



existing view at street



existing view at rear



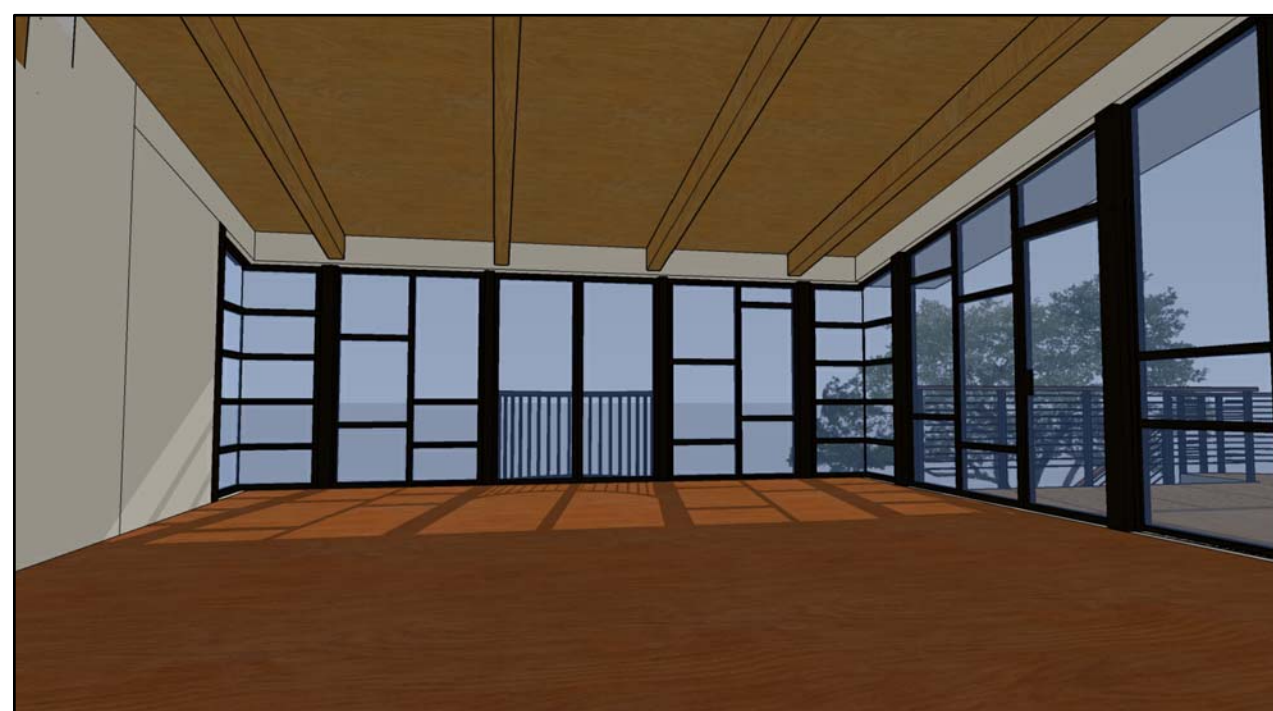
existing aerial view

2 Existing Site Photos

Scale:



proposed view from north



proposed view at interior of main level addition

1 Conceptual Model Views

Scale:



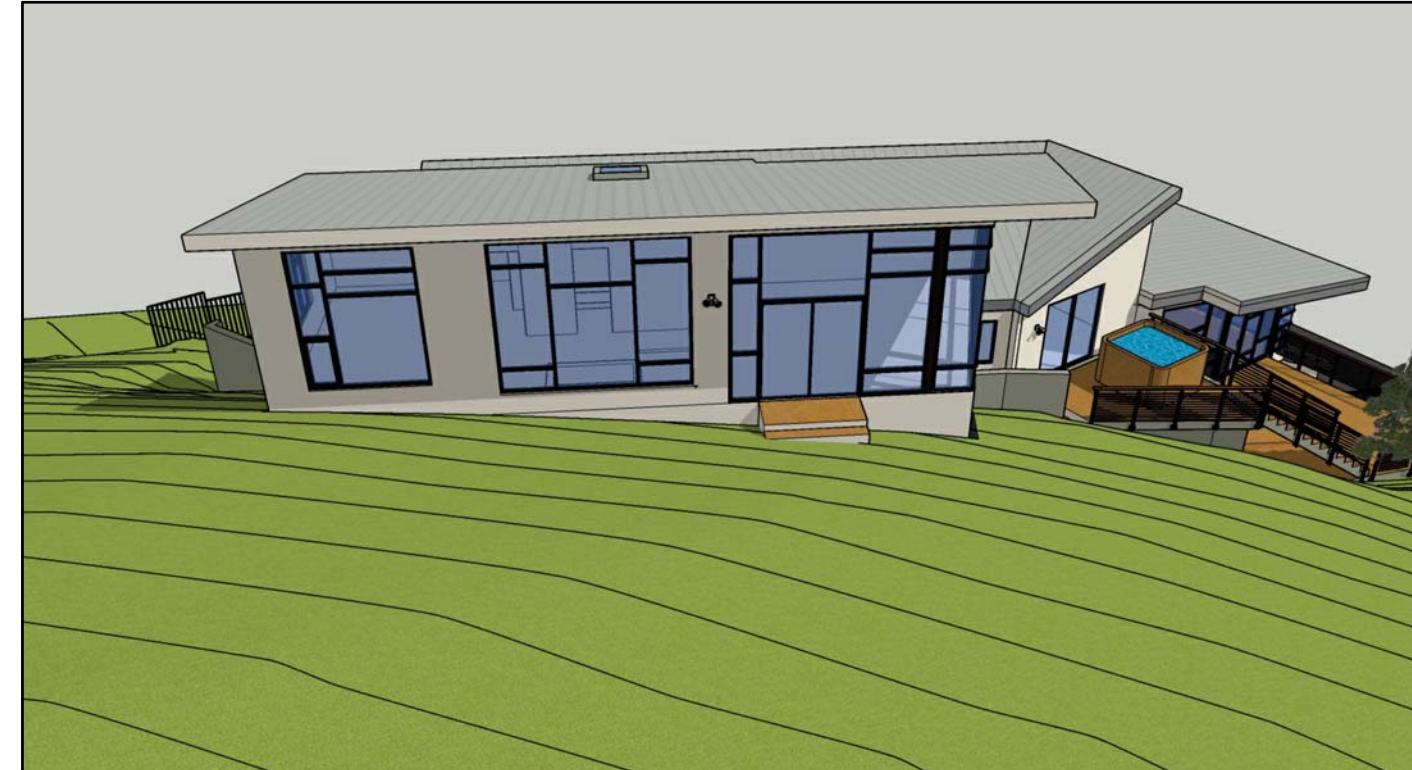
proposed view at street



proposed view from south



proposed aerial view from south

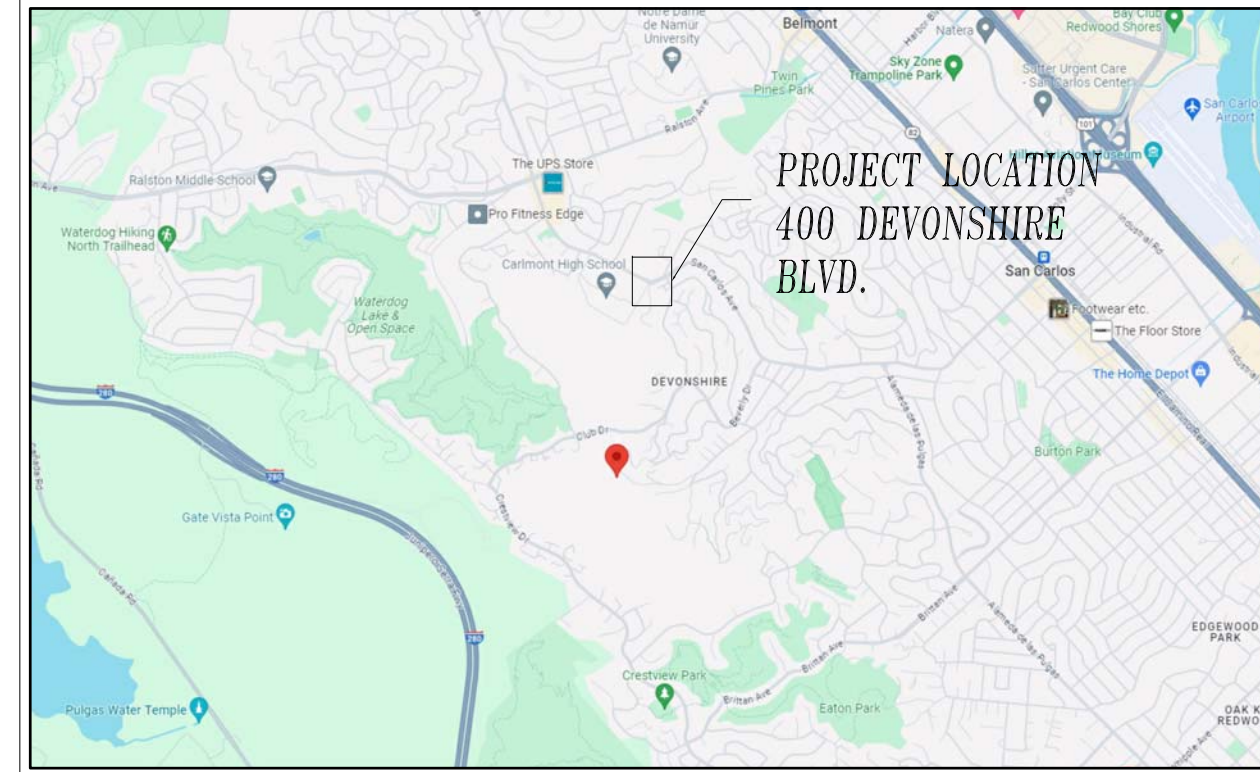


proposed aerial view from west



proposed aerial view from north

VICINITY MAP



CODE INFORMATION

Applicable Codes:  
California Building Code, Residential Code, California Plumbing Code, California Energy Code, California Electrical Code, California Mechanical Code, and California Green Building Code, all 2022 edition.

Project Data:

Scope of Work:  
Reconstruct existing garage, additions to existing main level of approx. 375 square feet, addition to upper level of approx. 60 square feet, addition above upper level of approx. 1000 square feet, renovation of existing retaining walls, decks, interior renovations to kitchen, bathrooms, and hallways.

Existing Building  
Construction Type VB Non-Rated

Zoning: R-1/S-71/DR

Occupancy: R3/U - Single Family Residential - no sprinklers

Lot Area: 19,952 Square Feet (per topographic survey)  
Lot Dimensions: irregular - see site survey  
Area Summary - see area summary this sheet.

Building Department Notes:  
Deferred submittals:

PROJECT NOTES

- All ideas, arrangements and plans indicated or represented by these Drawings are owned by, and the property of Greg Klein Architect. The Architect created, evolved and developed these Documents for the sole use concerning this specified Project. None of such ideas, design, arrangements and plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without the written permission of Greg Klein Architect.
- The intent of these Documents is to show all items necessary to complete the Project. For items, methods and/or materials not shown, the minimum requirements of the 2022 California Building Code shall govern. All work and construction shall comply with all regulations and safety requirements.
- The Contractor shall inform the Architect in writing of any discrepancies or omissions noted in the documents. He shall additionally inform the Architect of any variations needed in order to conform to codes, rules and regulations.
- Typical details and notes on these Documents shall apply unless we specifically show or note that otherwise. Details not fully shown or noted shall be similar to details shown for similar conditions.
- It shall be the Contractor's sole responsibility to design and provide adequate shoring and bracing, etc., as required for the protection of life and property during the construction of this structure.
- The Architect will not be responsible for any changes in the Drawings or Specifications unless approved before construction.
- All demolition required not necessarily shown on the Drawings. The Contractor shall verify in the field and be responsible for all demolition work necessary to complete the Project.
- All work performed by the Contractor shall conform to California State Titles 19 and 24, and the 2022 Edition of the California Building, Residential, Fire, Plumbing, Mechanical, Electrical, Energy, and Green Building Standards Codes.
- All dimensions shall be as indicated on the Drawings or as clarified by the Architect:
  - Dimensions shall not be determined by scaling the Drawings.
  - Dimensions shown are to face of studs, centerline of columns, or centerline of windows, doors or other openings, and where noted, clear finish dimensions critical for equipment, casework or other requirements, U.O.N.
  - Doors installed adjacent to perpendicular walls shall be located 4-1/2" (3-stud widths) from face of flanking wall studs, U.O.N.
  - The Contractor shall verify all dimensions before preparing shop drawings, fabrication or construction.
- Alterations and/or rehabilitation of an existing building require that certain assumptions be made regarding existing conditions. Some assumptions may not be verifiable without expending additional sums of money on investigation and/or by destroying otherwise adequate or serviceable portions of the building. Therefore, the Architect shall not be held responsible for assumptions and conditions that are unforeseen or unverifiable before construction.
- The Contractor shall take all necessary precautions in protecting areas adjacent to new construction from noise, debris and dust throughout the performance of the Agreement.

DIRECTORY

Building Owner:  
Valery Soloviev  
400 Devonshire Blvd.  
San Carlos, CA  
650-592-9247  
v\_soloviev@yahoo.com

Surveyor:  
BGT Land Surveyors  
871 Woodside Way  
San Mateo, CA 94401  
bgtinfo@bgturveying.com  
650-212-1030

Architect:  
Greg Klein Architect  
2622 Lincoln Av  
Alameda, CA 94501  
510-459-6239  
gregkleinarchitect@gmail.com

DRAWING INDEX

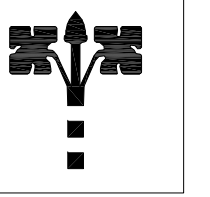
- A001 Project information, Index, Project Data, Concept model views, Site Photos, Notes
- A100.1 Existing Site Plan
- A100.2 Existing Area Calculations for C3
- A101.1 Proposed Site Plan
- A101.2 Erosion Control / Tree Protection Plan
- A101.3 Proposed Area Calculations for C3
- A101.4 Best Management Practice Notes
- A200.1 Existing Garage / Main Level Plans
- A200.2 Existing Upper level / Roof Plans
- A201.1 Proposed Garage Level Plan / Exterior Lighting Types
- A201.2 Proposed Main Level Plan
- A201.3 Proposed Upper Level Plan
- A201.4 Proposed Level 3 Plan
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- A301.3 Proposed Exterior Elevation - West 1
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- A301.6 Proposed Section / Fire Rated Construction Details

SS-1 Topographic Boundary Survey

PROJECT DATA SUMMARY:

400 Devonshire Blvd San Carlos - Soloviev		
Area summary		
12/14/2023		
Zoning:	R-1/S-71/DR	
	code req.	
front setback requirement	20'	proposed setbacks vary-
rear setback requirement	20'	see plans for proposed setbacks
side yard setback requirements	5'	
street side yard setback requirement	10'	
height limit requirement	30'	
site coverage limit 50% of lot area	9,976	bldgs, structures >18" above grade
floor area limit lot size >15,000 sf	4,100	
<b>Existing Areas</b>		
lot area	19,952	combined lot area
<b>Proposed areas</b>		
main level conditioned area	1,233	
upper level conditioned area	1,115	
total conditioned area	2,348	
unconditioned (garage)	95	495 (- 400 allowed for garage)
unconditioned (covered porch at main level)	10	20 sf (converted to conditioned)
<b>total conditioned + unconditioned areas:</b>	<b>2,473</b>	
<b>Proposed areas</b>		
main level conditioned area	1,608	375
upper level conditioned area	1,175	60
level 3 conditioned area	1,000	1000
unconditioned (garage)	95	495 (- 400 allowed for garage)
unconditioned (covered porch at main level)	10	20 sf (converted to conditioned)
<b>total conditioned + unconditioned areas:</b>	<b>3,888</b>	
allowable floor area (per zoning limit):	4,100	
<b>Existing and Proposed Site coverage</b>		
building footprint	3,850	Existing 2,873
decks - stairs to grade	1,325	1,355
driveway	330	330
<b>total coverage</b>	<b>5,505</b>	<b>4,558</b>
allowable coverage = 50% of lot area	9,976	
<b>Building Height:</b>		
existing:	24'-8"	<30'
proposed:	24'-8"	

GREG KLEIN ARCHITECT



2622 Lincoln Avenue  
Alameda, California 94501  
510-459-6239  
gregkleinarchitect@gmail.com

Greg Klein



OWNER:  
Valery Soloviev  
400 Devonshire Blvd.  
San Carlos, CA 94070

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Revisions Date  
planning set 12-14-2023

Soloviev Residence

400 Devonshire Blvd  
San Carlos, CA 94070

APN 049-080-120

Drawing Title

Title Sheet, Project Data,  
Concept Model Views

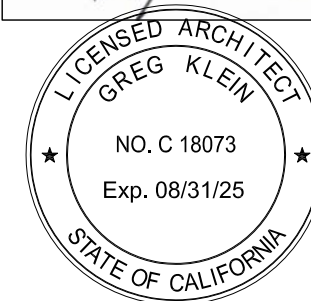
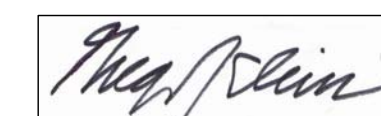
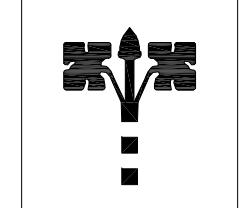
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Job Number 2023-12

Drawing Number

A001



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Drawing Title

### Existing Site Plan

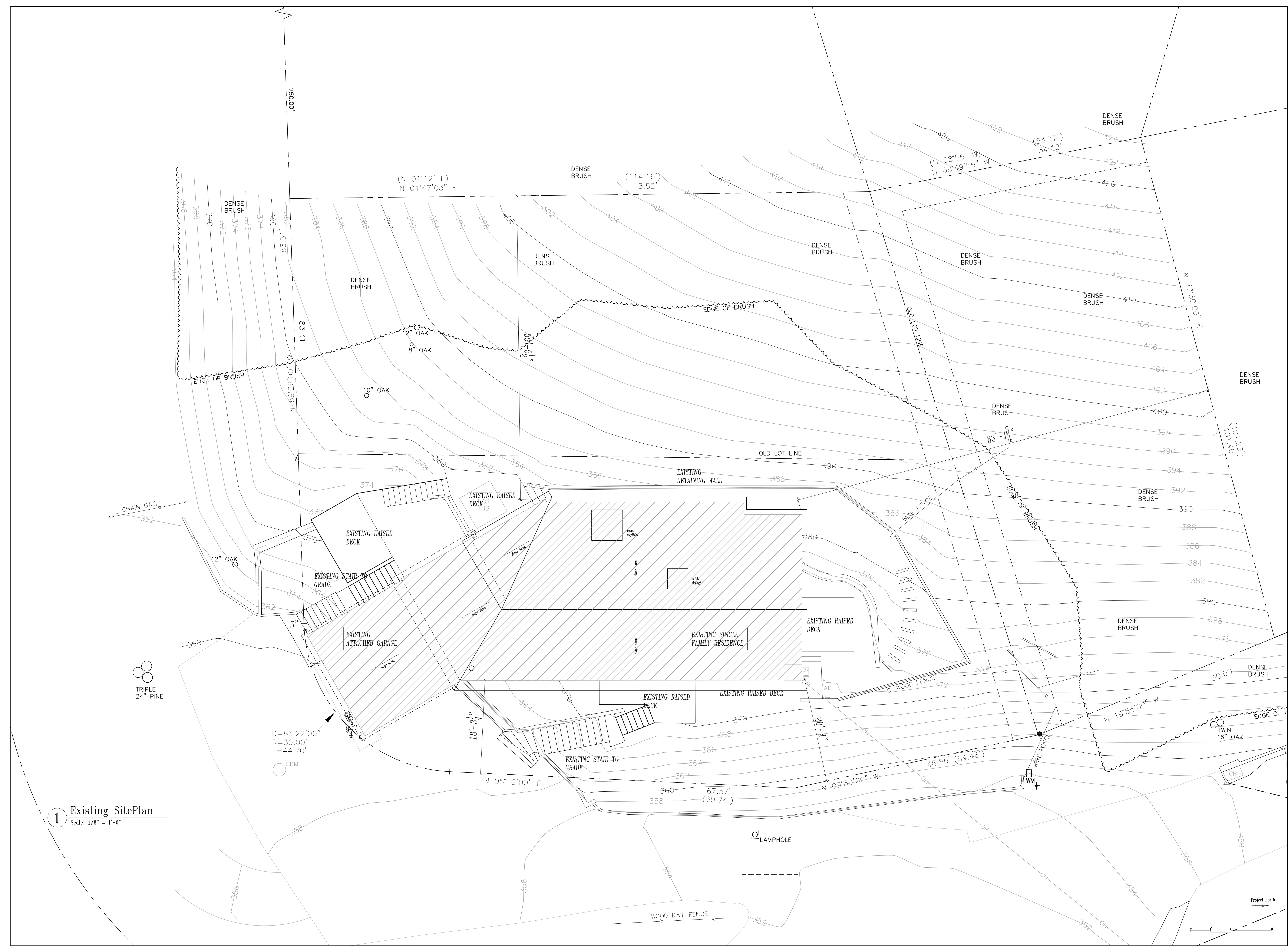
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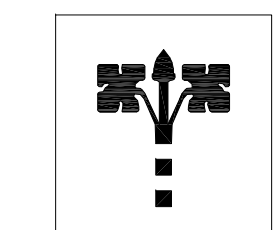
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Job Number 2023-12

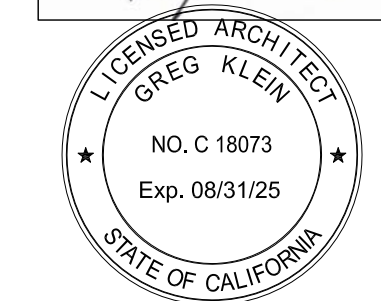
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# A100.1





*Greg Klein*

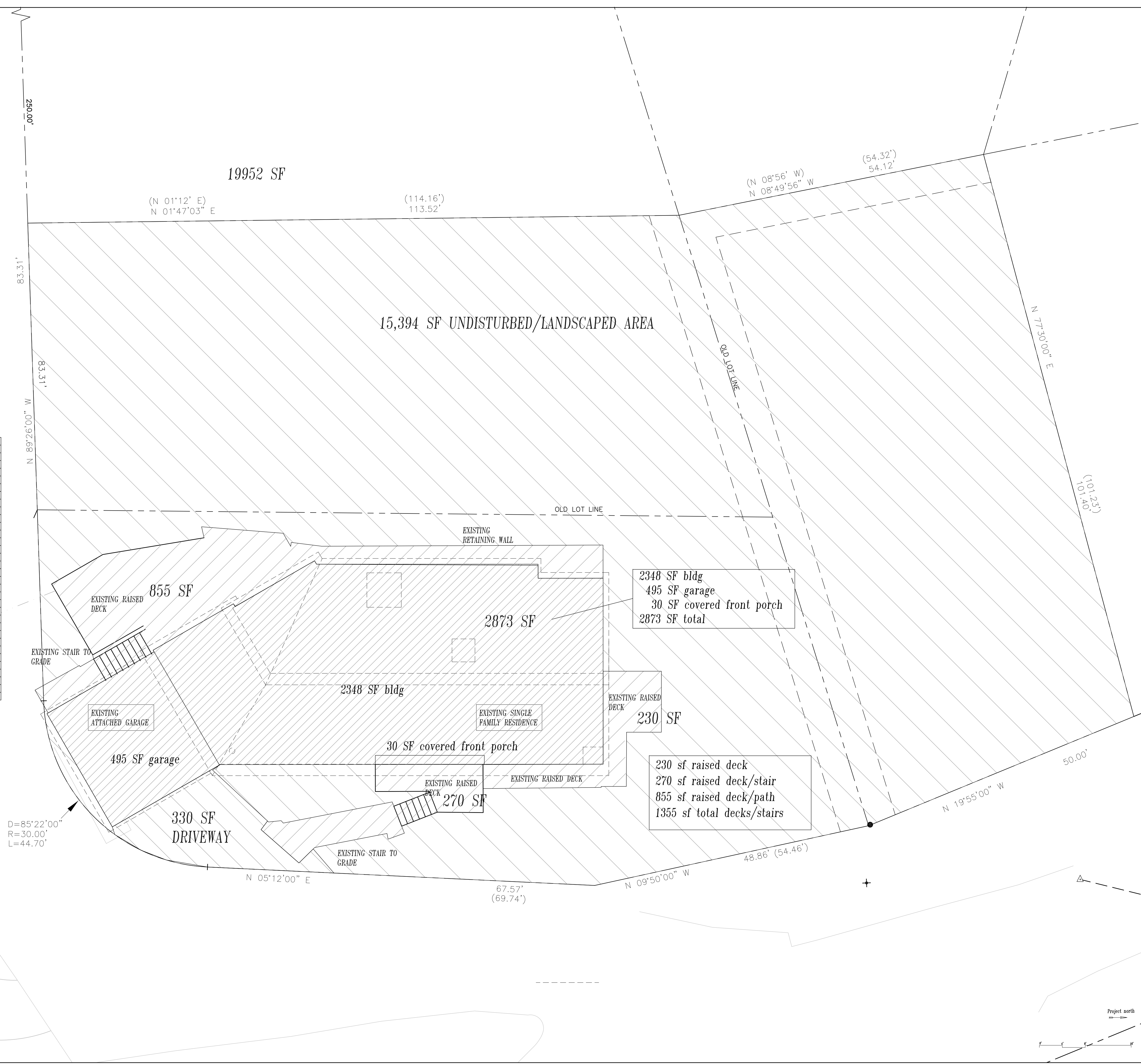


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Areas for C3 Calculations			
<b>Existing Areas</b>			
lot area		19,952	combined lot area
existing residence footprint	2348		
existing garage footprint	495		
existing covered porch footprint	30		
total existing building footprint		2,873	bldg., garage, porch
existing deck area 1	230		
existing deck area 2	270		
existing deck area 3	855		
total existing deck areas		1,355	
existing driveway area	330		
total existing impervious area		4,558	Footprint+decks+driveway
total landscaped undisturbed area		15,394	(lot area less existing impervious area)
<b>Proposed Areas</b>			
lot area		19,952	combined lot area
	retained	added	
existing building footprint	2,873		from total existing footprint above
proposed addition		1,000	addition
overlap with existing footprint		-23	overlap with existing footprint
subtotals	2,873	977	
<b>total proposed building footprint</b>		<b>3,850</b>	
	retained	added	
proposed deck area 1	230	20	20 sf added
proposed deck area 2	270	40	40 sf added
proposed deck area 3	675	65	180 sf removed, 65 sf added
new deck 4 (level 3)		25	25 sf new deck
<b>total proposed deck areas</b>		<b>1,325</b>	
driveway area (no change)		330	
<b>impervious area to be retained</b>		<b>4,378</b>	
<b>impervious area to be created</b>		<b>1,127</b>	
<b>total proposed impervious area</b>		<b>5,505</b>	Footprint+decks+driveway
<b>total proposed landscaped undisturbed area</b>		<b>14,447</b>	(lot area less existing impervious area)



1 Existing Site Area Calculations  
Scale: 1/8" = 1'-0"

Soloviev Residence

400 Devonshire Blvd  
San Carlos, CA 94070  
APN 049-080-120

Drawing Title

Existing Site Area Calculations

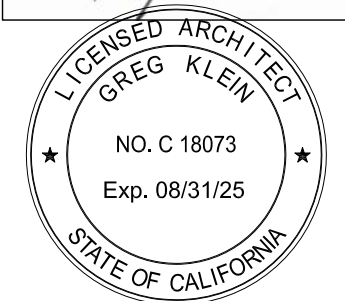
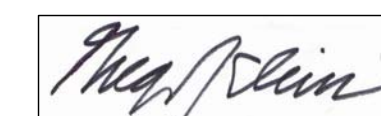
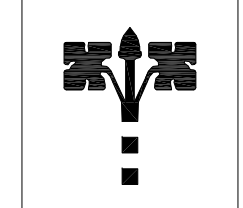
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Drawing Number

A100.2



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### Proposed Site Plan

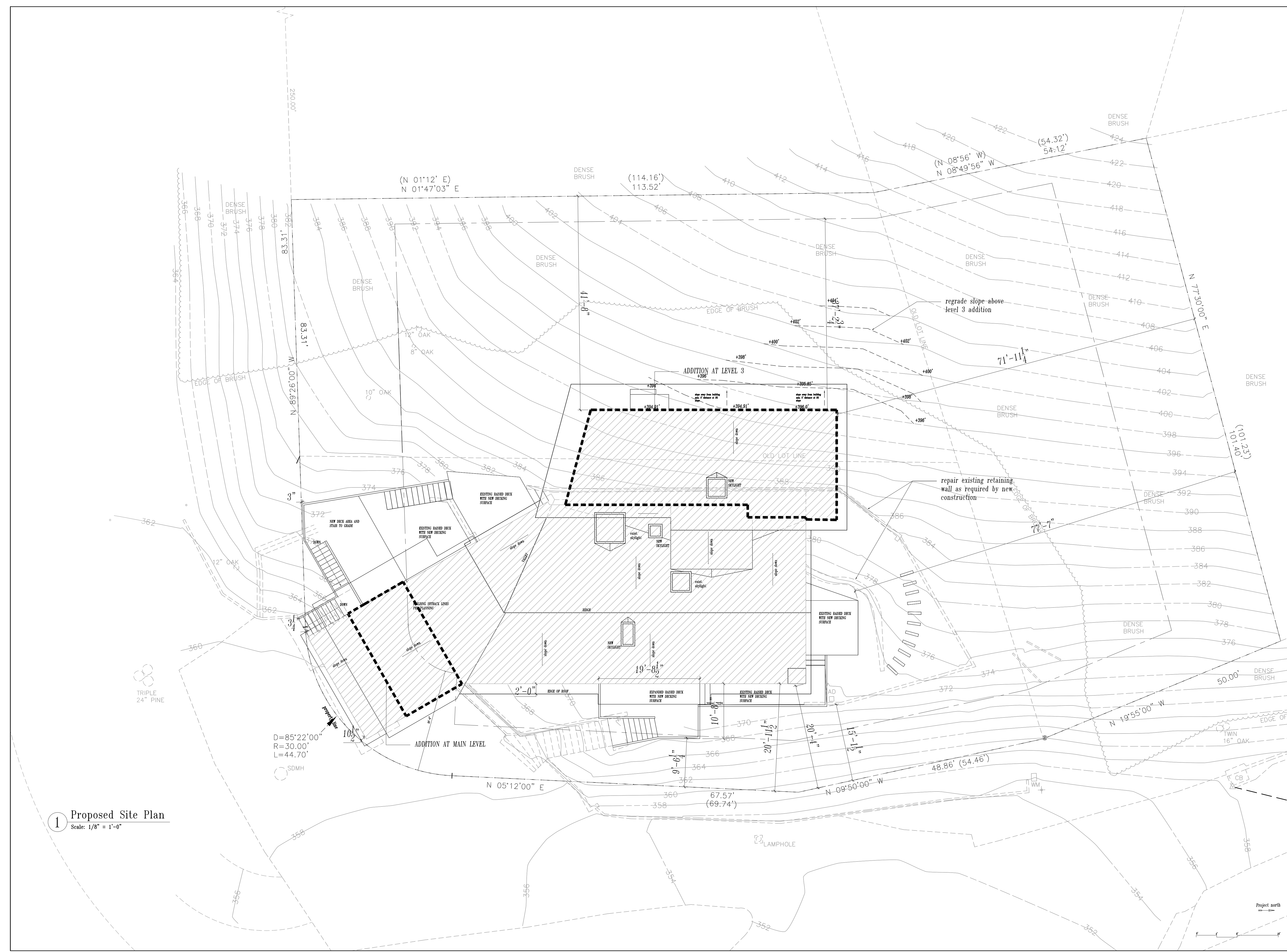
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Drawn By gk

Job Number 2023-12

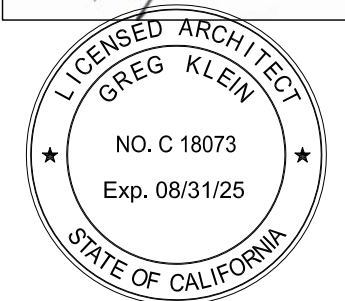
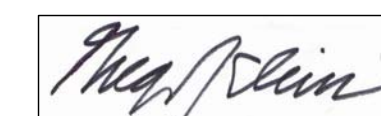
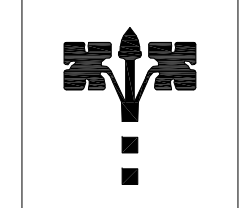
Drawing Number

# A101.1



**1** Proposed Site Plan  
Scale: 1/8" = 1'-0"

Project north



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## Soloviev Residence

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Drawing Title

### Erosion Control Plan

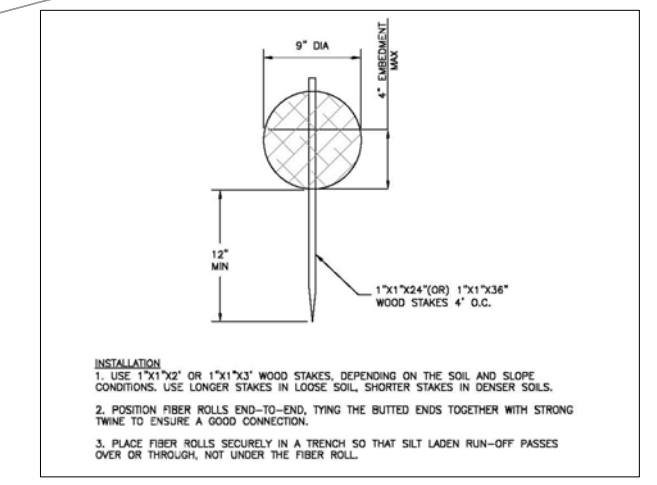
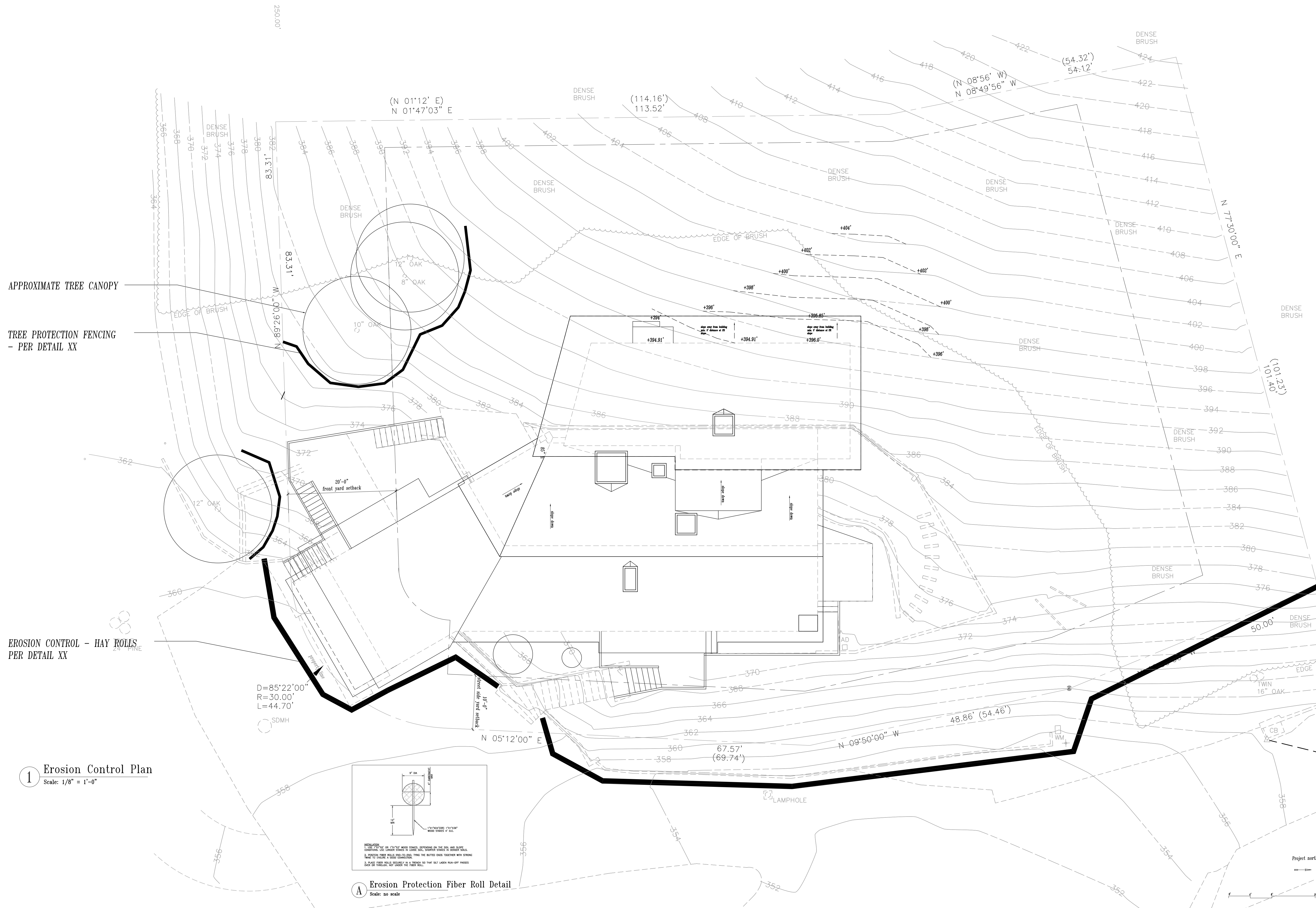
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Job Number 2023-12

Drawing Number

# A101.2



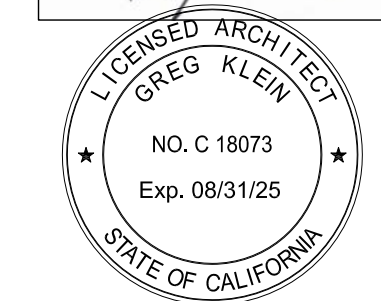
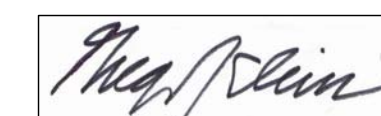
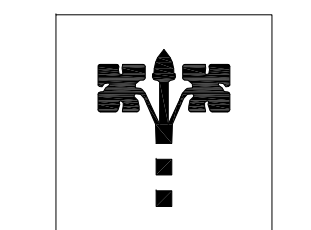
**A** Erosion Protection Fiber Roll Detail  
Scale: as shown

**1** Erosion Control Plan  
Scale: 1/8" = 1'-0"

APPROXIMATE TREE CANOPY  
TREE PROTECTION FENCING  
- PER DETAIL XX

EROSION CONTROL - HAY ROLLS  
PER DETAIL XX

Project north

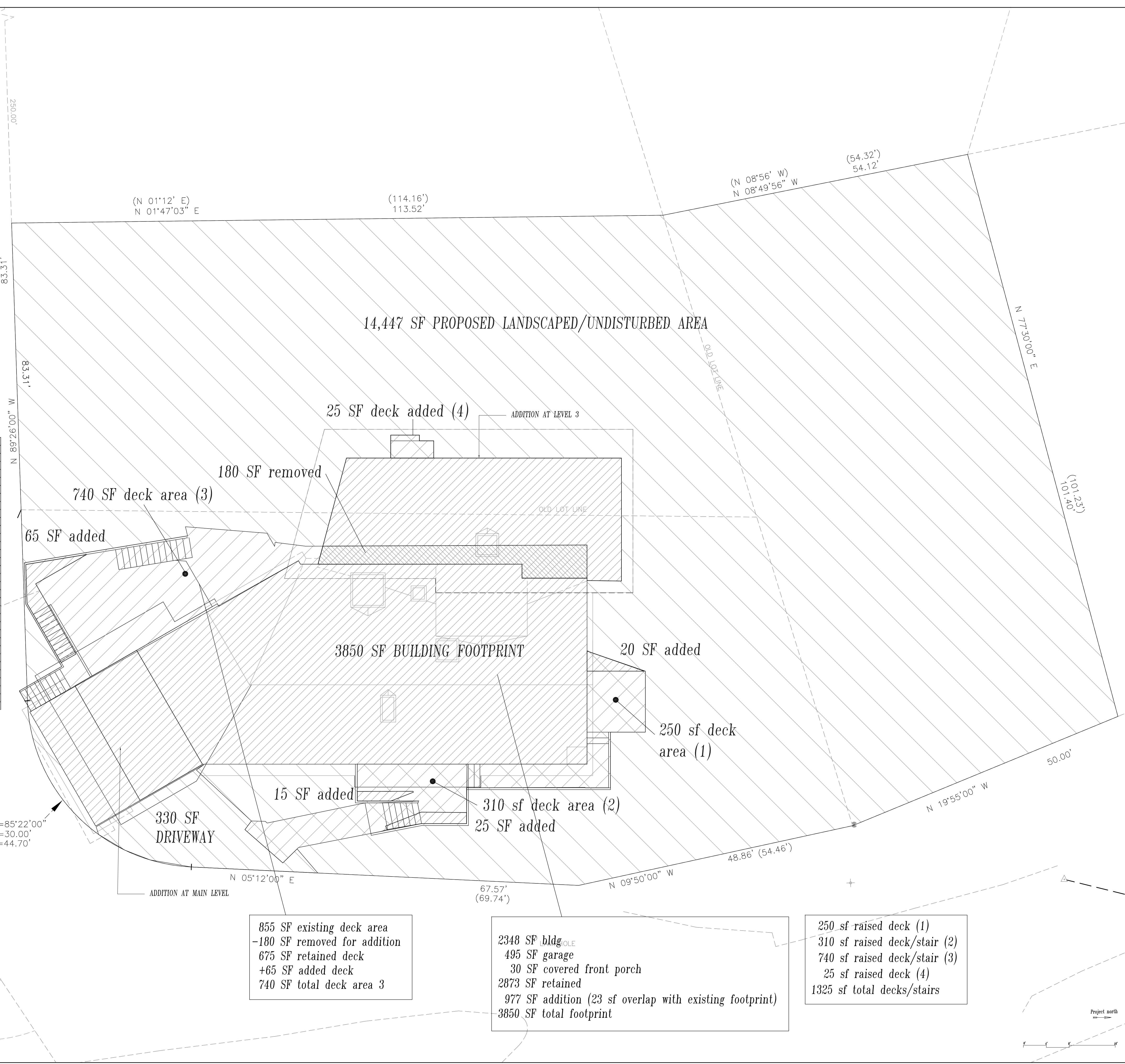


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existing deck area 3	855	
total existing deck areas	1,355	
existing driveway area	330	
total existing impervious area	4,558	footprint+decks+driveway
total landscaped undisturbed area	15,394	(lot area less existing impervious area)
<b>Proposed Areas</b>		
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proposed addition	1,000	addition
overlap with existing footprint	-23	overlap with existing footprint
subtotals	2,873	977
<b>total proposed building footprint</b>	<b>3,850</b>	
proposed deck area 1	230	20 sf added
proposed deck area 2	270	40 sf added
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impervious area to be created	1,127	
<b>total proposed impervious area</b>	<b>5,505</b>	footprint+decks+driveway
total proposed landscaped undisturbed area	14,447	(lot area less existing impervious area)



1 Site Area Calculations - Proposed  
Scale: 1/8" = 1'-0"

855 SF existing deck area  
-180 SF removed for addition  
675 SF retained deck  
+65 SF added deck  
740 SF total deck area 3

2348 SF bldg.  
495 SF garage  
30 SF covered front porch  
2873 SF retained  
977 SF addition (23 sf overlap with existing footprint)  
3850 SF total footprint

250 sf raised deck (1)  
310 sf raised deck/stair (2)  
740 sf raised deck/stair (3)  
25 sf raised deck (4)  
1325 sf total decks/stairs

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Proposed Site Area Calculations

Scale 1/8"=1'-0"

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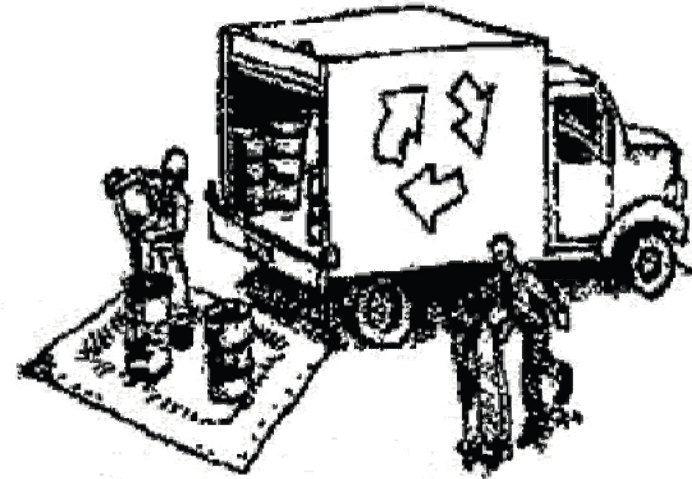
Drawing Number

A101.3

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



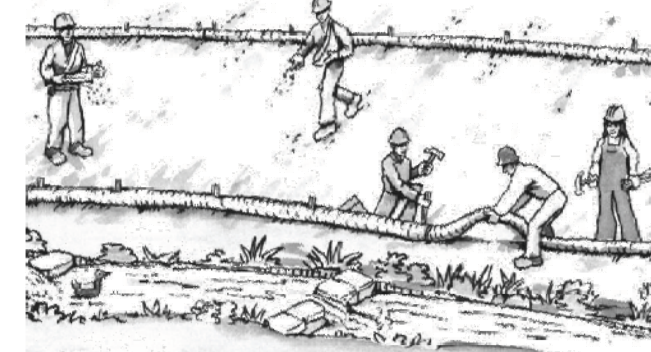
### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work

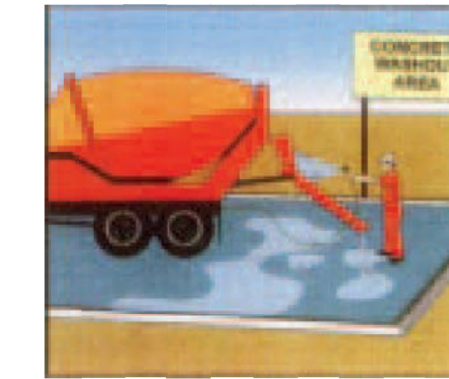


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!)
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



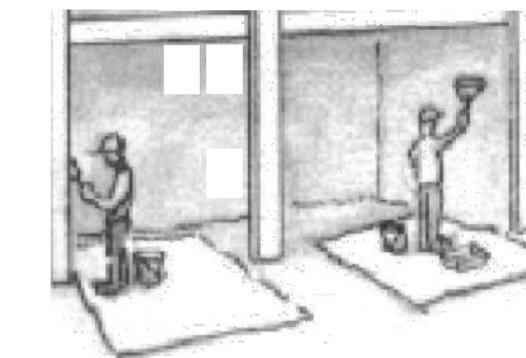
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

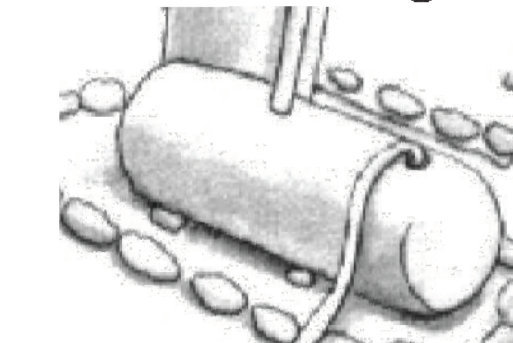
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

### BEST MANAGEMENT PRACTICES NOTES PER SAN MATEO COUNTY:

Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, rinse water from architectural copper, and non-stormwater discharges to storm drains and watercourses. Store, handle, and dispose of construction materials/wastes properly to prevent contact with stormwater.

Do not clean, fuel, or maintain vehicles on-site, except in a designated area where wash water is contained and treated.

Train and provide instruction to all employees/subcontractors re: construction BMPs. Protect all storm drain inlets in vicinity of site using sediment controls such as berms, fiber rolls, or filters.

Limit construction access routes and stabilize designated access points. Attach the San Mateo Countywide Water Pollution Prevention Program's construction BMP plan sheet to project plans and require contractor to implement the applicable BMPs on the plan sheet.

Use temporary erosion controls to stabilize all denuded areas until permanent erosion controls are established.

Delineate with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses.

### Provide notes, specifications, or attachments describing the following:

Construction, operation and maintenance of erosion and sediment controls, include inspection frequency;

Methods and schedule for grading, excavation, filling, clearing of vegetation, and storage and disposal of excavated or cleared material;

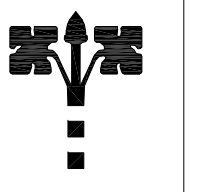
Specifications for vegetative cover & mulch, include methods and schedules for planting and fertilization;

Provisions for temporary and/or permanent irrigation. Perform clearing and earth moving activities only during dry weather.

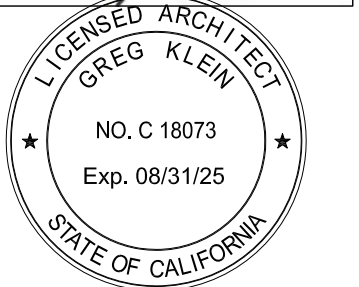
Use sediment controls or filtration to remove sediment when dewatering and obtain all necessary permits. Trap sediment on-site, using BMPs such as sediment basins or traps, earthen dikes or berms, silt fences, check dams, soil blankets or mats, covers for soil stock piles, etc.

Divert on-site runoff around exposed areas; divert off-site runoff around the site (e.g., swales and dikes).

Protect adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.



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planning set 12-14-2023

Soloviev  
Residence

400 Devonshire Blvd  
San Carlos, CA 94070

APN 049-080-120

Drawing Title

Construction Best  
Management Practices

Scale

Drawn By gk

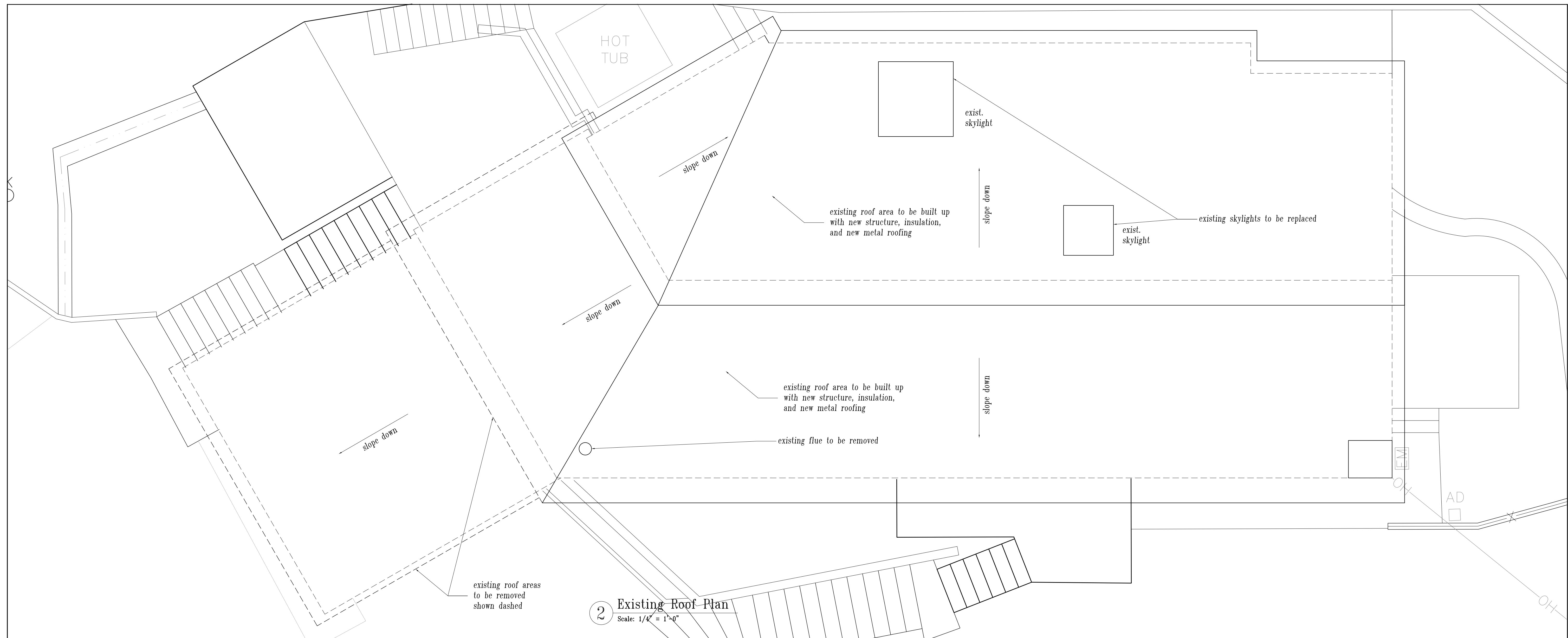
Job Number 2023-12

Drawing Number

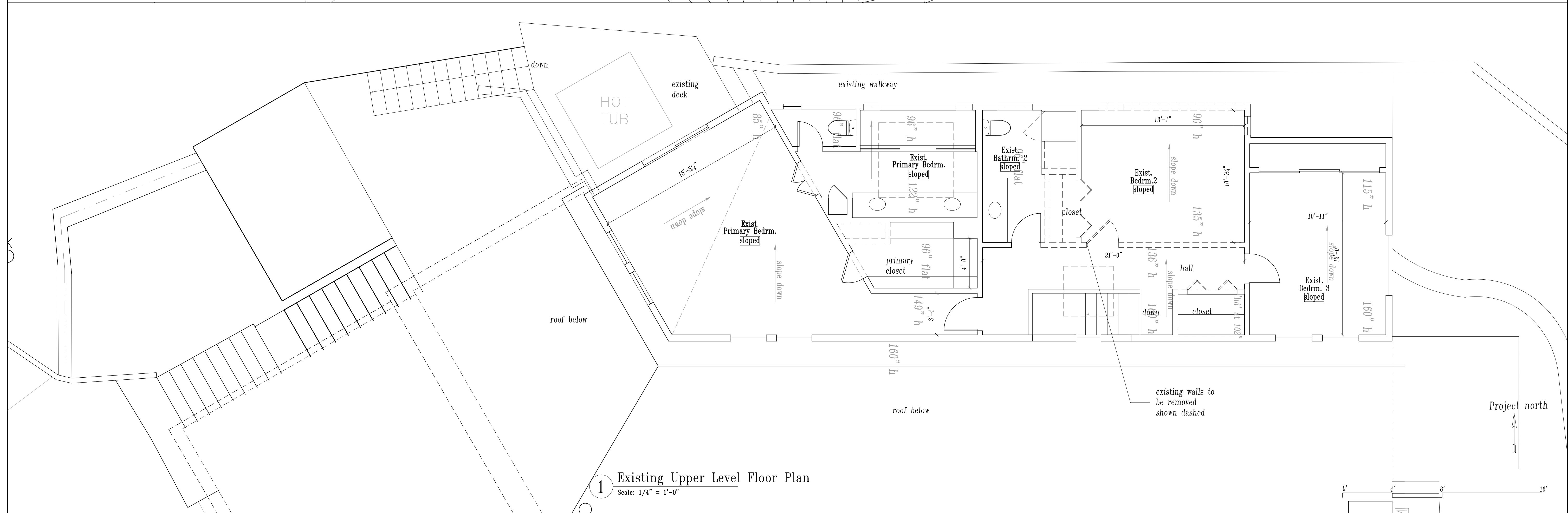
A101.4





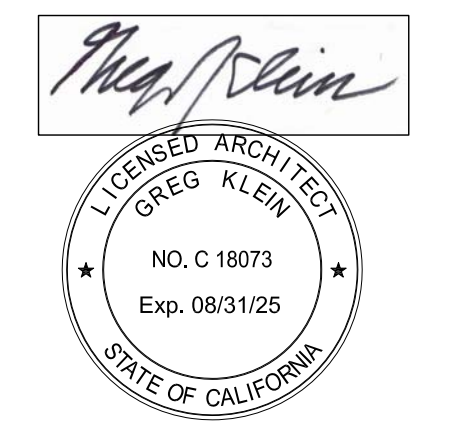


2 Existing Roof Plan  
Scale: 1/4" = 1'-0"



1 Existing Upper Level Floor Plan  
Scale: 1/4" = 1'-0"

GREG KLEIN ARCHITECT  
2622 Lincoln Avenue  
Alameda, California 94501  
510-459-6239  
gregkleinarchitect@gmail.com



OWNER:  
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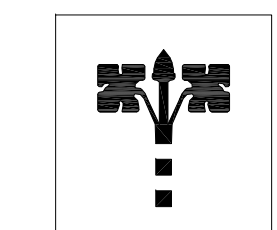
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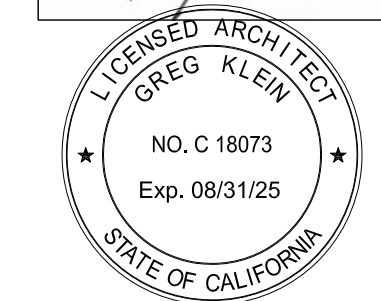
Drawing Title	Existing Upper Level and Roof Plans
Scale	1/4"=1'-0"
Drawn By	gk
Job Number	2023-12
Drawing Number	

A200.2





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Drawing Title

**Proposed Main Level Plan**

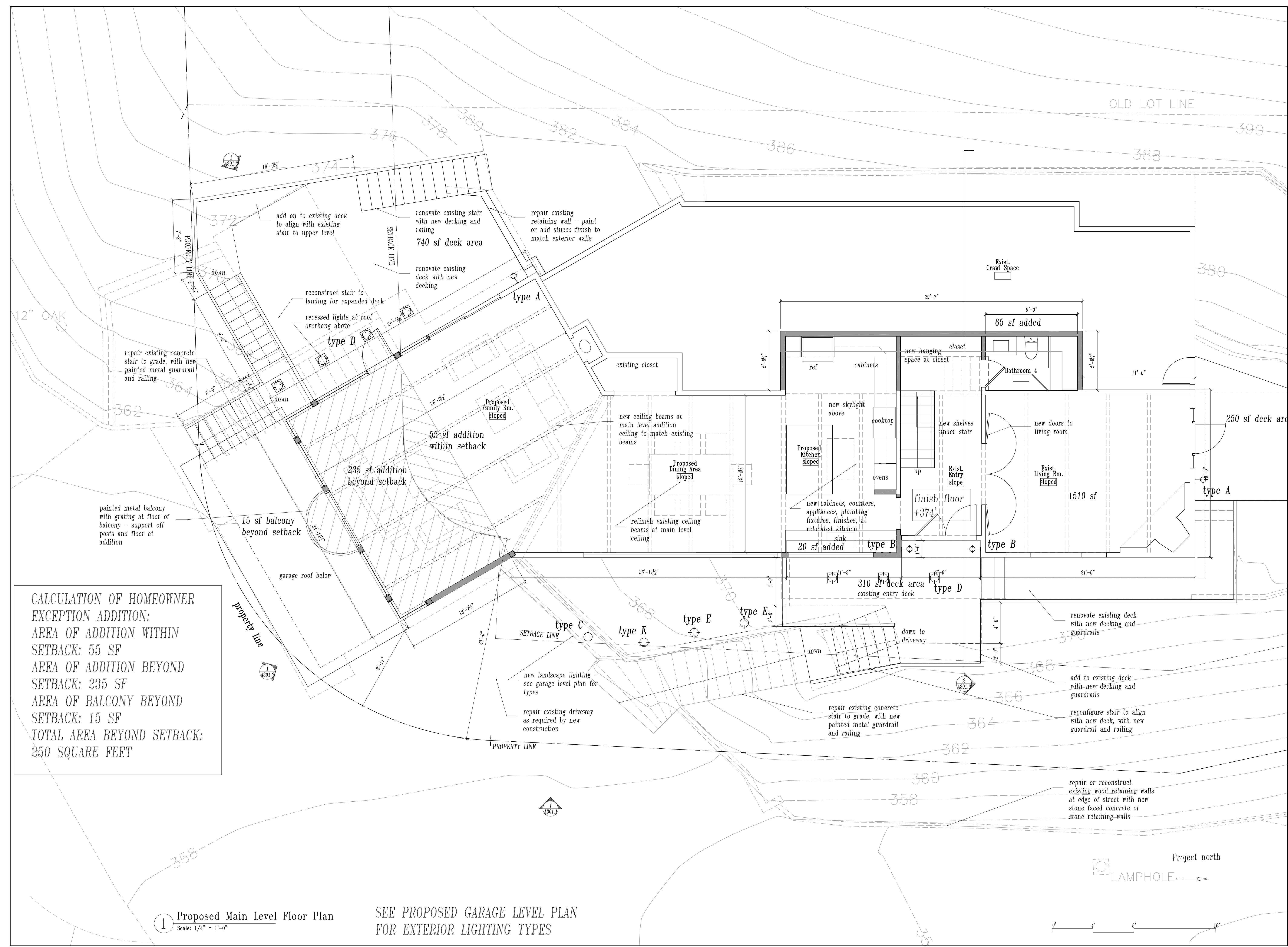
Scale 1/4"=1'-0"

Drawn By gk

Job Number 2023-12

Drawing Number

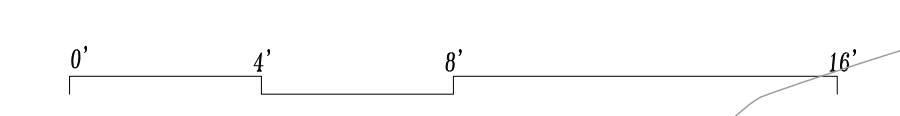
**A201.2**

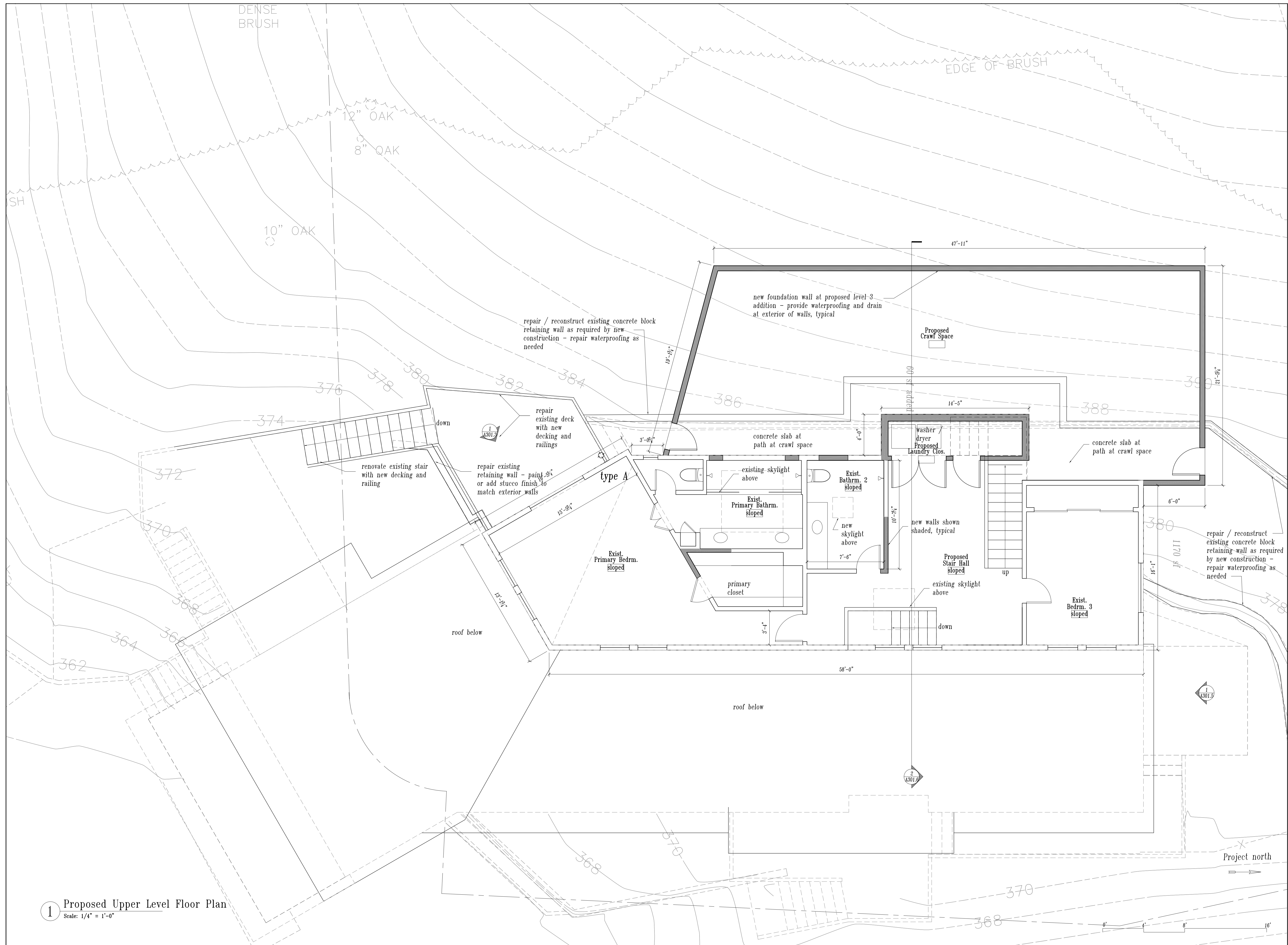


**CALCULATION OF HOMEOWNER EXCEPTION ADDITION:**  
 AREA OF ADDITION WITHIN SETBACK: 55 SF  
 AREA OF ADDITION BEYOND SETBACK: 235 SF  
 AREA OF BALCONY BEYOND SETBACK: 15 SF  
 TOTAL AREA BEYOND SETBACK: 250 SQUARE FEET

1 Proposed Main Level Floor Plan  
Scale: 1/4" = 1'-0"

SEE PROPOSED GARAGE LEVEL PLAN FOR EXTERIOR LIGHTING TYPES





1 Proposed Upper Level Floor Plan  
 Scale: 1/4" = 1'-0"



GREG KLEIN ARCHITECT  
 2622 Lincoln Avenue  
 Alameda, California 94501  
 510-459-6239  
 gregkleinarchitect@gmail.com



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 400 Devonshire Blvd.  
 San Carlos, CA 94070

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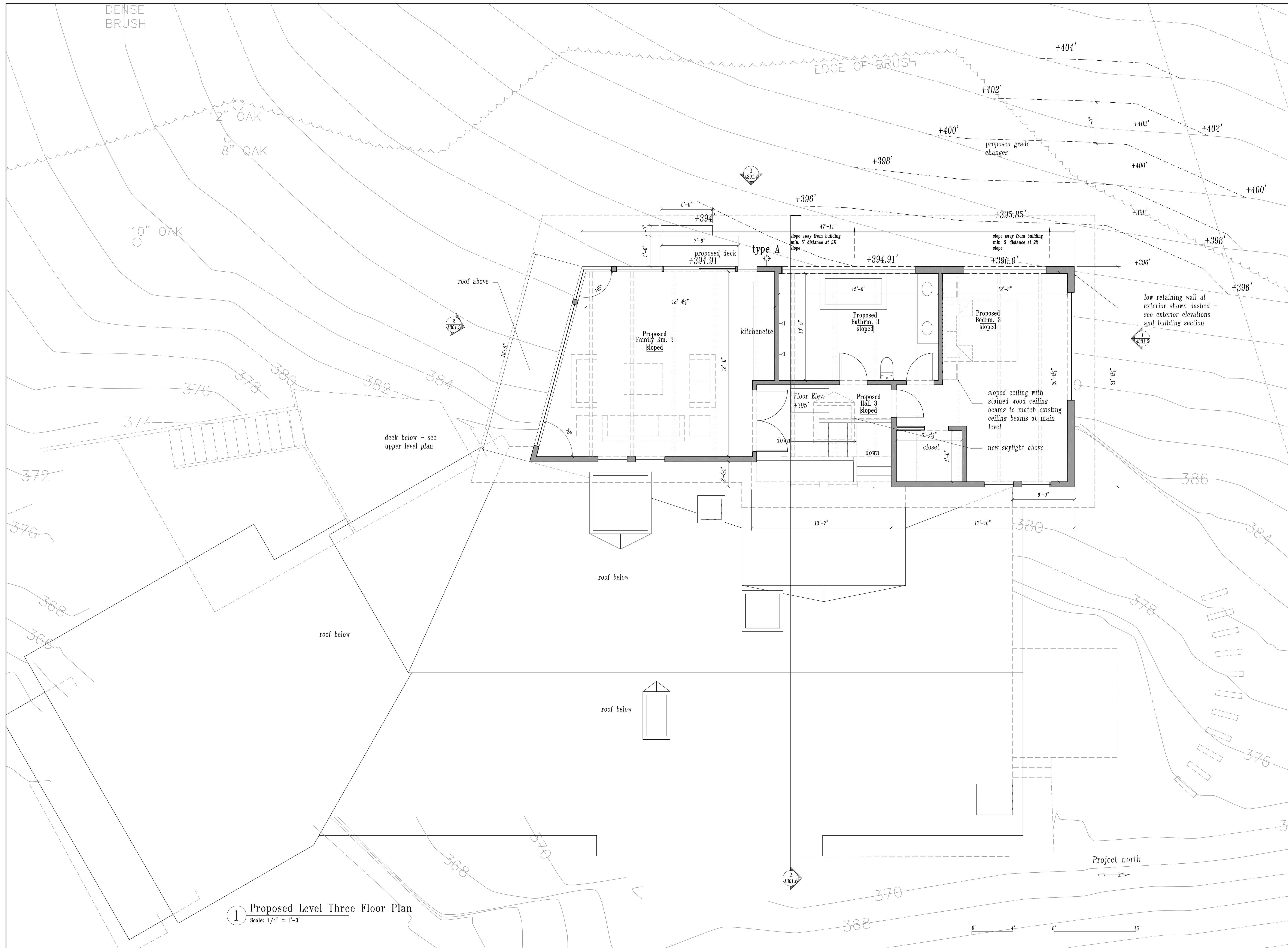
Revisions	Date
planning set	12-14-2023

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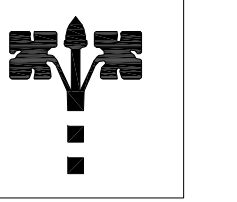
Drawing Title	Proposed Upper Level Plan
Scale	1/4"=1'-0"
Drawn By	gk
Job Number	2023-12
Drawing Number	

# A201.3



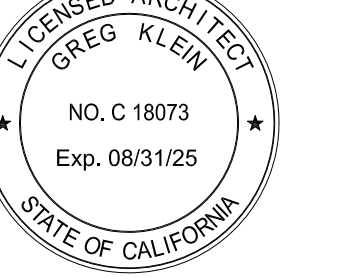
1 Proposed Level Three Floor Plan  
Scale: 1/4" = 1'-0"

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2622 Lincoln Avenue  
Alameda, California 94501  
510-459-6239  
gregkleinarchitect@gmail.com

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Drawing Title

### Proposed Level 3 Plan

Scale 1/4"=1'-0"

Drawn By gk

Job Number 2023-12

Drawing Number

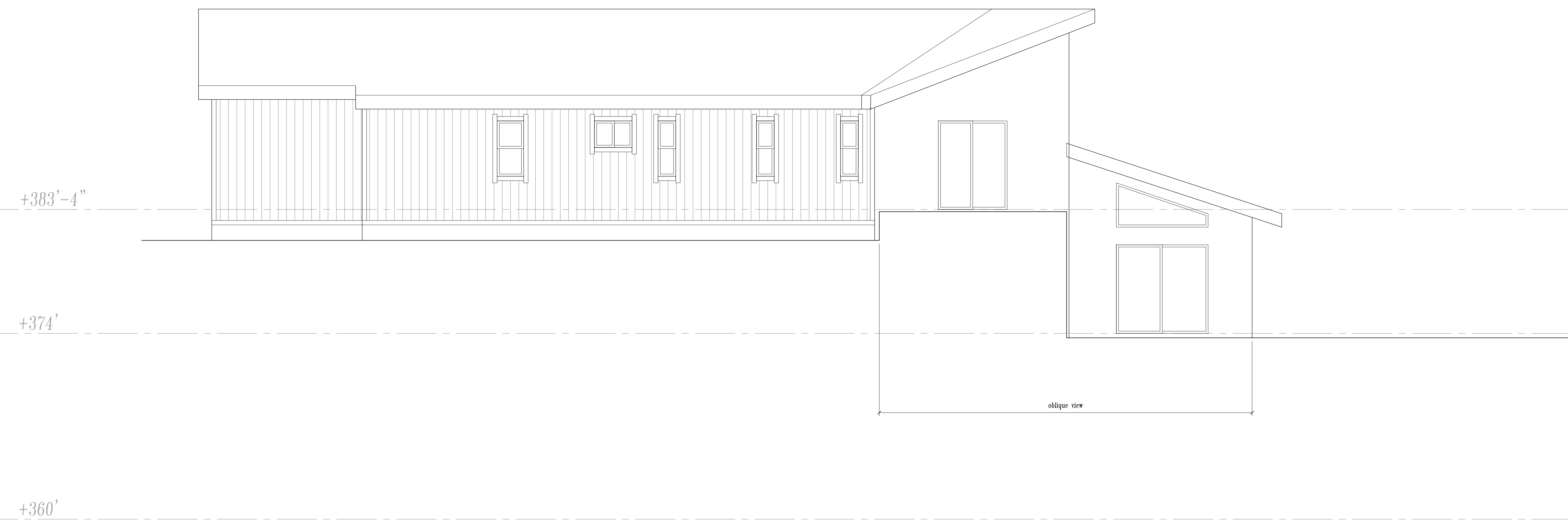
# A201.4







1 Existing West Elevation  
Scale: 1/4" = 1'-0"

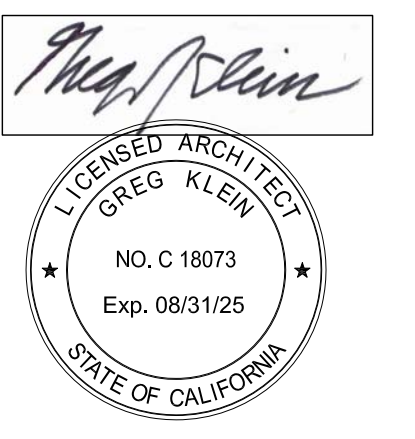


2 Existing West Elevation  
Scale: 1/4" = 1'-0"

SEE A300.1 FOR ADDITIONAL INFORMATION



GREG KLEIN ARCHITECT  
2622 Lincoln Avenue  
Alameda, California 94501  
510-459-6239  
gregkleinarchitect@gmail.com



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400 Devonshire Blvd.  
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Drawing Title	Existing Ext. Elev.- West
Scale	1/4"=1'-0"
Drawn By	gk
Job Number	2023-12
Drawing Number	

A300.2



+398'-5"

+383'-4"

+374'

+360'

2 Existing Building Section  
Scale: 1/4" = 1'-0"

SEE A300.1 FOR ADDITIONAL INFORMATION

+383'-4"

+374'

+360'

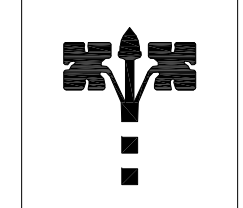
1 Existing North Elevation  
Scale: 1/4" = 1'-0"

TALLEST POINT FOR EXISTING HEIGHT MEASUREMENT

24'-8"

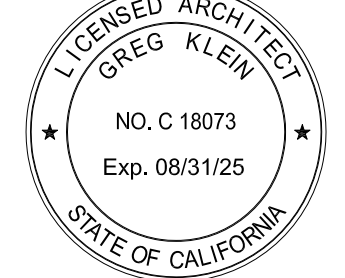
15'-1"

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2622 Lincoln Avenue  
Alameda, California 94501  
510-459-6239  
gregkleinarchitect@gmail.com

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Drawing Title	Existing Ext. Elev.-North-Section
Scale	1/4"=1'-0"
Drawn By	gk
Job Number	2023-12
Drawing Number	

# A300.3



ROOF - STANDING SEAM METAL  
Custom-Bilt Metals Old Towne Gray



EXTERIOR FINISH - SMOOTH STUCCO  
benjamin moore 2158-70 cream froth



EXTERIOR WINDOWS - steel or aluminum, black exterior finish

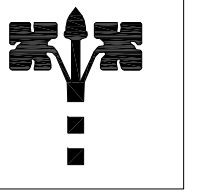


GARAGE DOOR - stained wood and glass, custom



2 Exterior Colors and Materials  
Scale:

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2622 Lincoln Avenue  
Alameda, California 94501  
510-459-6239  
gregkleinarchitect@gmail.com

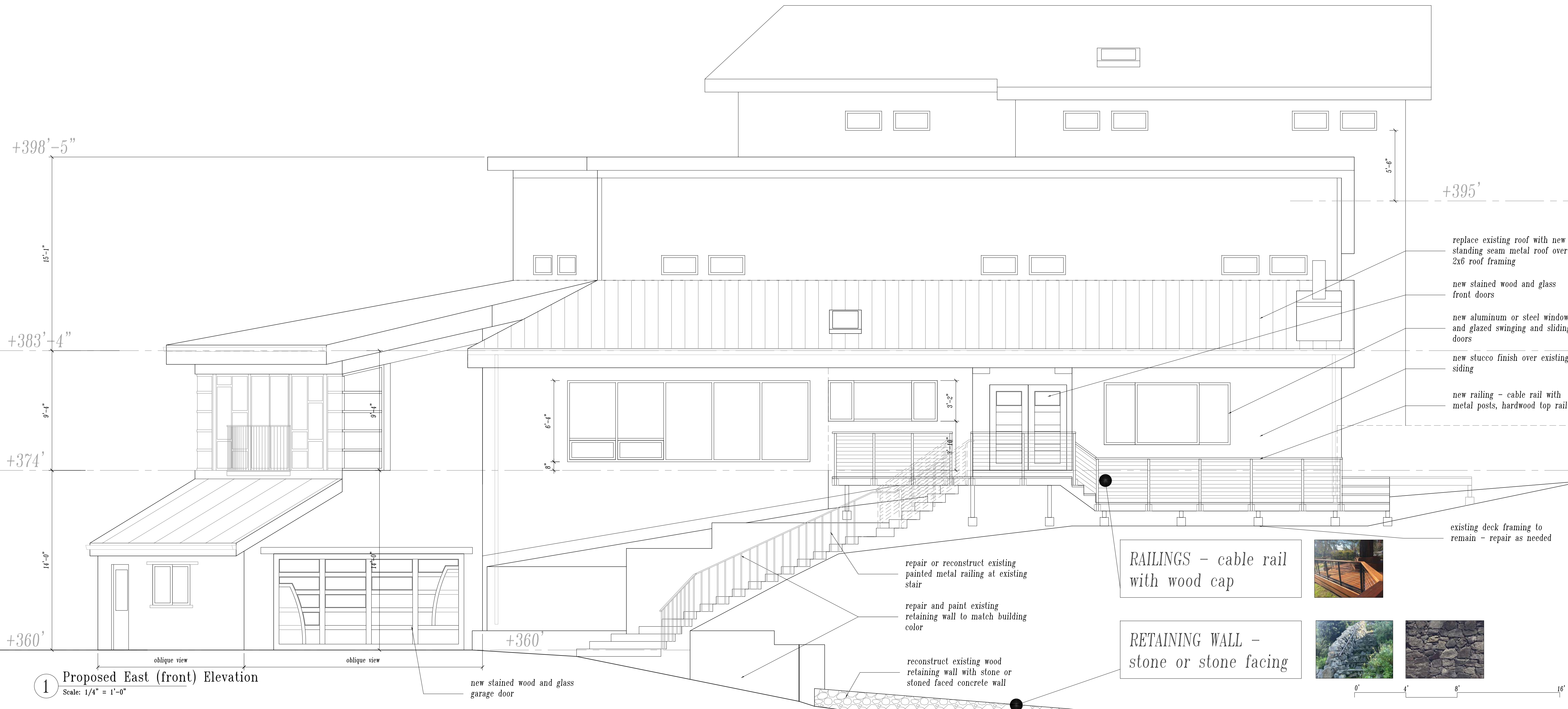
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1 Proposed East (front) Elevation  
Scale: 1/4" = 1'-0"

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Drawing Title

Proposed  
Ext. Elev. - East

Scale: 1/4" = 1'-0"

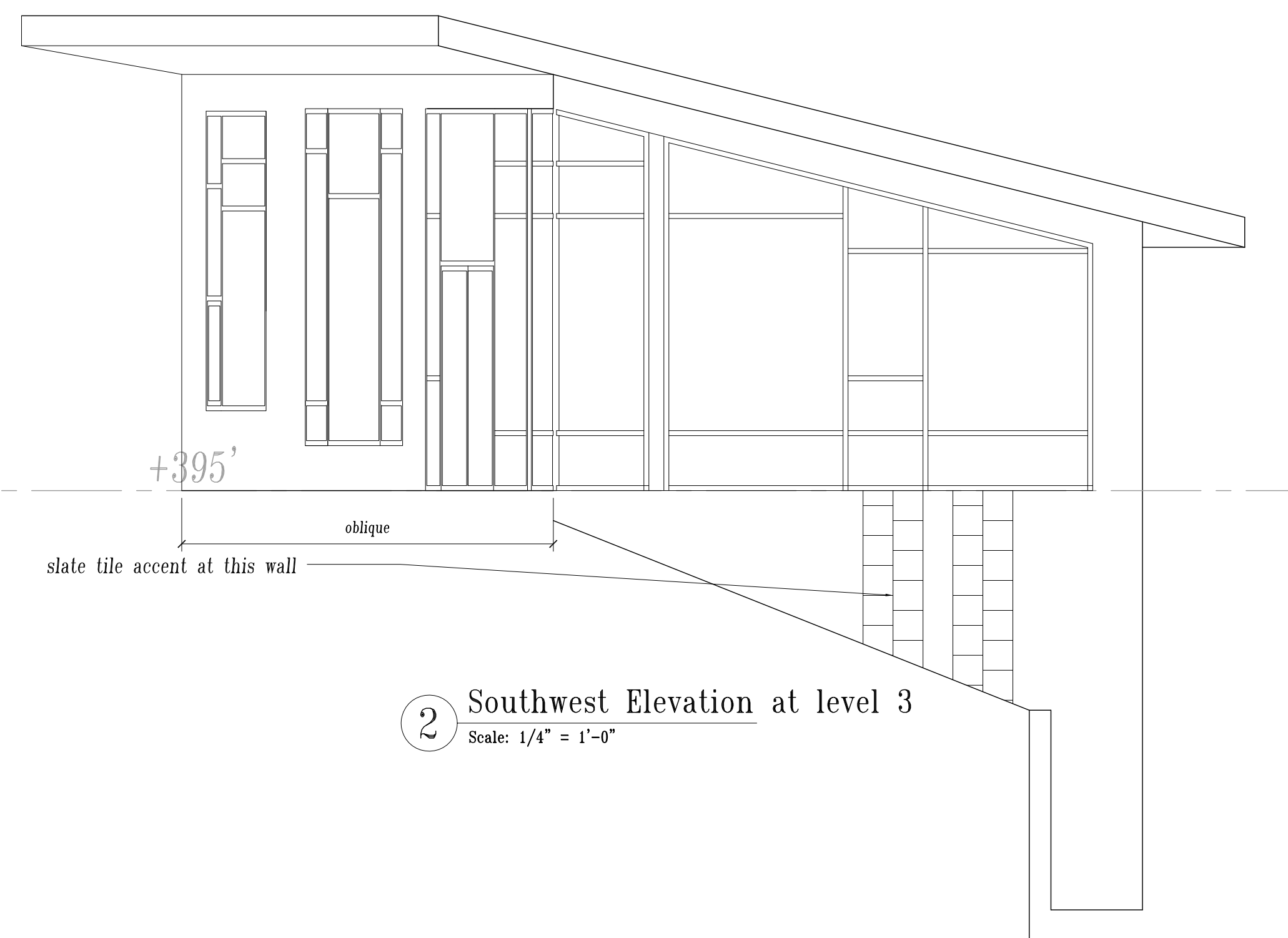
Drawn By: gk

Job Number: 2023-12

Drawing Number

A301.1





2 Southwest Elevation at level 3  
Scale: 1/4" = 1'-0"



3 Exterior Colors and Materials  
Scale:

SOFFIT FINISH –  
stained wood at  
level 3 addition



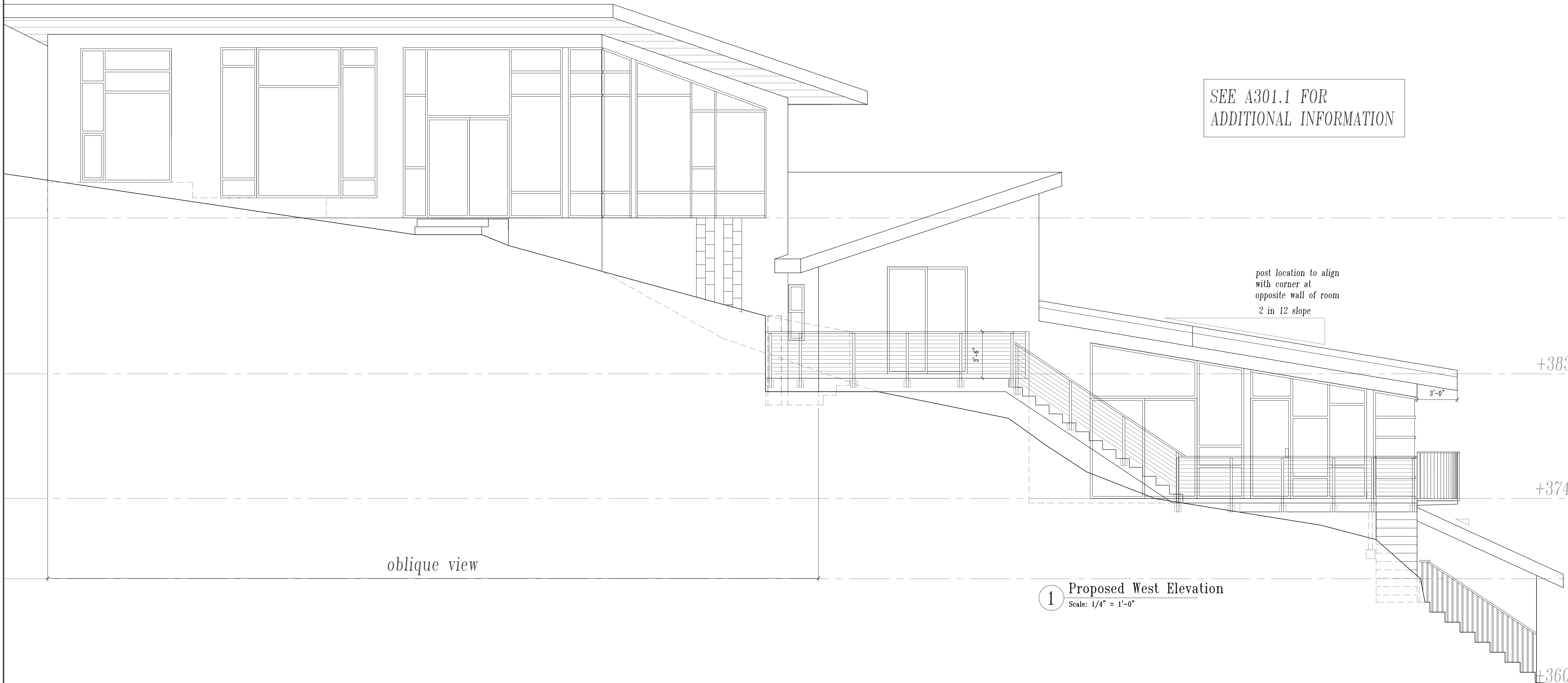
EXTERIOR  
ACCENT – slate  
tiles accent



EXTERIOR DECKING –  
hardwood (stained  
Ipe or equal)

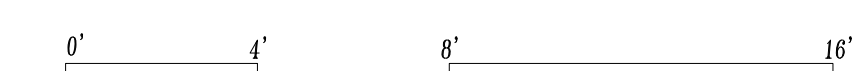


SEE A301.1 FOR  
ADDITIONAL INFORMATION

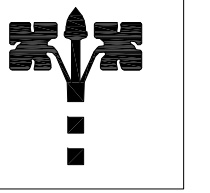


1 Proposed West Elevation  
Scale: 1/4" = 1'-0"

1 Proposed West Elevation  
Scale: 1/4" = 1'-0"



GREG KLEIN  
ARCHITECT



2622 Lincoln Avenue  
Alameda, California 94501  
510-459-6239  
gregkleinarchitect@gmail.com

*Greg Klein*



OWNER:  
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Drawing Title

Proposed Ext.  
Elevation- West

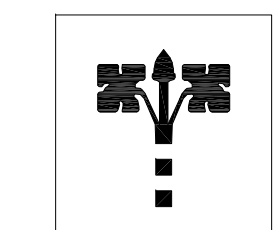
Scale 1/4"=1'-0"

Drawn By gk

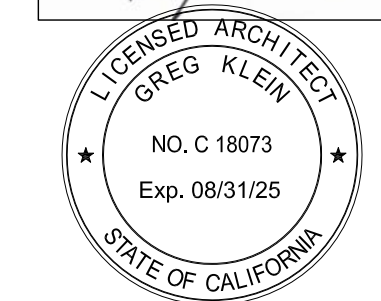
Job Number 2023-12

Drawing Number

A301.3



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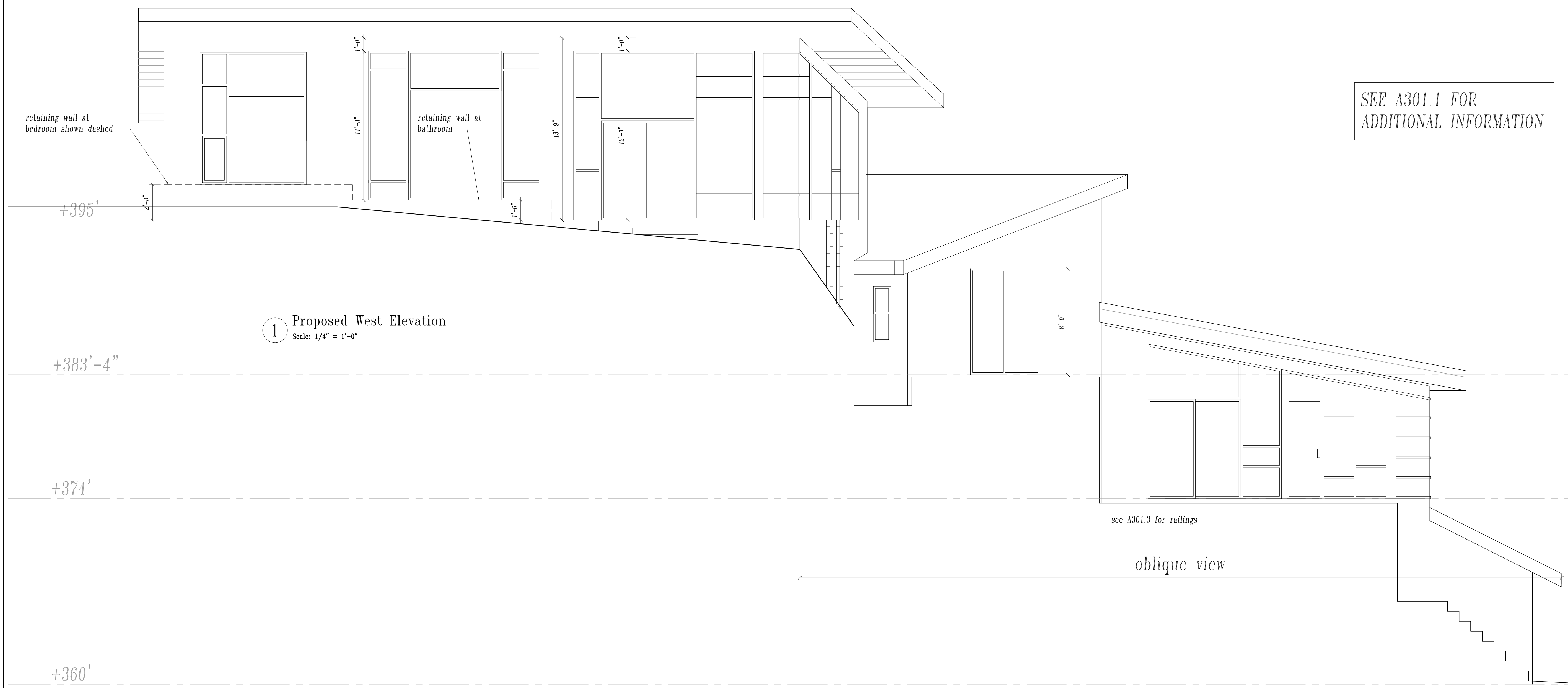


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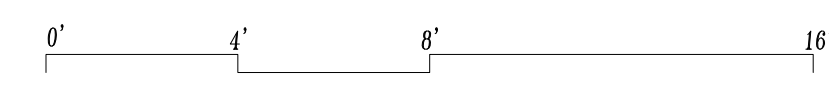
Revisions	Date
planning set	12-14-2023

SEE A301.1 FOR  
ADDITIONAL INFORMATION



1 Proposed West Elevation  
Scale: 1/4" = 1'-0"

1 Proposed West Elevation  
Scale: 1/4" = 1'-0"

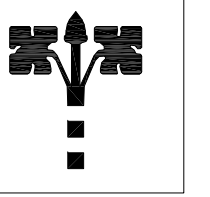


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APN 049-080-120

Drawing Title	Proposed Ext. Elev.-West 2
Scale	1/4"=1'-0"
Drawn By	gk
Job Number	2023-12
Drawing Number	

A301.4



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SEE A301.1 FOR  
ADDITIONAL INFORMATION

+395'

+383'-4"

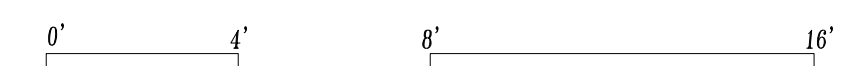
+374'

+360'

TALLEST POINT FOR  
PROPOSED HEIGHT  
MEASUREMENT



1 Proposed North Elevation  
Scale: 1/4" = 1'-0"



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APN 049-080-120

Drawing Title

Proposed Ext.  
Elev.-North

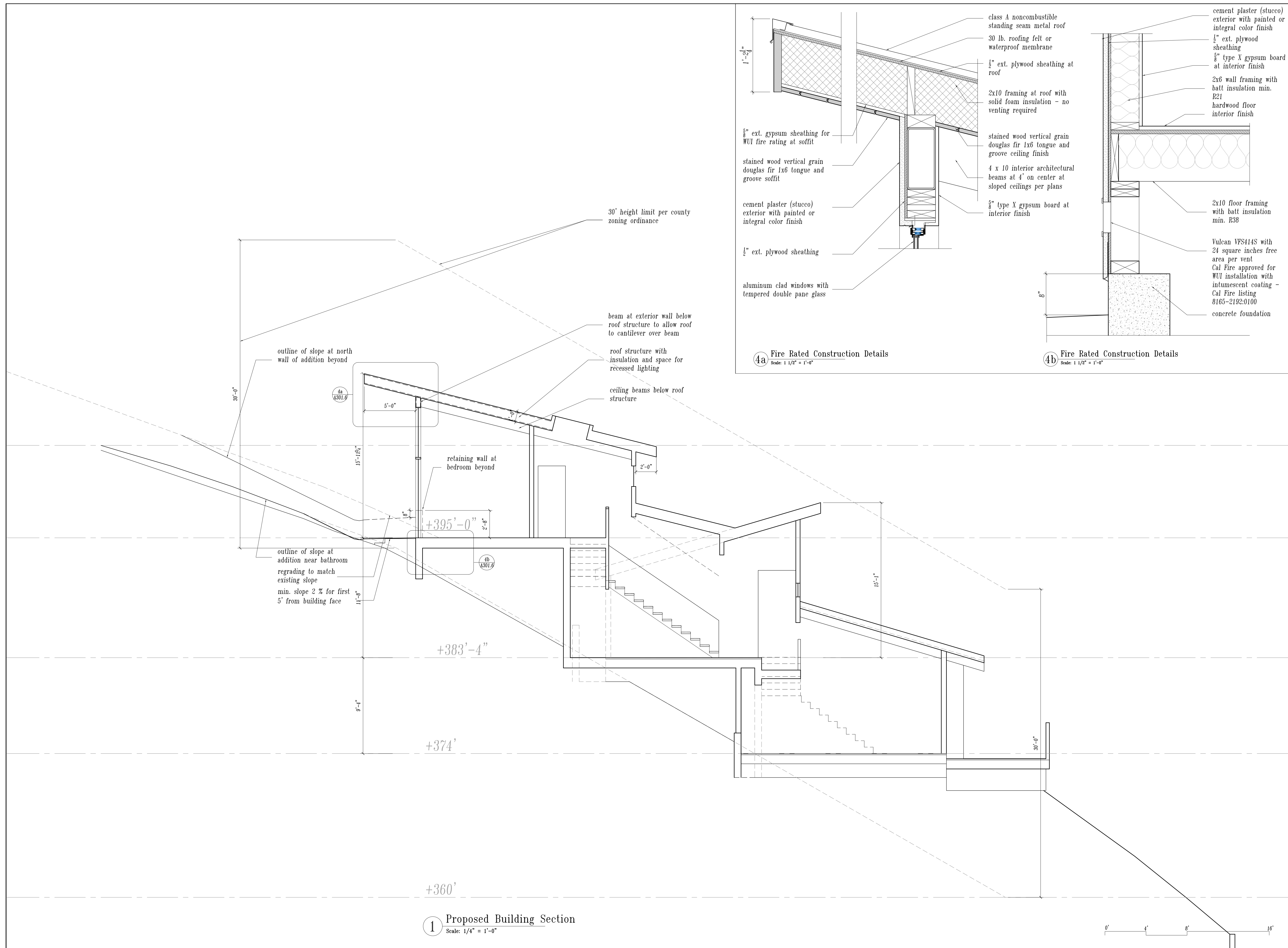
Scale 1/4"=1'-0"

Drawn By gk

Job Number 2023-12

Drawing Number

A301.5



**BASIS OF BEARINGS**

BEARINGS SHOWN HEREON ARE BASED UPON THE SUBDIVISION MAP ENTITLED "DEVONSHIRE PROPERTIES OF MUNICIPAL PROPERTIES COMPANY, AMENDED AND SUPPLEMENTARY MAP OF SUBDIVISION NUMBER SIX", FILED ON APRIL 13, 1926, IN VOLUME 13 OF MAPS AT PAGES 52-55, SAN MATEO COUNTY RECORDS, USING THE RECORD OF SURVEY 37 LLS 4 AS A BASIS.

**NOTES:**

BGT RELIED UPON A CHICAGO TITLE COMPANY PRELIMINARY TITLE REPORT, TITLE NO.: FWTO-3761600070-JL, AS TITLE REFERENCE FOR ALL EASEMENTS OF RECORD PLOTTED HEREON.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELD CREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING  
www.bgtsurveying.com

DATE OF FIELD SURVEY: JULY 26-27, 2023  
JOB NUMBER: 22-100

**BENCHMARK**

ELEVATIONS SHOWN HEREON ARE BASED UPON THE CITY OF SAN CARLOS DATUM (NAVD 88) BENCHMARK USED WAS CITY BM 18, A BRASS DISK ON TOP OF CURB ON BEVERLY DRIVE, 10'± NORTH OF CENTERLINE OF MOLTON AVENUE, AT 32 BEVERLY DRIVE. ELEVATION: 184.84 FEET.

THE LID OF THE SANITARY SEWER MANHOLE IN AT THE INTERSECTION OF LYNTON AVENUE AND DEVONSHIRE BOULEVARD, ACTS AS THE SITE BENCHMARK WITH AN ELEVATION OF 350.30 FEET.

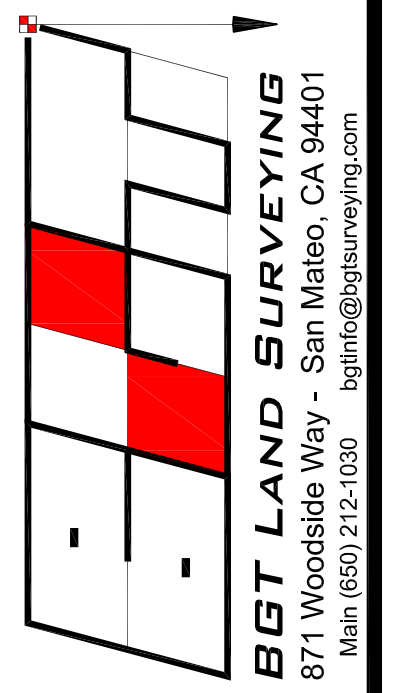
LOT 40  
DEVONSHIRE PROPERTIES  
SUBDIVISION NUMBER SIX  
VOL. 13 MAPS 52-55  
BLOCK 33

**LEGEND**

- AC ASPHALT CONCRETE
- BW BACK OF WALK
- CB CATCH BASIN
- C/L CENTERLINE
- CMP CORRUGATED METAL PIPE
- CI CAST IRON PIPE
- CO CLEAN OUT BOX
- CP SURVEY CONTROL POINT
- CPP CORRUGATED PLASTIC PIPE
- CTV CABLE TELEVISION VAULT
- DI DROP INLET
- EM ELECTRIC METER
- EV ELECTRIC VAULT
- FF FINISHED FLOOR
- FL FLOWLINE
- FM FIRE HYDRANT
- GM GAS METER
- GRD GROUND
- GUY GUY ANCHOR
- GV GAS VALVE
- HCR HANDICAP RAMP
- HVE HIGH-VOLT ELECTRIC
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- KV KILOVOLT
- LAT LATERAL
- LG LIP OF GUTTER
- MH (TYPE UNKNOWN)
- MMH MONUMENT TO MONUMENT DISTANCE
- PBV PACBELL/SBC VAULT
- PGE PG&E VAULT
- PIV POST INDICATOR VALVE
- PP POWER POLE
- SDM STORM DRAIN MANHOLE
- SMH SANITARY SEWER MANHOLE
- SSV SANITARY SEWER VAULT
- TBC TOP BACK OF CURB
- TBM TEMPORARY BENCHMARK
- UNK UNKNOWN TYPE
- VCL VITRIFIED CLAY PIPE
- WBF WATER BACK FLOW VALVE
- WM WATER METER BOX
- WV WATER VALVE
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- OH- OVERHEAD LINE
- SD- STORM DRAIN LINE
- SS- SANITARY SEWER LINE
- T- TELEPHONE LINE
- W- WATER LINE

**PARCEL AREA**  
19,952 SQ. FT.±  
AVERAGE SLOPE (S)=40.6%

LOT 44  
APN 049-080-120  
RIDGE: 398.2  
EXISTING RESIDENCE



BOUNDARY AND TOPOGRAPHIC SURVEY  
 DEVONSHIRE PROPERTIES, AMENDED, SUBDIVISION NUMBER SIX, 13 MAPS 52-55  
 400 DEVONSHIRE BOULEVARD  
 SAN CARLOS, COUNTY OF SAN MATEO, CALIFORNIA  
 LOTS 4-45, BLOCK 33, DEVONSHIRE PROPERTIES, AMENDED, SUBDIVISION NUMBER SIX, 13 MAPS 52-55

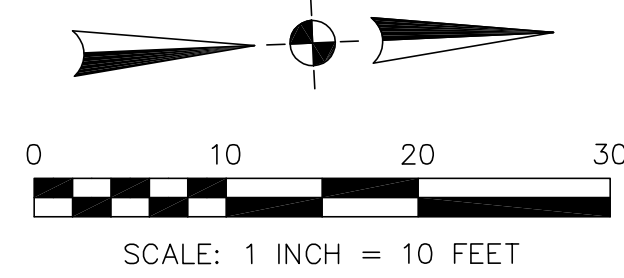
Assessor Parcel Number:  
048-080-110  
048-080-120  
048-080-130

Prepared For:  
VALERY SOLOVIEV  
400 DEVONSHIRE BLVD,  
SAN CARLOS, CA 94070

Date: JULY, 2023  
Scale: 1" = 10'  
Contour Interval: 2'  
Drawn by: N.W.  
Revisions:

**SU-1**

Job No. 23-100



DEVONSHIRE BOULEVARD [60' WIDE]

LYNTON AVENUE  
[50' WIDE]

