TO THE SAME IS INSTALLED AND NO EXTRA MATERIALS ARE REQUIRED.
- LIGHTING FIXTURES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ONLY. COORDINATE THE FIXTURE LOCATION WITH MECHANICAL EQUIPMENT TO AVOID INTERFERENCE.
- COORDINATE THE WORK OF THIS SECTION WITH THAT OF ALL OTHER TRADES, WHERE CONFLICTS OCCUR, CONSULT WITH THE RESPECTIVE CONTRACTOR AND COME TO AGREEMENT AS TO CHANGES NECESSARY, OBTAIN WRITTEN ACCEPTANCE FROM ENGINEER FOR THE PROPOSED CHANGES BEFORE PROCEEDING.

**SHOP DRAWINGS:**

- N/A UNLESS NOTED OTHERWISE.

**SUBSTITUTIONS:**

- NO SUBSTITUTIONS ARE ALLOWED

**TESTS:**

- BEFORE FINAL ACCEPTANCE OF WORK, THE CONTRACTOR SHALL INSURE THAT ALL EQUIPMENT, SYSTEMS, FIXTURES, ETC., ARE WORKING SATISFACTORILY AND TO THE INTENT OF THE DRAWINGS.

**PERMITS:**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING OUT AND PAYING FOR ALL REQUIRED PERMITS, INSPECTION AND EXAMINATION WITHOUT ADDITIONAL EXPENSE TO THE OWNER.

**GROUNDING:**

- THE CONTRACTOR SHALL PROVIDE A COMPLETE, AND APPROVED GROUNDING SYSTEM INCLUDING ELECTRODES, ELECTRODE CONDUCTOR, BONDING CONDUCTORS, AND EQUIPMENT CONDUCTORS AS REQUIRED BY ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE.
- CONDUITS CONNECTED TO EQUIPMENT AND DEVICES SHALL BE METALLICALLY JOINED TOGETHER TO PROVIDE EFFECTIVE ELECTRICAL CONTINUITY.
- FEEDERS AND BRANCH CIRCUIT WIRING INSTALLED IN A NONMETALLIC CONDUIT SHALL INCLUDE A CODE SIZED GROUNDING CONDUCTOR HAVING GREEN INSULATION. THE GROUND CONDUCTOR SHALL BE PROPERLY CONNECTED AT BOTH ENDS TO MAINTAIN ELECTRICAL CONTINUITY.
- REFER TO GROUND BUS DETAILS, PROVIDE NEW GROUND SYSTEM COMPLETE WITH CONDUCTORS, GROUND ROD AND DESCRIBED TERMINATIONS.
- ALL GROUNDING CONDUCTORS SHALL BE SOLID TINNED COPPER AND ANNEALED #2 UNLESS NOTED OTHERWISE.
- ALL NON-DIRECT BURIED TELEPHONE EQUIPMENT GROUND CONDUCTORS SHALL BE #2 STRANDED THHN (GREEN) INSULATION.
- ALL GROUND CONNECTIONS SHALL BE MADE WITH "HYGROUND" COMPRESSION SYSTEM BURNDY CONNECTORS EXCEPT WHERE NOTED OTHERWISE.
- PAINT AT ALL GROUND CONNECTIONS SHALL BE REMOVED.
- GROUNDING SYSTEM RESISTANCE SHALL NOT EXCEED 25 OHMS. IF THE RESISTANCE VALUE IS EXCEEDED, NOTIFY THE OWNER FOR FUTURE INSTRUCTION ON METHODS FOR REDUCING THE RESISTANCE VALUE. SUBMIT TEST REPORTS AND FURNISH TO SMART SMR ONE COMPLETE SET OF PRINTS SHOWING "INSTALLED WORK".

**UTILITY SERVICE:**

- TELEPHONE AND ELECTRICAL METERING FACILITIES SHALL CONFORM TO THE REQUIREMENTS OF THE SERVING UTILITY COMPANIES. CONTRACTOR SHALL VERIFY SERVICE LOCATIONS AND REQUIREMENTS. SERVICE INFORMATION WILL BE FURNISHED BY THE SERVING UTILITIES.
- CONFORM TO ALL REQUIREMENTS OF THE SERVING UTILITY COMPANIES.

**PRODUCTS:**

- ALL MATERIALS SHALL BE NEW, CONFORMING WITH NEC, ANSI, NEMA, AND THEY SHALL BE U.L. LISTED AND LABELED.
- CONDUIT:
  - RIGID CONDUIT SHALL BE U.L. LABEL GALVANIZED ZINC COATED WITH ZINC INTERIOR AND SHALL BE USED WHEN INSTALLED IN OR UNDER CONCRETE SLABS, IN CONTACT WITH THE EARTH, UNDER PUBLIC ROADWAYS, IN MASONRY WALLS OR EXPOSED ON BUILDING EXTERIOR, RIGID CONDUIT IN CONTACT WITH EARTH SHALL BE 1/2 LAPPED WRAPPED WITH HUNTS WRAP PROCESS NO. 3.
  - ELECTRICAL METALLIC TUBING SHALL U.L. LABEL, FITTINGS SHALL BE COMPRESSION TYPE. EMT SHALL BE USED ONLY FOR INTERIOR RUNS.
  - FLEXIBLE METALLIC CONDUIT SHALL HAVE U.L. LISTED LABEL AND MAY BE USED WHERE PERMITTED BY CODE. FITTINGS SHALL BE "JAKE" OR "SQUEEZE" TYPE. SEAL TIGHT FLEXIBLE CONDUIT. ALL CONDUIT EXCESS OF SIX FEET IN LENGTH SHALL HAVE FULL SIZE GROUND WIRE.
  - CONDUIT RUNS MAY BE SURFACE MOUNTED IN CEILING OR WALLS UNLESS INDICATED OTHERWISE. CONDUIT INDICATED SHALL RUN PARALLEL OR AT RIGHT ANGLES TO CEILING, FLOOR OR BEAMS. VERIFY EXACT ROUTING OF ALL EXPOSED CONDUIT WITH ARCHITECT PRIOR TO INSTALLING.
  - ALL UNDERGROUND CONDUITS SHALL BE PVC SCHEDULE 40 (UNLESS NOTED OTHERWISE) AT A MINIMUM DEPTH OF 24" BELOW GRADE
  - ALL CONDUIT ONLY (C.O.) SHALL HAVE PULL ROPE.
  - CONDUITS RUN ON ROOFS SHALL BE INSTALLED ON 4x4 REDWOOD SLEEPERS, 6'-0" ON CENTER, SET IN NON-HARDENING MASTIC.
- ALL WIRE AND CABLE SHALL BE COPPER, 600 VOLT, #12 AWG MINIMUM UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. CONDUCTORS #10 AWG AND SMALLER SHALL BE SOLID. CONDUCTORS #8 AWG AND LARGER SHALL BE STRANDED. TYPE THHN INSULATION USED UNLESS CONDUCTORS INSTALLED IN CONDUIT EXPOSED TO WEATHER, IN WHICH CASE TYPE THWN INSULATION SHALL BE USED.
- PROVIDE GALVANIZED COATED STEEL BOXES AND ACCESSORIES SIZED PER CODE TO ACCOMMODATE ALL DEVICES AND WIRING.
- DUPLEX RECEPTACLES SHALL BE SPECIFICATION GRADE WITH WHITE FINISH (UNLESS NOTED BY ENGINEER), 20 AMP, 125 VOLT, THREE WIRE GROUNDING TYPE, NEMA 5-20R. MOUNT RECEPTACLE AT +12" ABOVE FINISHED FLOOR UNLESS OTHERWISE INDICATED ON DRAWINGS OR IN DETAILS. WEATHERPROOF RECEPTACLES SHALL BE GROUND FAULT INTERRUPTER TYPE WITH SIERRA #WPD-8 LIFT COVERPLATES.
- PANELBOARDS SHALL BE DEAD FRONT SAFETY TYPE WITH ANTI-BURN SOLDERLESS COMPRESSION APPROVED FOR COPPER CONDUCTORS, COPPER BUS BARS, FULL SIZED NEUTRAL BUS, GROUND BUS AND EQUIPPED WITH QUICK-MAKE QUICK-BREAK BOLT-IN TYPE THERMAL MAGNETIC CIRCUIT BREAKERS. MOUNT TOP OF THE PANELBOARDS AT 6'-3" ABOVE FINISHED FLOOR. PROVIDE TYPE WRITTEN CIRCUIT DIRECTORY.
- ALL CIRCUIT BREAKERS, MAGNETIC STARTERS AND OTHER ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTING RATING NOT LESS THAN MAXIMUM SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED.
- GROUND RODS SHALL BE COPPER CLAD STEEL, 5/8" ROUND AND 10' LONG. COPPERWELD OR APPROVED EQUAL.
- INSTALLATION:
  - PROVIDE SUPPORTING DEVICES FOR ALL ELECTRICAL EQUIPMENT, FIXTURES, BOXES, PANEL, ETC., SUPPORT LUMINARIES FROM UNDERSIDE OF STRUCTURAL CEILING. EQUIPMENT SHALL BE BRACED TO WITHSTAND HORIZONTAL FORCES IN ACCORDANCE WITH STATE AND LOCAL CODE REQUIREMENTS. PROVIDE PRIOR ALIGNMENT AND LEVELING OF ALL DEVICES AND FIXTURES.
  - CUTTING, PATCHING, CHASES, OPENINGS: PROVIDE LAYOUT IN ADVANCE TO ELIMINATE UNNECESSARY CUTTING OR DRILLING OF WALLS, FLOORS CEILINGS, AND ROOFS. ANY DAMAGE TO BUILDING STRUCTURE OR EQUIPMENT SHALL BE REPAIRED BY THE CONTRACTOR. OBTAIN PERMISSION FROM THE ENGINEER BEFORE CORING.
  - IN DRILLING HOLES INTO CONCRETE WHETHER FOR FASTENING OR ANCHORING PURPOSES, OR PENETRATIONS THROUGH THE FLOOR FOR CONDUIT RUNS, PIPE RUNS, ETC., IT MUST BE CLEARLY UNDERSTOOD THAT TENDONS AND/OR REINFORCING STEEL WILL NOT BE DRILLED INTO, CUT OR DAMAGED UNDER THE CIRCUMSTANCES.
  - LOCATION OF TENDONS AND/OR REINFORCING STEEL ARE NOT DEFINITELY KNOWN AND THEREFORE, MUST BE SEARCHED FOR BY

APPROPRIATE METHODS AND EQUIPMENT VIA X-RAY OR OTHER DEVICES THAT CAN ACCURATELY LOCATE THE REINFORCING AND/OR STEEL TENDONS.

- PENETRATIONS IN FIRE RATED WALLS SHALL BE FIRE STOPPED IN ACCORDANCE WITH THE REQUIREMENTS OF THE C.B.C.

**PROJECT CLOSEOUT:**

- UPON COMPLETION OF WORK, CONDUCT CONTINUITY, SHORT CIRCUIT, AND FALL POTENTIAL GROUNDING TESTS FOR APPROVAL. SUBMIT TEST REPORTS TO PROJECT MANAGER. CLEAN PREMISES OF ALL DEBRIS RESULTING FROM WORK AND LEAVE WORK IN A COMPLETE AND UNDAMAGED CONDITION.
- PROVIDE PROJECT MANAGER WITH ONE SET OF COMPLETE ELECTRICAL "AS INSTALLED" DRAWINGS AT THE COMPLETION OF THE JOB, SHOWING ACTUAL DIMENSIONS, ROUTINGS AND CIRCUITS.
- ALL BROCHURES, OPERATING MANUALS, CATALOG, SHOP DRAWINGS, ETC., SHALL BE TURNED OVER TO OWNER AT JOB COMPLETION.



5005 EXECUTIVE PARKWAY  
SAN RAMON, CA 94583



**P. MARSHALL & ASSOCIATES**  
A CENTERLINE COMMUNICATIONS COMPANY  
1000 HOLCOMB WOODS PKWY, STE 210  
ROSWELL, GA 30076  
OFFICE: (678) 280-2325

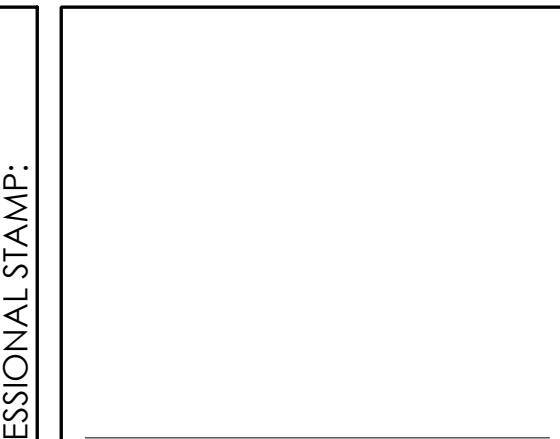
**CCL05855**

**SEAHAWK RANCH**

1 MEYN ROAD  
HALF MOON BAY, CA  
94019

FA#: 15974410  
PAGE#: MRSFR097724  
PT#: 3701A16VYQ

REV	DATE	DESCRIPTION	INT.	BH	SMR	SMR	SMR	SMR	SMR	SMR	SMR
A	11/06/23	ISSUED FOR 90%ZDS									
B	12/04/24	ISSUED FOR 95%ZDS									
C	01/31/24	ISSUED FOR 98%ZDS									



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**E-1**

**ELECTRICAL NOTES**

APPLICANT:

VENDOR:

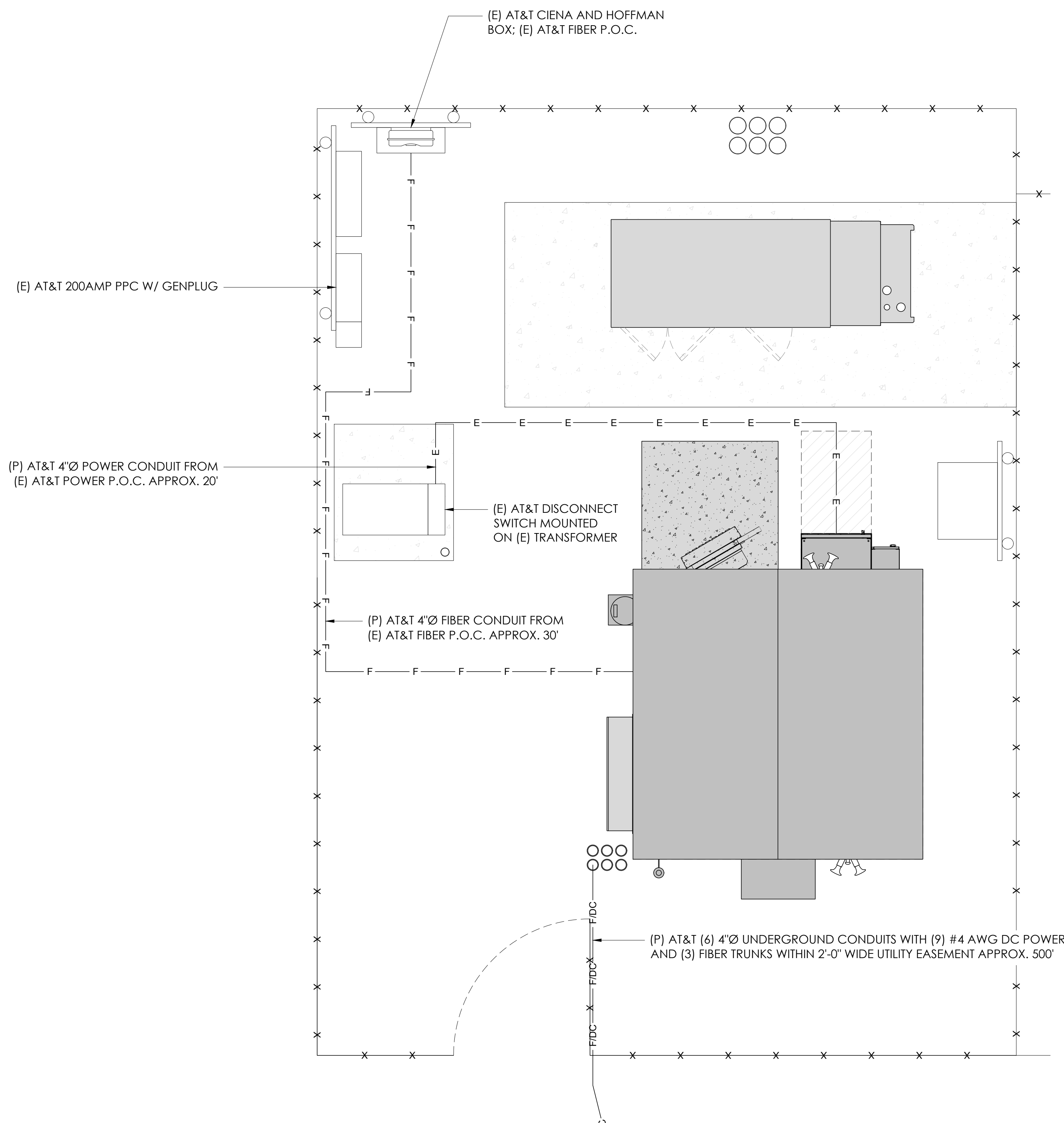
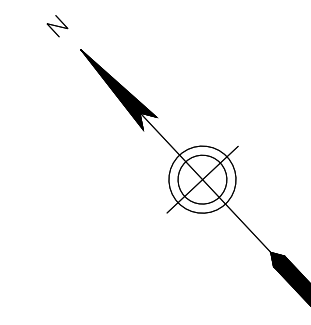
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DESIGN RECORD:


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SHEET NAME:




**APPLICANT:**



5005 EXECUTIVE PARKWAY  
SAN RAMON, CA 94583

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**VENDOR:**



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**SHEET TITLE:**

**E-2**

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**SHEET NAME:**

**ELECTRICAL SITE PLAN**

NOTES:

- ALL WORK TO CONFORM TO N.E.C. LATEST STATE ADOPTED EDITION.
- LABEL SERVICE DISCONNECT WITH A RED TAG.
- ALL GFCI RECEPTACLES TO HAVE A DEDICATED GROUND WIRE.
- EQUIPMENT TERMINATION LUGS AND CONDUCTORS ARE RATED AT A MINIMUM OF 75°C.
- CONDUIT REQUIREMENTS
  - UNDERGROUND PVC (SCH 40 OR 80)
  - INDOOR: EMT (RGS IN TRAFFIC AREAS)
  - Outdoor (ABOVE GRADE): RGS
- LIGHTING IS DESIGNED AND INSTALLED BY SHELTER MANUFACTURER.

ABBREVIATIONS:

BCW	BARE COPPER WIRE
BTS	BASE TRANSCEIVER STATION
C	CONDUIT
(E)	EXISTING
EG	EQUIPMENT GROUND
(F)	FUTURE
FACP	FIRE ALARM CONTROL PANEL
GEN	GENERATOR
IG	ISOLATED GROUND
IMC	INTERMEDIATE METAL CONDUIT
LFMC	LIQUID TIGHT FLEXIBLE METAL CONDUIT
MCM	MILLION CIRCULAR MILLS
MI	MECHANICAL INTERLOCK
MP&S	SEE MECHANICAL PLANS & SPECIFICATIONS
(N)	(P)
NEMA	NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION
NL	NIGHT LIGHT - FIXTURE TO BE UNSWITCHED
PFB	PROVISION FOR FUTURE BREAKER
PVC	POLYVINYL CHLORIDE CONDUIT
(R)	RELOCATE
RG	RELAY TO MONITOR GENERATOR POWER
RU	RELAY TO MONITOR UTILITY POWER
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
WP	WEATHERPROOF
GFCI	GROUND FAULT CIRCUIT INTERRUPTER

NOTE: SYMBOLS INDICATED ABOVE MAY NOT NECESSARILY APPEAR AS PART OF THESE DRAWINGS IF NOT REQUIRED.

NOTES:

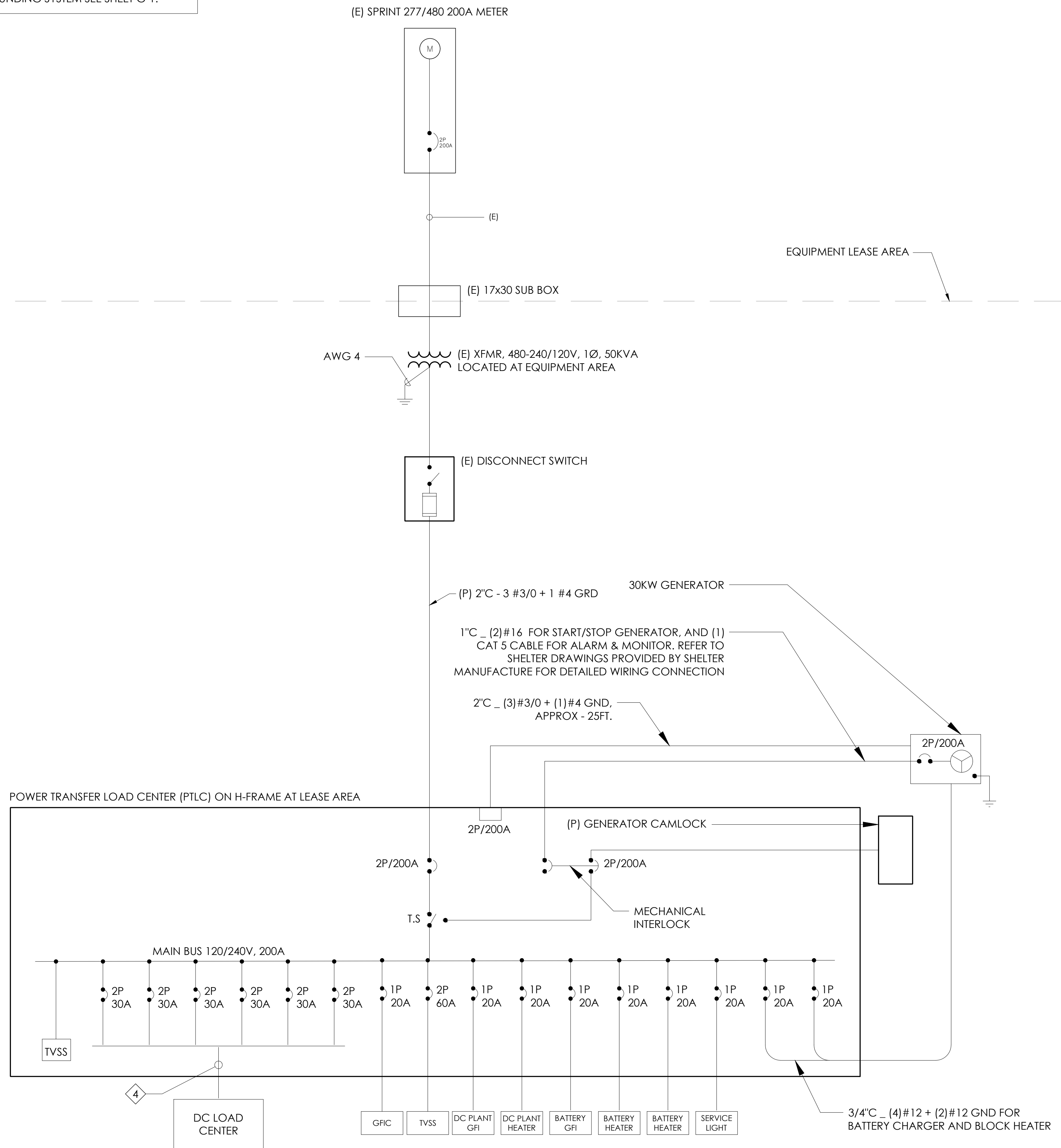
- IF A BACKUP GENERATOR OR ALTERNATE METHOD ARE NOT AN OPTION, INSURE BATTERY CABINET HAS MAX. AMOUNT ALLOWABLE BATTERIES INSTALLED PER CFC 608.1.
- CONTRACTOR TO PLACE EMERGENCY BACKUP INSTRUCTION ON ELECTRICAL PANEL.
- FOR GROUNDING SYSTEM SEE SHEET G-1.

VOLTAGE: 120/240V, 1-PHASE, 3W, 200A, 42 KAIC										MOUNTING: SURFACE	
MAIN CB: 2P/200A										NEMA: 1	
ILC Panel										LOCATION: @ LEASE AREA	
PHASE	PHASE	DESCRIPTION	POLE	BKR	CKT	A	B	C	DESCRIPTION	PHASE	PHASE
2150	2150	RECTIFIERS 1&2	2	30	1	2	3	2	RECTIFIERS 11&12	2150	2150
2150	2150	RECTIFIERS 3&4	2	30	5	6	3	2	RECTIFIERS 13&14	2150	2150
2150	2150	RECTIFIERS 5&6	2	30	9	10	3	2	RECTIFIERS 15&16	2150	2150
2150	2150	RECTIFIERS 7&8	2	30	13	14			SPACE		
2150	2150	RECTIFIERS 9&10	2	30	17	18			SPACE		
1400	1400	HVAC	2	25	25	26	20	1	LIGHT & RECEPTACLE	560	360
180		GFCI	1	20	29	30	20	1	BATTERY HEATER	480	
12330	12150									7490	6810
PHASE A =			19820 VA			PHASE B =			18960 VA		
CONNECTED LOAD:			38780 VA								
CONNECTED AMPS:			162 A								

NOTES:

- THIS PANEL IS PROVIDED AND INSTALLED BY VAULT MANUFACTURER
- LIGHTING, DUPLEX RECEPTACLE, G.F.I ARE DESIGNED AND INSTALLED BY VAULT MANUFACTURER.

2 AC PANEL SCHEDULE  
N.T.S.



1 SINGLE-LINE DIAGRAM (SLD)  
N.T.S.

APPLICANT:  
  
 5005 EXECUTIVE PARKWAY  
 SAN RAMON, CA 94583

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SHEET TITLE:  
**E-3**

SHEET NAME:  
**SINGLE LINE DIAGRAM & PANEL SCHEDULE**



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT D**



*Existing*



*Proposed*



*view from Meyn Road looking southwest at site*

*Existing*



Existing AT&T  
Installation

*Proposed*



Proposed AT&T  
Installation

view from Cabrillo Highway 1 looking northwest at site

*Existing*



*Proposed*



*view from Martin's Beach Road looking northwest at site*

*Existing*



Existing AT&T Installation

*Proposed*



Proposed AT&T Installation

view from Cabrillo Highway 1 looking southwest at site

